

COOK INLET HOUSING AUTHORITY

BREWSTER'S MULTIFAMILY HOUSING

ANCHORAGE, ALASKA

PERMIT DOCUMENTS

MARCH 8, 2023

CONTACT INFORMATION



OWNER

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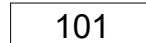


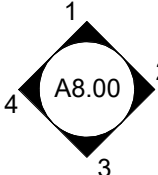

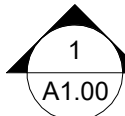

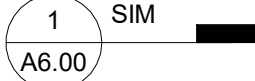

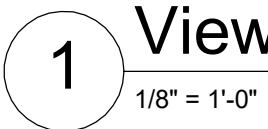
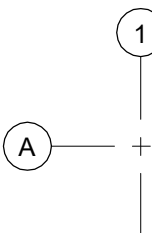
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GENERAL NOTES

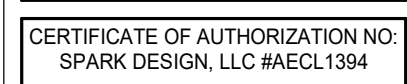
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MOST RECENT ADOPTED EDITION OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), INTERNATIONAL BUILDING CODE (IBC), INTERNATIONAL MECHANICAL CODE (IMC), UNIFORM PLUMBING CODE (UPC), NATIONAL ELECTRICAL CODE (NEC), INTERNATIONAL FIRE CODE (IFC), INTERNATIONAL ENERGY CONSERVATION CODE (IECC), AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES, REGULATIONS, ORDINANCES AND AMENDMENTS.
2. NO WORK SHALL BEGIN UNTIL APPLICABLE APPROVALS AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL ENSURE SUBCONTRACTORS VERIFY AND ASSURE PROPER CODE COMPLIANCE FOR ALL ASPECTS OF CONSTRUCTION WITHIN THEIR RESPECTIVE TRADES. CONTRACTOR SHALL BE HELD TO HAVE EXAMINED THE SITE AND CONDITIONS UNDER WHICH THEY WILL BE OBLIGATED TO PERFORM THE WORK, PRIOR TO PROCEEDING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
3. DRAWINGS ARE SUPPLIED TO THE CONTRACTOR AND OTHERS FOR THEIR USE ON THE SPECIFICALLY NAMED PROJECT. ALL COPIES OF THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF SPARK DESIGN, LLC AND SHALL NOT BE REUSED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SPARK DESIGN, LLC.
4. THE ORGANIZATION OF DRAWINGS IS NOT INTENDED TO CONTROL THE DIVISION OF WORK. DIVISION OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
5. CONTRACTOR SHALL VERIFY DIMENSIONS, REQUIRED CLEARANCES, ELECTRICAL, AND PLUMBING REQUIREMENTS FOR ALL OWNER AND N.I.C. ITEMS.
6. ALL MATERIALS SHALL BE ASSUMED TO BE NEW UNLESS SPECIFICALLY NOTED AS EXISTING.
7. DO NOT SCALE THE DRAWINGS TO OBTAIN DIMENSIONAL CLARIFICATION. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK.
8. THE AUTOMATIC FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH THE MOST RECENTLY ADOPTED EDITION OF NFPA AND ALL LOCAL AND ALASKA STATE REGULATIONS. SPRINKLER CONTRACTOR SHALL PROVIDE AND COORDINATE SPRINKLER ROUTING AND LOCATIONS ABOVE THE FINISHED CEILING. IF ANY SPRINKLER PIPING IS LOCATED BELOW A FINISHED CEILING, THE CONTRACTOR SHALL EXPLICITLY IDENTIFY THE LOCATIONS AND HAVE WRITTEN APPROVAL FROM THE ARCHITECT ON THE EXIST ROUTING AND PROPOSED FINISH OF EXPOSED PIPE. ALL SPRINKLERS IN TRASH CHUTES AND TRASH CHUTE CHASES SHALL HAVE DRY HEADS.

DRAWING SYMBOLS

Room name			
	ROOM NAME AND NUMBER		EXTERIOR ELEVATION
	WALL / STOREFRONT TYPE		INTERIOR ELEVATION(S)
	DOOR NUMBER		BUILDING OR WALL SECTION
	WINDOW TYPE		DETAIL CALLOUT
	NORTH ARROW		VIEW TITLE
	GRID REFERENCE LINES		

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G0.00 COVER	S0.01 STRUCTURAL GENERAL INFORMATION
G0.01 GENERAL INFORMATION, ABBREVIATIONS AND SYMBOLS	S0.02 GENERAL STRUCTURAL NOTES
G1.00 CODE ANALYSIS	S0.03 GENERAL STRUCTURAL NOTES AND SPECIAL INSPECTION TABLES
G1.01 LIFE SAFETY PLANS	S0.04 SPECIAL INSPECTION TABLES
G1.02 HORIZONTAL ASSEMBLIES	S1.00 FOUNDATION PLAN
G2.00 TITLE 21 CODE ANALYSIS	S1.01S LEVEL 1 - STUD & SHEAR WALL PLAN
G3.00 ASSEMBLY TYPES	S1.02 LEVEL 2 - FRAMING PLAN
	S1.02S LEVEL 2 - STUD & SHEAR WALL PLAN
01-CIVIL	S1.03 LEVEL 3 - FRAMING PLAN
C1.00 DEMOLITION PLAN & GENERAL NOTES	S1.03S LEVEL 3 - STUD & SHEAR WALL PLAN
C2.00 SITE PLAN & SITE SECTIONS	S1.04 ROOF FRAMING PLAN
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C4.00 LAYOUT POINT TABLES	S6.01 SCHEDULES & TYP DETAILS- CONC FOOTINGS
C5.00 UTILITY SERVICES AND KEY MAPS	S6.02 SCHEDULES & TYP DETAILS - CONC SLABS & WALLS
C5.01 WATER AND SEWER SERVICES	S6.03 SCHEDULES & TYP DETAILS - CONC REINFORCING & ANCHORS
C6.00 DETAILS	S6.04 SCHEDULES & TYP DETAILS - STEEL FRAMING
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	S6.06 SCHEDULES & TYP DETAILS - SHEAR WALLS & HOLDOWNS
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L1.1 LANDSCAPE CODE ANALYSIS	S6.21 FRAMING DETAILS
L2.1 LANDSCAPE PLAN - SOUTHEAST PHASE 1 N.I.C.	S6.22 FRAMING DETAILS
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A1.00 FLOOR PLAN - LEVEL 0	M001. MECHANICAL LEGEND AND ABBREVIATIONS
A1.01 FLOOR PLAN - LEVEL 1	

ABBREVIATIONS									
A		DF	DRINKING FOUNTAIN	HDCP	HANDICAP(PED)	NTS	NOT TO SCALE	SD	STORM DRAIN or SOAP DISPENSER
ABV	ABOVE	DIA	DIAMETER	HDWR	HARDWARE			SECT	SECTION
ACM	ASBESTOS CONTAINING MATERIAL or ALUMINUM COMPOSITE MATERIAL	DIFF	DIFFUSER	HM	HOLLOW METAL	O		SF	SQUARE FOOT / FEET or STROREFRONT
ACOUST	ACOUSTICAL	DIM	DIMENSION	HOR	HORIZONTAL	O/A	OUTSIDE AIR	SHT	SHEET
ACT	ACOUSTICAL CEILING TILE	DN	DOWN	HT	HEIGHT	OC	ON CENTER	SHTG	SHEATHING
ADDN	ADDITION / ADDITIONAL	DR	DOOR	HVAC	HEATING, VENTILATION and AIR CONDITIONING	OD	OUTSIDE DIAMETER	SIM	SIMILAR
ADJ	ADJACENT or ADJUSTABLE	DS	DOWNSPOUT			OFCI	OWNER FURNISHED-CONTRACTOR INSTALLED	SLR	SEALER
AFF	ABOVE FINISHED FLOOR	DTL	DETAIL			OFF	OFFICE	SND	SANITARY NAPKIN DISPENSER
AG	AGGREGATE	DWG	DRAWING	I		OFOI	OWNER FURNISHED-OWNER INSTALLED	SNR	SANITARY NAPKIN RECEPTACLE
AHU	AIR HANDLING UNIT	E		IBC	INTERNATIONAL BUILDING CODE or INSTALLED BY CONTRACTOR			SPEC	SPECIFICATION(S)
ALT	ALTERNATE	(E)	EXISTING	ICB	INTEGRAL COVE BASE	OH	OPPOSITE HAND	SQ	SQUARE
ALUM	ALUMINUM	E	EAST	ID	INSIDE DIAMETER	OH	OVERHEAD	SS	SOLID SURFACE
ANOD	ANODIZED	EA	EACH	IGL	INSULATED GLAZING	OPG	OPENING	SSG	STRUCTURAL SILICONE GLAZED
APPROX	APPROXIMATE(LY)	EIFS	EXTERIOR INSULATION FINISH SYSTEM	IHM	INSULATED HOLLOW METAL	OPP	OPPOSITE	SSK	SERVICE SINK
APSH	ASPHALT	EJ	EXPANSION JOINT	IN	INCH	ORD	OVERFLOW ROOF DRAIN	SST	STAINLESS STEEL
ARCH	ARCHITECT / ARCHITECTURAL	EL	ELEVATION	INFO	INFORMATION	ORIG	ORIGINAL	ST	STAIN
AUTO	AUTOMATIC	ELEC	ELECTRICAL	INS	INSULATION or INSULATED			STA	STATION
		ELEV	ELEVATOR	INT	INTERIOR	P		STD	STANDARD
B		ENGR	ENGINEER			P	PAINT	STL	STEEL
BD	BOARD	EPDM	ETHYLENE PROPYLENE DIENE MONOMER	J		PFB	PREFABRICATED	STOR	STORAGE
BEL	BELOW			JAN	JANITOR	PL	PROPERTY LINE	STRUC	STRUCTURE or STRUCTURAL
BET	BETWEEN	EQ	EQUAL	JST	JOIST	PLAM	PLASTIC LAMINATE	SUBST	SUBSTRATE
BIT	BITUMINOUS	EOP	EQUIPMENT	JT	JOINT	PLAS	PLASTER	SYS	SYSTEM
BKT	BRACKET	ER	EMERGENCY			PLP	PHENOLIC LAMINATE PANEL		
BLDG	BUILDING	EXP	EXPANSION	K		PLT	PLATE	T	
BLK	BLOCK	EXT	EXTERIOR	KD	KNOCKDOWN	PLY	PLYWOOD	T&G	TONGUE AND GROOVE
BLKG	BLOCKING	EXTR	EXTRUDED	KIT	KITCHEN	PNL	PANEL	TB	TOWEL BAR
BM	BEAM			KO	KNOCKOUT	PRCST	PRECAST	TB	THERMAL BREAK / TACK BOARD
BO	BOTTOM OF	F		KPL	KICK PLATE	PREFIN	PREFINISHED	TEL	TELEPHONE
BOD	BASIS OF DESIGN	FA	FIRE ALARM			PROJ	PROJECT	TEMP	TEMPERATURE
BOT	BOTTOM	FAB	FABRICATE(D)	L	LEFT	PT	POST-TENSIONED or PORCELAIN TILE	THK	THICK or THICKNESS
BSMT	BASEMENT	FACP	FIRE ALARM CONTROL PANEL	LAB	LABORATORY	PTD	PAPER TOWEL DISPENSER	THRU	THROUGH
		FAS	FASTEN(ER)	LAM	LAMINATE	PTDR	PAPER TOWEL DISPENSER AND RECEPTACLE	TO	TOP OF
C		FD	FLOOR DRAIN	LAV	LAVATORY	PTN	PARTITION	TPD	TOILET PAPER DISPENSER
CAB	CABINET	FDC	FIRE DEPARTMENT CONNECTION	LBL	LABEL	PTR	PAPER TOWEL RECEPTACLE	TPO	THERMOPLASTIC POLYOLEFIN
CB	CHALK BOARD	FDN	FOUNDATION	LED	LIGHT EMITTING DIODE	PV	PAVEMENT	TPTN	TOILET PARTITION
CBB	CEMENT BACKER BOARD	FE	FIRE EXTINGUISHER	LF	LINEAR FOOT / FEET	PVC	POLYVINYL CHLORIDE	TS	TUBE STEEL
CCTV	CLOSED CIRCUIT TELEVISION	FF	FACTORY FINISHED	LKR	LOCKER			TSTAT	THERMOSTAT
CEM	CEMENT	FFL	FINISHED FLOOR LINE	LT	LIGHT	Q		TYP	TYPICAL
CFL	COUNTERFLASHING	FG	FIBERGLASS	LVR	LOUVER	Q.T.	QUARRY TILE	U	
CG	CORNER GUARD	FHC	FIRE HOSE CABINET			R		UH	UNIT HEATER
CJ	CONTROL JOINT	FIG	FIGURE	M		R/A	RETURN AIR	UL	UNDERWRITER'S LABORATORY
CK	CAULK(ING)	FIN	FINISH(ED)	MA	MEDICAL AIR	RAD	RADIUS	UNF	UNFINISHED
CL	CENTERLINE	FIN FLR	FINISH FLOOR	MAN	MANUAL	RB	RUBBER / RUBBER BASE	UNO	UNLESS NOTED OTHERWISE
CLG	CEILING	FIN GR	FINISH GRADE	MAS	MASONRY	RCP	REFLECTED CEILING PLAN	UON	UNLESS OTHERWISE NOTED
CLL	CONTRACT LIMIT LINE	FIXT	FIXTURE	MAT	MATERIAL	RD	ROOF DRAIN	UOS	UNLESS OTHERWISE SPECIFIED
CLO	CLOSET	FLUR	FLUORESCENT	MAX	MAXIMUM	REF	REFER TO or REFERENCE	V	
CLR	CLEAR	FO	FACE OF	MDF	MEDIUM DENSITY FIBERBOARD	REFR	REFRIGERATOR or REFRIGERATED	VAC	VACUUM
CMU	CONCRETE MASONRY UNIT	FRPF	FIRE PROOFING	MDO	MEDIUM DENSITY OVERLAY	REQ	REQUIRED	VAR	VARIES
CNTR	COUNTER	FR	FIRE RESISTIVE	MECH	MECHANICAL	RES	RESILIENT	VCT	VINYL COMPOSITION TILE
CO	CLEAN OUT	FRP	FIBERGLASS REINFORCED PANEL(ING)	MEP	MECHANICAL, ELECTRICAL and PLUMBING	REV	REVISE, REVISED or REVISION	VERT	VERTICAL
COL</									



COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

JOB NO.	22-018
DATE	2023.03.08
DRAWN	DN
REVIEWED	DTW

SHEET NO.

G0.01

CODE ANALYSIS: IBC 2018

GROSS SQUARE FOOTAGE	
LEVEL 1	6,850 SF
LEVEL 2	6,839 SF
LEVEL 3	6,839 SF
TOTAL:	20,528 SF

CHAPTER 3 OCCUPANCY CLASSIFICATION AND USE

304.1 BUSINESS GROUP B. GROUP B OCCUPANCY INCLUDES THE USE OF A BUILDING OR STRUCTURE OR PORTION THEREOF, FOR OFFICE, PROFESSIONAL OR SERVICE-TYPE BUSINESS OCCUPANCIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING: PROFESSIONAL SERVICES.

311.1.1 ACCESSORY STORAGE SPACES. A ROOM OR SPACE USED FOR STORAGE PURPOSES THAT IS ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS PART OF THAT OCCUPANCY.

311.2 MODERATE-HAZARD STORAGE, GROUP S-1. STORAGE GROUP S-1 OCCUPANCIES

310.3 RESIDENTIAL GROUP R-2. GROUP R-2 OCCUPANCIES CONTAINING MORE THAN TWO DWELLING UNITS WHERE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE, INCLUDING APARTMENTS.

CHAPTER 4 SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE

420.2 SEPARATION WALLS. WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING AND WALLS SEPARATING DWELLING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS PER SECTION 708.

420.3 HORIZONTAL SEPARATION. FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDINGS AND FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.

420.4 AUTOMATIC SPRINKLER SYSTEM. GROUP R OCCUPANCIES SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM PER 903.2.8. QUICK-RESPONSE OR RESIDENTIAL AUTOMATIC SPRINKLERS SHALL BE INSTALLED PER 903.3.2.

420.5 FIRE ALARM SYSTEMS AND SMOKE ALARMS. FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE PROVIDED IN GROUP R-2 OCCUPANCIES PER 907.2.6, 907.2.8, AND 907.2.9 RESPECTIVELY. SINGLE-OR MULTIPLE-STATION SMOKE ALARMS SHALL BE PROVIDED IN GROUP R-2 PER 907.2.10.

420.9 GROUP R COOKING FACILITIES. IN GROUP R OCCUPANCIES, COOKING APPLIANCES USED FOR DOMESTIC COOKING OPERATIONS SHALL BE IN ACCORDANCE WITH SECTION 917.2 OF THE IMC.

CHAPTER 5 GENERAL BUILDING HEIGHTS AND AREAS

SECTION 504 BUILDING HEIGHT AND NUMBER OF STORIES

TABLE 504.3 ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE.

• OCCUPANCY: R-2 | TYPE OF CONSTRUCTION: VB = 60' HEIGHT ALLOWED WITH NFPA 13 OR 13R

TABLE 504.4 ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE.

• OCCUPANCY: R-2 | TYPE OF CONSTRUCTION: VB = 3 STORIES ALLOWED WITH NFPA 13 OR 13R

TABLE 506.2 ALLOWABLE AREA FACTOR IN SQUARE FEET

• OCCUPANCY CLASSIFICATION: R-2 | TYPE OF CONSTRUCTION: VB | SPRINKLER SYSTEM: NFPA 13 OR 13R = 21,000 SQUARE FEET | 7,000 SQUARE FEET (13R ALLOWED WITH FRONTAGE INCREASE)

506.2.4 MIXED OCCUPANCY MULTISTORY BUILDINGS (SENIOR). EACH STORY OF A MIXED-OCCUPANCY BUILDING WITH MORE THAN ONE STORY ABOVE GRADE PLANE SHALL INDIVIDUALLY COMPLY WITH THE APPLICABLE REQUIREMENTS OF SECTION 508.1.

EQUATION 5-3 $A_a = [A_t + (NS \times I)]$
 $= [21,000 + (7,000 \times .5667)]$ OR $[7,000 + (7,000 \times .5667)]$
 $= 24,966.9$ SQUARE FEET OR 10,967 SQUARE FEET

506.3 FRONTAGE INCREASE. EVERY BUILDING SHALL ADJOIN OR HAVE ACCESS TO A PUBLIC WAY TO RECEIVE AN AREA FACTOR INCREASE BASED ON FRONTAGE. AREA FACTOR INCREASE SHALL BE DETERMINED IN ACCORDANCE WITH SECTIONS 506.3.1 THROUGH 506.3.3.

506.3.1 MINIMUM PERCENTAGE OF PERIMETER. TO QUALIFY FOR AN AREA FACTOR INCREASE BASED ON FRONTAGE, A BUILDING SHALL NOT HAVE LESS THAN 25% OF ITS PERIMETER ON A PUBLIC WAY OR OPEN SPACE. SUCH OPEN SPACE SHALL BE EITHER ON THE SAME LOT OR DEDICATED FOR PUBLIC USE AND SHALL BE ACCESSED FROM A STREET OR APPROVED FIRE LANE.

506.3.2 MINIMUM FRONTAGE DISTANCE. TO QUALIFY FOR AN AREA FACTOR BASED ON FRONTAGE, THE PUBLIC WAY ADJACENT TO THE BUILDING PERIMETER SHALL HAVE A MIN DISTANCE (W) OF 20' MEASURED AT RIGHT ANGLES FROM THE BUILDING FACE TO ANY OF THE FOLLOWING:

- THE CLOSEST INTERIOR LOT LINE.
- THE ENTIRE WIDTH OF A STREET, ALLEY OR PUBLIC WAY.

WHERE THE VALUE OF W IS GREATER THAN 30', A VALUE OF 30' SHALL BE USED IN CALCULATING THE BUILDING AREA INCREASE BASED ON FRONTAGE, REGARDLESS OF THE ACTUAL WIDTH.

NORTH (RICHMOND)	= 30'
EAST (BRAGAW)	= 30'
SOUTH (PARKING)	= 30' (PROPERTY LINE)
WEST	= N/A

506.3.3 AMOUNT OF INCREASE.

EQUATION 5-5: IF $FIP = 0.293 \times W / 30$
 $F = (114.5' + 65.75' + 112.75') = 293'$ (N+E+S ELEVATIONS)
 $P = 358.75$
 $W = 30'$
IF $= (293/358.75' - 0.25) 30/30 = 0.5667$

SECTION 508 MIXED USE AND OCCUPANCY

508.1 GENERAL. EACH PORTION OF A BUILDING SHALL BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH SECTION 302.1. WHERE A BUILDING CONTAINS MORE THAN ONE OCCUPANCY GROUP, THE BUILDING OR PORTION THEREOF SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF 508.2, 508.3, 508.4 OR A COMBINATION OF THESE SECTIONS.

508.2 ACCESSORY OCCUPANCIES. ACCESSORY OCCUPANCIES ARE THOSE OCCUPANCIES THAT ARE ANCILLARY TO THE MAIN OCCUPANCY OF THE BUILDING OR PORTION THEREOF. ACCESSORY OCCUPANCIES SHALL COMPLY WITH SECTIONS 508.2.1 THROUGH 508.2.4.

508.2.1 OCCUPANCY CLASSIFICATION. ACCESSORY OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED PER SECTION 302.1. THE REQUIREMENTS OF THIS CODE SHALL APPLY TO EACH PORTION OF THE BUILDING BASED ON THE OCCUPANCY CLASSIFICATION OF THAT SPACE.

508.2.4 SEPARATION OF OCCUPANCIES. NO SEPARATION IS REQUIRED BETWEEN ACCESSORY OCCUPANCIES AND THE MAIN OCCUPANCY.

EXCEPTION 2. GROUP R-2 DWELLING UNITS SHALL BE SEPARATED PER SECTION 420.

508.4 SEPARATED OCCUPANCIES. BUILDINGS OR PORTIONS OF BUILDINGS THAT COMPLY WITH THE PROVISIONS OF THIS SECTION SHALL BE CONSIDERED AS SEPARATED OCCUPANCIES.

508.4.1 OCCUPANCY CLASSIFICATION. SEPARATED OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED PER SECTION 302.1. THE MOST RESTRICTIVE PROVISIONS OF CHAPTER 9 APPLY TO THE SEPARATED OCCUPANCY AREAS.

508.4.2 ALLOWABLE BUILDING AREA. IN EACH STORY, THE BUILDING AREA SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL BUILDING AREA OF EACH SEPARATED OCCUPANCY DIVIDED BY THE ALLOWABLE BUILDING AREA OF EACH SEPARATED OCCUPANCY SHALL NOT EXCEED 1.

508.4.3 ALLOWABLE BUILDING HEIGHT AND NUMBER OF STORIES. EACH SEPARATED OCCUPANCY SHALL COMPLY WITH THE BUILDING HEIGHT LIMITATIONS AND STORY LIMITATIONS BASED ON THE TYPE OF CONSTRUCTION OF THE BUILDING IN ACCORDANCE WITH SECTION 503.1.

TABLE 508.4 REQUIRED SEPARATION OF OCCUPANCIES (HOURS)

R TO S-1 (SPRINKLERED) = 1 HOUR
R TO B (SPRINKLERED) = 1 HOUR

SECTION 509 INCIDENTAL USES.

LAUNDRY ROOMS OVER 100 SF (VERIFYING EQUIPMENT WITH RSA)

CHAPTER 6 TYPES OF CONSTRUCTION

TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)

CONSTRUCTION TYPE VB:

• PRIMARY STRUCTURAL FRAME:	0 HOURS
• BEARING WALLS – INTERIOR:	0 HOURS
• BEARING WALLS – EXTERIOR:	0 HOURS
• NONBEARING WALLS AND PARTITIONS – INTERIOR:	0 HOURS
• FLOOR CONSTRUCTION & ASSOCIATED SECONDARY MEMBERS:	0 HOURS
• ROOF CONSTRUCTION & ASSOCIATED SECONDARY MEMBERS:	0 HOURS

TABLE 602 FIRE-RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

TYPE OF CONSTRUCTION: VB | OCCUPANCY GROUP: R-2

• 10 ≤ X < 30 =	0 HOURS
• X ≥ 30 FEET =	0 HOURS

CHAPTER 7 FIRE AND SMOKE PROTECTION FEATURES

705.2 PROJECTIONS. EAVE OVERHANGS AND SIMILAR PROJECTIONS EXTENDING BEYOND THE EXTERIOR WALL SHALL CONFORM TO THE REQUIREMENTS OF THIS SECTION AND SECTION 1405. PROJECTIONS SHALL NOT EXTEND ANY CLOSER TO THE LINE USED TO DETERMINE THE FIRE SEPARATION DISTANCE THAN SHOW IN TABLE 705.2.

705.8.1 ALLOWABLE AREA OF OPENINGS.

EXCEPTION 2: BUILDINGS WHOSE EXTERIOR BEARING WALLS, EXTERIOR NONBEARING WALLS AND EXTERIOR PRIMARY STRUCTURAL FRAME ARE NOT REQUIRED TO BE FIRE-RESISTANCE RATED SHALL BE PERMITTED TO HAVE UNLIMITED UNPROTECTED OPENINGS.

TABLE 705.8 MAX AREA OF EXT OPENINGS BASED ON FIRE SEPARATION DISTANCE

• 10' TO LESS THAN 15', UNPROTECTED, SPRINKLERED:	45% ALLOWABLE (EAST ELEVATION)
• 30' OR GREATER, UNPROTECTED, SPRINKLERED:	NO LIMIT

705.8.3 UNPROTECTED OPENINGS. WHERE UNPROTECTED OPENINGS ARE PERMITTED, WINDOWS & DOORS SHALL BE OF ANY APPROVED MATERIALS. GLAZING SHALL CONFORM TO CHAPTERS 24 & 26.

705.8.5 VERTICAL SEPARATION OF OPENINGS.

EXCEPTION 1: THIS SECTION SHALL NOT APPLY TO BUILDINGS 3 STORIES OR LESS ABOVE GRADE.

SECTION 707 FIRE BARRIERS

707.3.1 SHAFT ENCLOSURES. THE FIRE-RESISTANCE RATING OF THE FIRE BARRIER SEPARATING BUILDING AREAS FROM A SHAFT SHALL COMPLY WITH 713.4.

707.3.7 INCIDENTAL USES. THE FIRE BARRIER SEPARATING INCIDENTAL USES FROM OTHER SPACES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT INDICATED IN TABLE 509.

707.3.8 SEPARATED OCCUPANCIES. WHERE PROVISIONS OF SECTION 508.4 ARE APPLICABLE, THE FIRE BARRIER SEPARATING MIXED OCCUPANCIES SHALL COMPLY WITH TABLE 508.4.

707.5 CONTINUITY. FIRE BARRIERS SHALL EXTEND FROM THE T.O. FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE & SHALL BE SECURELY ATTACHED THERETO. SUCH FIRE BARRIERS SHALL BE CONTINUOUS THROUGH CONCEALED SPACE. JOINTS & VOIDS AT INTERSECTIONS SHALL COMPLY W/ SECTIONS 707.8 & 707.9.

EXCEPTION 1: SHAFT ENCLOSURES SHALL BE PERMITTED TO TERMINATE AT A TOP ENCLOSURE COMPLYING WITH SECTION 713.12

707.5.1 SUPPORTING CONSTRUCTION. SUPPORTING CONSTRUCTION FOR A FIRE BARRIER SHALL BE PROTECTED TO AFFORD THE REQUIRED RATING OF THE FIRE BARRIER SUPPORTED. HOLLOW VERT SPACES WITHIN A FIRE BARRIER SHALL BE FIREBLOCKED PER 718.2 AT EVERY FLOOR LEVEL.

EXCEPTION 2: SUPPORTING CONSTRUCTION FOR 1-HOUR FIRE BARRIERS REQUIRED BY TABLE 509 IN BUILDINGS OF TYPE VB CONSTRUCTION IS NOT REQUIRED TO BE FIRE-RESISTANCE RATED UNLESS REQUIRED BY OTHER SECTIONS OF THIS CODE.

707.6 OPENINGS. OPENINGS IN A FIRE BARRIER SHALL BE PROTECTED PER SECTION 716. OPENINGS SHALL BE LIMITED TO A MAX AGGREGATE WIDTH OF 25% OF THE LENGTH OF THE WALL & THE MAX AREA OF ANY SINGLE OPENING SHALL NOT EXCEED 156 SQ FT.

EXCEPTION 1: OPENINGS SHALL NOT BE LIMITED TO 156 SQ FT WHERE ADJOINING FLOOR AREAS ARE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM PER 903.3.1.1

707.7 PENETRATIONS. PENETRATIONS OF FIRE BARRIERS SHALL COMPLY WITH SECTION 714.

EXCEPTION 1. OPENINGS SHALL NOT BE LIMITED TO 156 SQ FT WHERE ADJOINING FLOOR AREAS ARE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM PER 903.3.1.1

SECTION 708 FIRE PARTITIONS

708.1 GENERAL. THE FOLLOWING WALL ASSEMBLIES SHALL COMPLY WITH THIS SECTION.

1. SEPARATION WALLS AS REQUIRE BY SECTION 420.2 FOR GROUP R OCCUPANCIES.
3. CORRIDOR WALLS AS REQUIRED BY SECTION 1020.1

708.3 FIRE-RESISTANCE RATING. FIRE PARTITIONS SHALL HAVE A RATING OF NOT LESS THAN 1 HOUR.

708.4 CONTINUITY. FIRE PARTITIONS SHALL EXTEND FROM THE T.O. FOUNDATION OR FLOOR / CEILING ASSEMBLY BELOW AND BE SECURELY ATTACHED TO ONE OF THE FOLLOWING:

- THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE.
- THE UNDERSIDE OF A FLOOR/CEILING OR ROOF/CEILING ASSEMBLY HAVING A FIRE-RESISTANCE RATING NOT LESS THAN THE FIRE-RESISTANCE RATING OF THE FIRE PARTITION.

708.4.1 SUPPORTING CONSTRUCTION. SUPPORTING CONSTRUCTION FOR A FIRE PARTITION SHALL HAVE A FIRE RATING EQUAL TO OR GREATER THAN THE REQUIRED RATING OF THE FIRE PARTITION.

708.4.2 FIREBLOCKS AND DRAFTSOPS IN COMBUSTIBLE CONSTRUCTION. IN COMBUSTIBLE CONSTRUCTION WHERE FIRE PARTITIONS DO NOT EXTEND TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE, THE SPACE ABOVE AND ALONG THE LINE OF THE FIRE PARTITION SHALL BE PROVIDED WITH ONE OF THE FOLLOWING:

- FIREBLOCKING UP TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING. DECK OR SLAB ABOVE USING MATERIALS COMPLYING WITH SECTION 718.2.1.
- DRAFTSTOPPING UP TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE USING MATERIALS PER SECT 718.3.1 FOR FLOORS OR SECT 718.4.1 FOR ATTICS.

EXCEPTION 2: WHERE CORRIDOR WALLS PROVIDE A DWELLING UNIT SEPARATION, DRAFTSTOPPING SHALL ONLY BE REQUIRED ABOVE THE CORRIDOR WALLS.

SECTION 711 FLOOR AND ROOF ASSEMBLIES

711.2.3 SUPPORTING CONSTRUCTION. THE SUPPORTING CONSTRUCTION SHALL BE PROTECTED TO AFFORD THE REQUIRED FIRE-RESISTANCE RATING OF THE HORIZONTAL ASSEMBLY SUPPORTED.

EXCEPTION: IN BUILDINGS OF TYPE VB CONSTRUCTION, THE CONSTRUCTION SUPPORTING THE HORIZONTAL ASSEMBLY IS NOT REQUIRED TO BE FIRE-RESISTANCE RATED AT THE FOLLOWING:

- HORIZ ASSEMBLIES AT THE SEPARATIONS OF INCIDENTAL USES AS SPECIFIED BY TABLE 509 PROVIDED THAT THE REQUIRED FIRE-RESISTANCE RATING DOES NOT EXCEED 1 HOUR.
- HORIZ ASSEMBLIES AT THE SEPARATIONS OF DWELLING UNITS PER SECTION 420.3.

711.2.4 FIRE-RESISTANCE RATING. THE FIRE RATING OF HORIZ ASSEMBLIES SHALL COMPLY W/ SECT 711.2.4.1 - 711.2.4.6 BUT NOT LESS THAN THAT REQUIRED BY THE BUILDING TYPE OF CONSTRUCTION.

711.2.4.1 SEPARATING MIXED OCCUPANCIES. WHERE THE HORIZONTAL ASSEMBLY SEPARATES MIXED OCCUPANCIES, THE ASSEMBLY SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT REQUIRED BY SECTION 508.4 BASED ON THE OCCUPANCIES BEING SEPARATED.

711.2.4.3 DWELLING UNITS AND SLEEPING UNITS. HORIZ ASSEMBLIES SERVING AS DWELLING UNIT SEPARATIONS PER SECT 420.3 SHALL NOT BE LESS THAN 1-HR FIRE-RATED CONSTRUCTION.

EXCEPTION: HORIZ ASSEMBLIES SEPARATING DWELLING UNITS SHALL BE NOT LESS THAN ½-HR FIRE-RATED CONSTRUCTION IN A BUILDING OF TYPE VB CONSTRUCTION, WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM PER SECTION 903.3.1.1.

SECTION 713 SHAFT ENCLOSURES

713.2 CONSTRUCTION. SHAFT ENCLOSURES SHALL BE CONSTRUCTED AS FIRE BARRIERS PER SECTION 707 OR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711 OR BOTH.

713.4 FIRE-RESISTANCE RATING. SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1-HR WHERE CONNECTING LESS THAN 4 STORIES. SHAFT ENCLOSURES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THE FLOOR ASSEMBLY PENETRATED.

713.11 ENCLOSURE AT THE BOTTOM. SHAFTS THAT DO NOT EXTEND TO THE BOTTOM OF THE BUILDING OR STRUCTURE SHALL COMPLY WITH ONE OF THE FOLLOWING.

- SHALL BE ENCLOSED AT LOWEST LEVEL W/ CONSTRUCTION OF THE SAME FIRE RATING.
- SHALL TERMINATE IN A ROOM W/ A USE RELATED & THAT ROOM SHALL BE SEPARATED FROM THE BUILDING BY FIRE BARRIERS PER 707 OR HORIZ ASSEMBLIES PER 711 OR BOTH.

SECTION 716 OPENING PROTECTIVES

TABLE 716.1(2) OPENING FIRE PROTECTION ASSEMBLIES, RATINGS AND MARKINGS

1-HOUR FIRE BARRIERS = 1-HOUR (60 MINUTES)
½- HOUR FIRE PARTITION CORRIDOR = 1/3- HOUR (20 MINUTES)
1-HOUR FIRE PARTITION = ¾-HOUR (45 MINUTES)
½-HOUR FIRE PARTITION = 1/3-HOUR (20 MINUTES)

CHAPTER 8 INTERIOR FINISHES

802.7 FOAM PLASTICS. FOAM PLASTICS SHALL NOT BE USED AS INTERIOR FINISH EXCEPT AS PROVIDED IN SECT 803.4. FOAM PLASTICS SHALL NOT BE USED AS INTERIOR TRIM EXCEPT AS PROVIDED IN SECT 806.5 OR 2804.2. THIS SECTION SHALL APPLY TO BOTH EXPOSED FOAM PLASTICS AND TO FOAM PLASTICS USED IN CONJUNCTION WITH A TEXTILE OR VINYL FACING OR COVER.

SECTION 803 WALL AND CEILING FINISHES

TABLE 803.13 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY

GROUP R-2: SPRINKLERED	
INTERIOR EXIT STAIRWAYS AND EXIT PASSAGEWAYS:	C
CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS:	C
ROOMS AND ENCLOSED SPACES:	C
GROUP B: SPRINKLERED	
ROOMS AND ENCLOSED SPACES:	C
GROUP S: SPRINKLERED	
ROOMS AND ENCLOSED SPACES:	C

CHAPTER 9 FIRE PROTECTION AND LIFE SAFETY SYSTEMS

903 AUTOMATIC SPRINKLER SYSTEMS

903.2.8 GROUP R. AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP 'R' FIRE AREA.

903.3 INSTALLATION REQUIREMENTS. AUTOMATIC SPRINKLER SYSTEMS SHALL BE DESIGNED AND INSTALLED PER SECTIONS 903.3.1 THROUGH 903.3.8.

903.3.1.1 NFPA 13 SPRINKLER SYSTEMS. WHERE THE PROVISIONS OF THIS CODE REQUIRE THAT A BUILDING OR PORTION THEREOF BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM PER THIS SECTION, SPRINKLERS SHALL BE INSTALLED THROUGHOUT PER NFPA 13 EXCEPT AS PROVIDED IN SECTIONS 903.3.1.1.1 AND 903.3.1.1.2

903.3.2 QUICK-RESPONSE AND RESIDENTIAL SPRINKLERS. WHERE AUTOMATIC SPRINKLER SYSTEMS ARE REQUIRED BY THIS CODE, QUICK-RESPONSE OR RESIDENTIAL AUTOMATIC SPRINKLERS SHALL BE INSTALLED IN ALL OF THE FOLLOWING AREA IN ACCORDANCE WITH 903.3.1 AND THEIR LISTINGS:

- DWELLING UNITS AND SLEEPING UNITS IN GROUP R OCCUPANCIES.

903.3.1.2 NFPA 13R SPRINKLER SYSTEM. AUTOMATIC SPRINKLER SYSTEMS IN GROUP R OCCUPANCIES UP TO AND INCLUDING 4 STORIES IN HEIGHT IN BUILDINGS NOT EXCEEDING 60' IN HEIGHT SHALL BE PERMITTED TO BE INSTALLED THROUGHOUT IN ACCORDANCE WITH NFPA 13R.

906 PORTABLE FIRE EXTINGUISHERS

906.1 WHERE REQUIRED. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN R-2 OCCUPANCIES.

907 FIRE ALARM AND DETECTION SYSTEMS

907.2 WHERE REQUIRED – NEW BUILDINGS AND STRUCTURES.

EXCEPTION 2: THE MANUAL FIRE ALARM BOX IS NOT REQUIRED FOR GROUP R-2 OCCUPANCIES UNLESS REQUIRED BY THE FIRE CODE OFFICIAL TO PROVIDE A MEANS FOR FIRE WATCH PERSONNEL TO INITIATE AN ALARM DURING A SPRINKLER SYSTEM IMPAIRMENT EVENT. WHERE PROVIDED, THE MANUAL FIRE ALARM BOX SHALL NOT BE LOCATED IN AN AREA THAT IS OPEN TO THE PUBLIC.

907.2.9 GROUP R-2. FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE INSTALLED IN GROUP R-2 OCCUPANCIES AS REQUIRED IN SECTIONS 907.2.9.1 THROUGH 907.2.9.3.

907.2.9.1 MANUAL FIRE ALARM SYSTEM.

A MANUAL FIRE ALARM SYSTEM SHALL BE INSTALLED IN GROUP R-2 OCCUPANCIES WHERE THE BUILDING CONTAINS MORE THAN 16 DWELLING UNITS.

EXCEPTION 2: MANUAL FIRE ALARM NOT REQUIRED WHERE A BLDG IS EQUIPPED THROUGHOUT W/ AN AUTOMATIC SPRINKLER SYSTEM PER SECT 903.3.1.1 OR SECT 903.3.1.2 & THE OCCUPANT NOTIFICATION APPLIANCE WILL AUTOMATICALLY ACTIVATE UPON SPRINKLER WATER FLOW.

907.2.10.2 GROUP R-2. SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED & MAINTAINED IN GROUP R-2 REGARDLESS OF OCCUPANT LOAD AT THE FOLLOWING LOCATIONS:

- ON THE CEILING/WALL OUTSIDE EACH SLEEPING AREA IN IMMEDIATE VICINITY OF BEDROOM.
- IN EACH ROOM USED FOR SLEEPING PURPOSES.

907.2.10.3 INSTALLATION NEAR COOKING APPLIANCES. SMOKE ALARMS SHALL NOT BE INSTALLED IN THE FOLLOWING LOCATIONS UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM IN A LOCATION REQUIRED BY SECTION 907.2.10.1 OR 907.2.10.2.

907.2.10.4 INSTALLATION NEAR BATHROOMS. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3' HORIZONTALLY FROM THE DOOR/OPENING OF A BATHROOM CONTAINING A BATHTUB OR SHOWER UNLESS THIS PREVENTS PLACEMENT OF A SMOKE ALARM REQUIRED BY SECT 907.2.10.1 OR 907.2.10.2.

907.2.10.5 INTERCONNECTION. WHERE MORE THAN 1 SMOKE ALARM IS REQUIRED W/ AN INDIVIDUAL DWELLING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. PHYSICAL INTERCONNECTION SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED & ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS W/ ALL INTERVENING DOORS CLOSED.

907.2.10.7 SMOKE DETECTION SYSTEM. SMOKE DETECTORS LISTED IN ACCORDANCE W/ UL 268 & PROVIDED AS PART OF THE BLDG FIRE ALARM SYSTEM SHALL BE AN ACCEPTABLE ALTERNATIVE TO SINGLE- AND MULTIPLE-STATION SMOKE ALARMS & SHALL COMPLY WITH THE FOLLOWING:

- THE FIRE ALARM SYSTEM SHALL COMPLY WITH SECTION 907.
- ACTIVATION OF SMOKE DETECTOR IN A DWELLING UNIT SHALL INITIATE ALARM NOTIFICATION IN THE DWELLING UNIT PER SECTION 907.5.2.
- ACTIVATION OF A SMOKE DETECTOR IN A DWELLING UNIT SHALL NOT ACTIVATE ALARM NOTIFICATION APPLIANCES OUTSIDE OF THE DWELLING UNIT, PROVIDED THAT A SUPERVISORY SIGNAL IS GENERATED AND MONITORED PER SECTION 907.6.6.

907.5 OCCUPANT NOTIFICATION SYSTEMS. A FIRE ALARM SYSTEM SHALL ANNUNCIATE AT THE FIRE ALARM CONTROL UNIT & SHALL INITIATE OCCUPANT NOTIFICATION UPON ACTIVATION, PER SECTIONS 907.5.1 - 907.5.2.3.3. WHERE A FIRE ALARM SYSTEM IS REQUIRED BY ANOTHER SECTION, IT SHALL BE ACTIVATED BY:

- AUTOMATIC FIRE DETECTORS
- AUTOMATIC SPRINKLER SYSTEM WATERFLOW INDICATORS
- MANUAL FIRE ALARM BOXES
- AUTOMATIC FIRE EXTINGUISHING SYSTEMS

907.5.2 ALARM NOTIFICATION APPLIANCES.

907.5.2.1 AUDIBLE ALARMS. AUDIBLE ALARM NOTIFICATION APPLIANCES SHALL BE PROVIDED AND EMIT A DISTINCTIVE SOUND THAT IS NOT TO BE USED FOR ANY PURPOSE OTHER THAN A FIRE ALARM.

907.5.2.3.3 GROUP R-2. IN GROUP R-2 OCCUPANCIES REQUIRED BY SECT 907 TO HAVE A FIRE ALARM SYSTEM, EACH STORY THAT CONTAINS DWELLING UNITS SHALL BE PROVIDED WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES PER CHAPTER 10 OF IBC A117.1. SUCH CAPABILITY SHALL ACCOMMODATE WIRED OR WIRELESS EQUIPMENT. THE FUTURE CAPABILITY SHALL INCLUDE ONE OF THE FOLLOWING:

- THE INTERCONNECTION OF THE BLDG FIRE ALARM SYSTEM WITH THE UNIT SMOKE ALARMS.
- THE REPLACEMENT OF AUDIBLE APPLIANCES W/ COMBINATION AUDIBLE/VISIBLE APPLIANCES.
- THE FUTURE EXTENSION OF THE EXISTING WIRING FROM THE UNIT SMOKE ALARM LOCATIONS TO REQUIRED LOCATIONS FOR VISIBLE APPLIANCE.

SECTION 912 FIRE DEPARTMENT CONNECTIONS.

SHALL BE APPROVED BY FIRE OFFICIAL, SHALL BE VISIBLE, SHALL NOT OBSTRUCT ACCESS

SECTION 915 CARBON MONOXIDE DETECTION

915.1.1 WHERE REQUIRED. CARBON MONOXIDE DETECTION SHALL BE PROVIDED IN GROUP R OCCUPANCIES AS SPECIFIED IN SECT 915.2 WHERE ANY CONDITIONS IN SECT 915.2 - 915.1.6 EXIST.

915.2.1 DWELLING UNITS. CARBON MONOXIDE DETECTION SHALL BE INSTALLED IN DWELLING UNITS OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, CARBON MONOXIDE DETECTION SHALL BE INSTALLED WITHIN THE BEDROOM.

CHAPTER 10 MEANS OF EGRESS

SECTION 1005 MEANS OF EGRESS SIZING

1005.3.1 STAIRWAYS

LEVEL 2: 0.3' X 35 OCCUPANTS = 10.5"
LEVEL 3: 0.3' X 35 OCCUPANTS = 10.5"

1005.3.2 OTHER EGRESS COMPONENTS

LEVEL 1: 0.2' X 32 OCCUPANTS = 6.4"
LEVEL 2: 0.2' X 35 OCCUPANTS = 7.0"
LEVEL 3: 0.2' X 35 OCCUPANTS = 7.0"

1006.2.2.1 BOILER, INCINERATOR AND FURNACE ROOMS. TWO EXISTS ARE REQUIRED IN ROOMS WHERE THE AREA IS OVER 500 SF & ANY FUEL-FIRED EQUIP EXCEEDS 400,000 BTU INPUT CAPACITY.

TABLE 1006.3.2 MINIMUM NUMBER OF EXITS PER STORY

OCCUPANT LOAD PER STORY = 1-500; 2 EXITS REQUIRED

SECTION 1011 STAIRWAYS

LIFE SAFETY PLAN: GENERAL NOTES

1. RATED FIRE PARTITIONS SHALL BE CONTINUOUS FROM TOP OF FLOOR TO UNDERSIDE OF RATED FLOOR CEILING ASSEMBLY.
2. FIRE BARRIERS SHALL BE CONTINUOUS FROM TOP OF FLOOR TO B.O. FLOOR SHEATHING.
3. FIRE STOP PENETRATIONS THROUGH RATED ASSEMBLIES.
4. GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS AND CABINETS IN ACCORDANCE WITH APPLICABLE CODES AND AMENDMENTS. FIRE EXTINGUISHERS WEIGHING LESS THAN 40 POUNDS CAN BE LOCATED NO HIGHER THAN 5 FEET. FIRE EXTINGUISHERS WEIGHING MORE THAN 40 POUNDS CAN BE LOCATED NO HIGHER THAN 3.5 FEET.
5. FIRE EXTINGUISHER CABINETS IN RATED ASSEMBLIES SHALL BE FIRE RATED.
6. ALL STAIRS SHALL BE CONSTRUCTED TO DIMENSIONS SHOWN AND TO NOT LESS THAN 44" CLEAR WIDTH FROM INSIDE OF STRINGERS EXCEPT AT STAIR 3 WHICH SHALL NOT BE LESS THAN 36" CLEAR WIDTH.

OCCUPANCY LOAD SCHEDULE - LEVEL 1			
AREA DESCRIPTION	OCCUPANT LOAD FACTOR	AREA (SF)	OCCUPANT LOAD
B: OFFICE	150 SF	149 SF	0.99
R-2: MECHANICAL / ELECTRICAL	300 SF	644 SF	2.15
R-2: RESIDENTIAL	200 SF	5,186 SF	25.93
S-1: ACCESSORY STORAGE	300 SF	682 SF	2.27
S-1: ACCESSORY STORAGE	300 SF	189 SF	0.63
			31.97

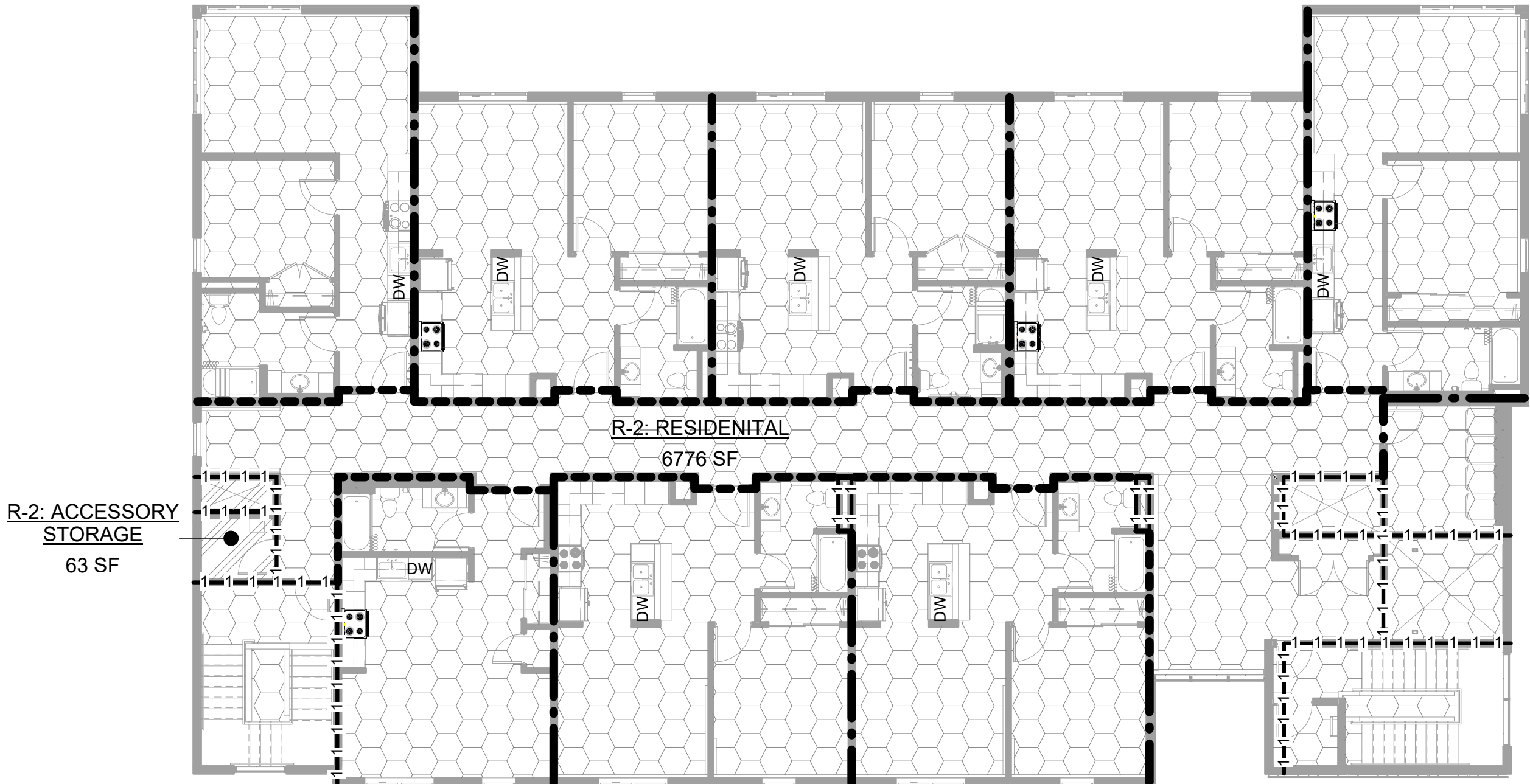
OCCUPANCY LOAD SCHEDULE - LEVEL 2			
AREA DESCRIPTION	OCCUPANT LOAD FACTOR	AREA (SF)	OCCUPANT LOAD
R-2: ACCESSORY STORAGE	300 SF	63 SF	0.21
R-2: RESIDENTIAL	200 SF	6,776 SF	33.88
			34.09

OCCUPANCY LOAD SCHEDULE - LEVEL 3			
AREA DESCRIPTION	OCCUPANT LOAD FACTOR	AREA (SF)	OCCUPANT LOAD
R-2: ACCESSORY STORAGE	300 SF	63 SF	0.21
R-2: RESIDENTIAL	200 SF	6,776 SF	33.88
			34.09

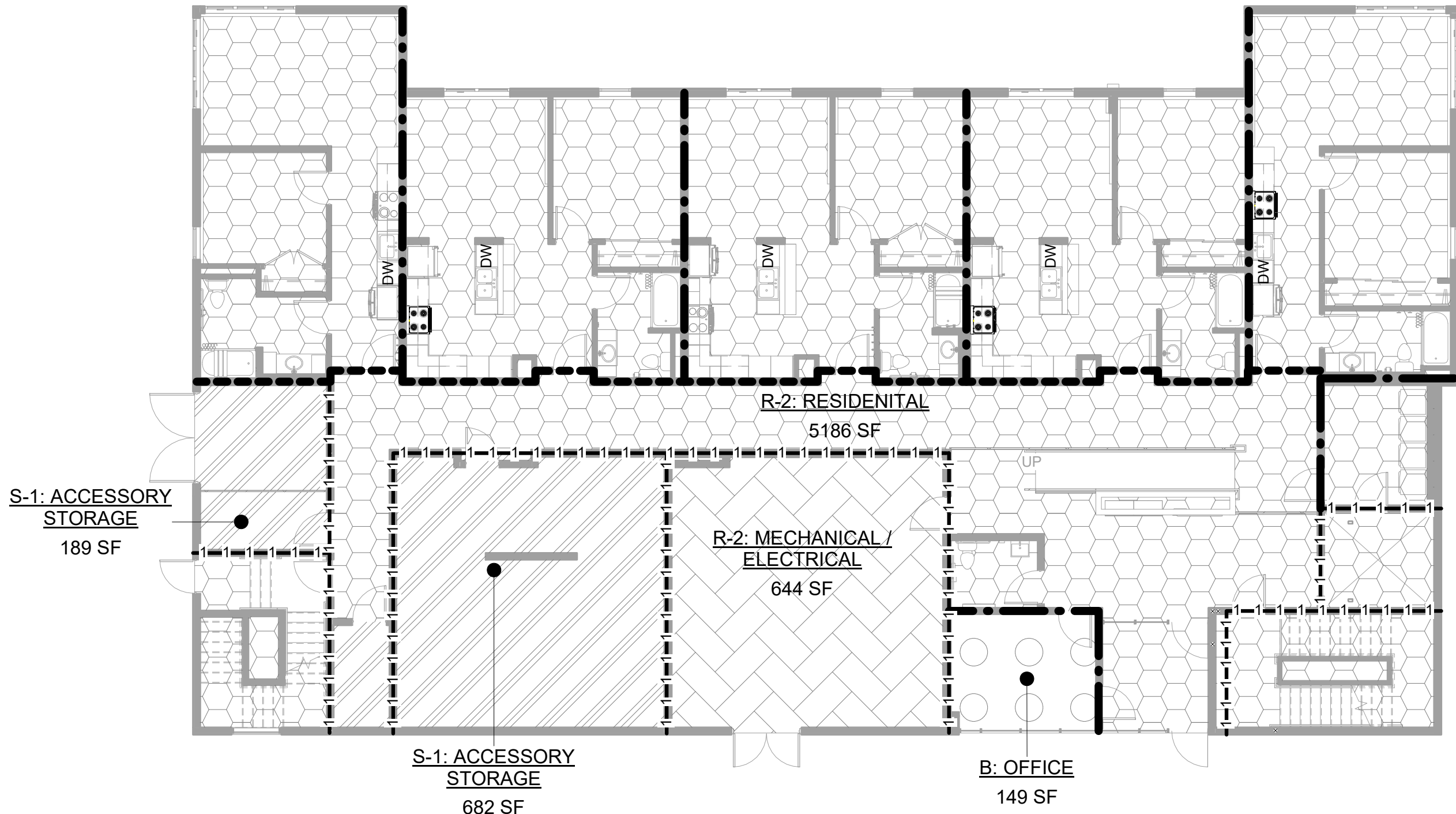
LIFE SAFETY PLAN: LEGEND

- 1/2-HOUR FIRE PARTITION
- .-.- 1-HOUR FIRE PARTITION
- 1-1-1- 1-HOUR FIRE BARRIER
- ● ● ● EGRESS ROUTE
- ▲ BUILDING EXIT
- ★ PORTABLE FIRE EXTINGUISHER - LOCATED UNDER KITCHEN SINK IN UNITS: CLASS 2-A FOR INTERIOR LOCATIONS
- WALL MOUNTED FIRE EXTINGUISHER: CLASS 2-A FOR INTERIOR LOCATIONS
- FACP FIRE ALARM CONTROL PANEL
- PS PULL STATION
- ◆ KNOX BOX
- B: OFFICE
- R-2: MECHANICAL / ELECTRICAL
- R-2: RESIDENTIAL
- S-1: ACCESSORY STORAGE

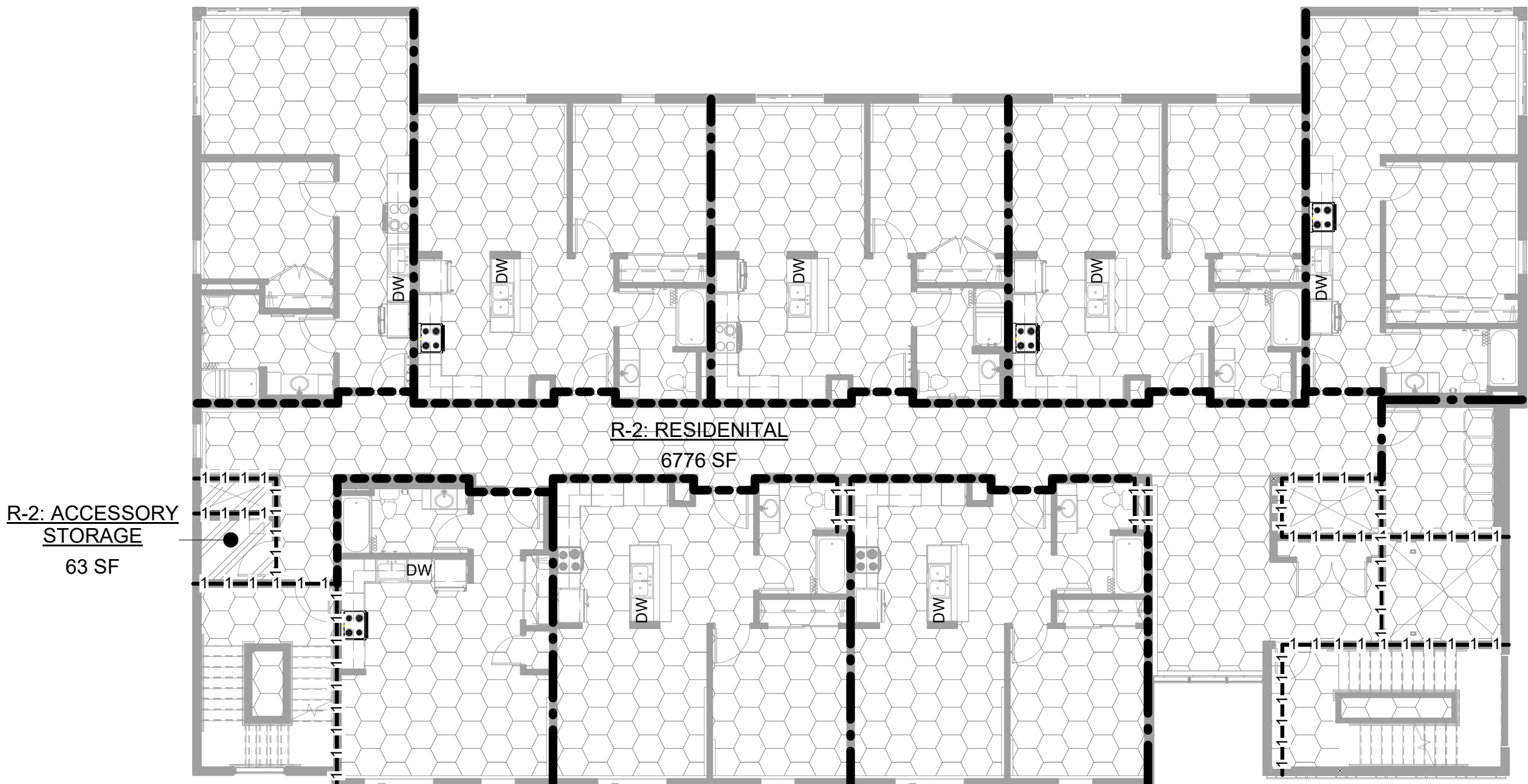
LIFE SAFETY PLAN: LEVEL 3



LIFE SAFETY PLAN: LEVEL 0 / LEVEL 1



LIFE SAFETY PLAN: LEVEL 2



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COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	22-018
DATE	2023.03.08
DRAWN	DN
REVIEWED	DTW

SHEET NAME
LIFE SAFETY PLANS

SHEET NO.
G1.01



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COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	22-018
DATE	2023.03.08
DRAWN	DN
REVIEWED	DTW

SHEET NAME
HORIZONTAL ASSEMBLIES

SHEET NO.

G1.02

This architectural floor plan shows a building layout with a grid pattern. The plan includes several rooms, each labeled 'DW'. The rooms are arranged in a central corridor system, with some rooms having multiple 'DW' labels. The plan also shows various structural elements like walls, doors, and windows, as well as a staircase area on the right side.

CODE ANALYSIS: TITLE 21

PARCEL ID: 004-038-43-000
ZONING: B3
PLAT: 700288
SQUARE FEET: 27,000 SF (LOT) / 20,528 SF (BUILDING) / 6,850 SF (FOOTPRINT)
LEGAL DESC: MOUTAINS VIEW BLK 1 LT 1B

FAR = .519 = 21 UNITS / 2.30 ACRES ~ 9.13 UNITS / 1 ACRE

CHAPTER 21.04: ZONING DISTRICTS

21.04.030 COMMERCIAL DISTRICTS
D. B-3 GENERAL BUSINESS DISTRICT

1. PURPOSE.
- THE B-3 DISTRICT IS INTENDED PRIMARILY FOR GENERAL COMMERCIAL USES IN COMMERCIAL CENTERS AND AREAS EXPOSED TO HEAVY TRAFFIC. THESE COMMERCIAL USES ARE INTENDED TO BE LOCATED ON ARTERIALS, OR WITHIN COMMERCIAL CENTERS OF TOWN, AND TO BE PROVIDED WITH ADEQUATE PUBLIC SERVICES AND FACILITIES. THEY ARE SUBJECT TO THE PUBLIC VIEW AND SHOULD PROVIDE AN ATTRACTIVE APPEARANCE WITH LANDSCAPING, SUFFICIENT PARKING, AND CONTROLLED TRAFFIC MOVEMENT. ENVIRONMENTAL IMPACTS SHOULD BE MINIMIZED, ABUTTING RESIDENTIAL AREAS SHOULD BE PROTECTED FROM POTENTIALLY NEGATIVE IMPACTS ASSOCIATED WITH COMMERCIAL ACTIVITY. WHILE B-3 DISTRICT AREAS SHALL CONTINUE TO MEET THE NEED FOR AUTO-RELATED AND OTHER AUTO-ORIENTED USES, IT IS THE MUNICIPALITY'S INTENT THAT THE B-3 DISTRICT ALSO SHALL PROVIDE FOR SAFE AND CONVENIENT PERSONAL MOBILITY IN OTHER FORMS. PLANNING AND DESIGN SHALL ACCOMMODATE PEDESTRIANS AND BICYCLISTS. IN ADDITION TO A WIDE RANGE OF COMMERCIAL OFFICE, RETAIL AND COMMERCIAL SERVICES, OTHER USE CATEGORIES SUCH AS RESIDENTIAL AND COMMUNITY USES, AND MIXED-USE PROJECTS, ARE ALLOWED.

CHAPTER 21.05: USE REGULATIONS

21.05.010 TABLE OF ALLOWED USES (TABLE 21-05-1)
RESIDENTIAL USES (DWELLING, MULTIFAMILY)
B3 = PERMITTED

21.05.030 RESIDENTIAL USES: DEFINITIONS & USE-SPECIFIC STANDARDS

A. HOUSEHOLD LIVING

1. DWELLING, MULTIFAMILY.
2. DEFINITION. A RESIDENTIAL BUILDING OR MULTIPLE RESIDENTIAL BUILDINGS COMPRISING THREE OR MORE DWELLING UNITS ON ONE LOT. THE DEFINITION INCLUDES THE TERMS "APARTMENT" OR "APARTMENT BUILDING."
- B. USE-SPECIFIC STANDARDS.
1. MULTIFAMILY DEVELOPMENTS THAT CONSIST OF THREE OR MORE UNITS IN ONE BUILDING SHALL COMPLY WITH SUBSECTION 21.07.110C, STANDARDS FOR MULTIFAMILY RESIDENTIAL, EXCEPT AS PROVIDED IN SUBSECTION B.III. BELOW.

CHAPTER 21.06: DIMENSIONAL STANDARDS AND MEASUREMENTS

21.06.020 – DIMENSIONAL STANDARDS TABLES.

TABLE 21.06-2 TABLE OF DIMENSIONAL STANDARDS – COMMERCIAL AND INDUSTRIAL DISTRICTS	
B-3: RESIDENTIAL HOUSEHOLD LIVING USES	
MINIMUM AREA:	6,000 SF
MINIMUM WIDTH:	50 FT
MAXIMUM LOT COVERAGE:	50%
MINIMUM FRONT YARD:	10 FT
MINIMUM SIDE YARD:	5 FT PLUS 1 FT FOR EACH 5 FT IN HEIGHT EXCEEDING 35' (T.O. EPDM = 37' – 2" = 6' MIN SIDE YARD)
MINIMUM REAR YARD:	10 FT
MAXIMUM HEIGHT:	45 FT (ACTUAL HEIGHT = 37' – 2")

CHAPTER 21.07 - DEVELOPMENT AND DESIGN STANDARDS

21.07.110 – RESIDENTIAL DESIGN STANDARDS.

C. STANDARDS FOR MULTIFAMILY AND TOWNHOUSE RESIDENTIAL.

2. APPLICABILITY. THESE STANDARDS APPLY TO:
- a. ANY MULTIFAMILY STRUCTURE (THREE OR MORE UNITS);
3. WINDOWS FACING THE STREET.
- a. WINDOWS. WINDOWS OR PRIMARY ENTRANCE DOORS SHALL BE PROVIDED ON EACH BUILDING ELEVATION FACING A STREET OR THAT HAS PRIMARY ENTRANCES TO DWELLINGS (UP TO A MAXIMUM OF TWO ELEVATIONS). AT LEAST TEN PERCENT OF THE WALL AREA OF THE BUILDING ELEVATION SHALL BE WINDOWS OR PRIMARY ENTRANCE. THE DIRECTOR MAY ELIMINATE OR REDUCE THE REQUIREMENT ON ONE ELEVATION (IN INSTANCES WHERE UP TO TWO APPLY) BASED ON SITE SPECIFIC CIRCUMSTANCES (SUCH AS INFILL PROJECTS WHERE AN ENTRY FACES AN ADJACENT PROPERTY RATHER THAN THE STREET).
- SOUTH ELEVATION = 827/4130 SF | 20.0%
NORTH ELEVATION = 718/4059 SF | 17.6%
6. BUILDING AND SITE ORIENTATION MENU. BUILDINGS SHALL BE ORIENTED TO SURROUNDING STREETS, SIDEWALKS, COMMON PRIVATE OPEN SPACES, AND THE NEIGHBORHOOD PUBLIC REALM THROUGH AT LEAST THREE OF THE FOLLOWING MENU CHOICES. THE DIRECTOR MAY REDUCE THE REQUIREMENT TO TWO MENU CHOICES IF HE OR SHE DETERMINES THAT THE PRIMARY OBJECTIVE OF THE MENU OPTION IS ACHIEVED OR THAT THE SPECIFIC SITE LIMITS AVAILABILITY OF A MAJORITY OF THE OPTIONS.
- b. ORIENTATION OF LIVING SPACES AND WINDOWS—GROUND FLOOR. PROVIDE WINDOWS AND/OR ENTRANCES TO HABITABLE LIVING SPACES COMPRISING AT LEAST TEN PERCENT OF THE GROUND-FLOOR WALL AREA OF UP TO TWO BUILDING ELEVATIONS FACING A STREET OR HAVING A PRIMARY FRONT ENTRANCE. WINDOWS IN A GARAGE DOOR DO NOT COUNT TOWARDS THE MINIMUM AREA IN THIS SECTION.
- SOUTH ELEVATION = 246.8/1346 SF | 18.3%
NORTH ELEVATION = 239.3/1028.5 SF | 23.3%
- c. ORIENTATION OF LIVING SPACES AND WINDOWS—OVERALL DEVELOPMENT. PROVIDE WINDOWS AND/OR ENTRANCES TO HABITABLE LIVING SPACES, COMPRISING AT LEAST TEN PERCENT OF THE TOTAL WALL AREA OF UP TO TWO BUILDING ELEVATIONS FACING A STREET OR HAVING A PRIMARY FRONT ENTRANCE. WINDOWS IN A GARAGE DOOR DO NOT COUNT TOWARDS THE MINIMUM AREA IN THIS SECTION.
- SOUTH ELEVATION = 827/4130 SF | 20.0%
NORTH ELEVATION = 718/4059 SF | 17.6%
- e. STREET FRONTAGE—PARKING BESIDE OR BEHIND THE BUILDING. NO MORE THAN 70 PERCENT OF A STREET-FACING BUILDING ELEVATION SHALL HAVE PARKING FACILITIES (INCLUDING GARAGES) BETWEEN IT AND THE STREET.
- NO PARKING BETWEEN STREET AND BUILDING & RICHMOND AVENUE.
- j. SEPARATED WALKWAY TO THE STREET. CONNECT ALL PRIMARY ENTRANCES TO THE STREET BY A CLEAR AND DIRECT WALKWAY SEPARATED FROM AND NOT ROUTED THROUGH A PARKING FACILITY.
- k. VISIBLE FRONT ENTRIES.
- a. PLACE THE PRIMARY FRONT ENTRANCE(S) (AT LEAST ONE SHARED PRIMARY FRONT ENTRANCE FOR A MULTIFAMILY STRUCTURE OR AT LEAST 50 PERCENT OF INDIVIDUAL UNIT ENTRANCES) ON A STREET-FACING BUILDING ELEVATION, OR FACING A COMMON PRIVATE OPEN SPACE THAT IS VISIBLE FROM AND HAS DIRECT ACCESS TO THE STREET.
- i. AS AN ALTERNATIVE, PLACE THE PRIMARY FRONT ENTRANCE(S) ON A FAÇADE AT AN ANGLE OF UP TO 90 DEGREES FROM THE STREET, WHERE THERE IS AN UNOBSTRUCTED LINE OF SIGHT FROM THE STREET OR SIDEWALK EDGE (ABUTTING THE SITE) TO THE ENTRY DOOR, AND A SHELTERING ROOF STRUCTURE NO MORE THAN 12 FEET ABOVE THE FLOOR OF THE ENTRY AS A PERMANENT ARCHITECTURAL FEATURE PROJECTING FROM THE FAÇADE.

7. BUILDING ARTICULATION MENU. ANY BUILDING ELEVATION FACING A STREET OR HAVING A PRIMARY FRONT ENTRANCE SHALL PROVIDE AT LEAST FOUR FEATURES FROM THE MENU BELOW, EXCEPT THAT THE END WALLS OF ROWS OF DWELLING UNITS MAY PROVIDE AS FEW AS THREE FEATURES. THIS SECTION SHALL APPLY TO NO MORE THAN TWO BUILDING ELEVATIONS, WITH PRIORITY TO AT LEAST ONE ELEVATION FACING A STREET. EACH BUILDING ELEVATION MAY USE DIFFERENT MENU CHOICES.

- d. VARIATION OF EXTERIOR FINISHES. USE TWO OR MORE PRIMARY WALL SIDING MATERIALS, OR A CHANGE OF COLOR ONLY IF THE COLOR CHANGE IS TO A DIFFERENT PRIMARY OR SECONDARY COLOR FAMILY AND IS DELINEATED WITH TRIM OR A CHANGE IN WALL PLANE, NOT INCLUDING CONCRETE OR BLOCK FOUNDATION.
- THREE (3) PRIMARY SIDING MATERIALS ARE USED ON SOUTH TWO (2) MATERIALS ARE USED ON THE NORTH.
- e. ORNAMENTAL FEATURES AND DETAIL ELEMENTS. USE TWO OR MORE FAÇADE DETAIL FEATURES AT INTERVALS, SUCH AS MEDALLIONS, SHUTTERS, COLUMNS, PILASTERS, WALL MODULATIONS THAT DON'T MEET SUBSECTIONS 7.A. OR 7.B. ABOVE, BALCONIES THAT DON'T MEET 7.F. BELOW, TRIM THAT IS THREE AND ONE-HALF INCH WIDE OR WIDER, OR OTHER SIMILAR FEATURES APPROVED BY THE DIRECTOR.
- SEE CHROMA ORNAMENTATION ON NORTH AND SOUTH ELEVATIONS. WALL MODULATION NOT COMPLYING WITH SUBSECTION 7.A OR 7.B ABOVE.
- i. ENTRY ARTICULATION. ENHANCE THE ARTICULATION OF THE PRIMARY FRONT ENTRANCE (OR AT LEAST 50 PERCENT ENTRIES WHEN NOT EVERY ENTRY FACES THE STREET) WITH A SHELTERING ROOF STRUCTURE, PROJECTING VESTIBULE, OR WALL PROJECTION/RECESSES, HAVING A DEPTH OF AT LEAST FOUR FEET FOR THE WIDTH OF THE ENTRY SPACE.
- SOUTH ENTRY = 7" – 10" DEEP
- l. ROOFLINE MODULATION. PROVIDE VARIATIONS IN ROOF FORM, ORIENTATION, OR HEIGHT USING FEATURES SUCH AS A TERRACING PARAPET, MULTIPLE PEAKS, JOGGED RIDGE LINES, PROJECTING ROOF FORMS AND DORMERS, PROVIDED AT INTERVALS ABOVE THE MAIN EAVE LINE (SPACED AS STATED IN MENU CHOICE SUBSECTION 7.A. ABOVE). THE VERTICAL DIMENSION OF THE ROOFLINE VARIATION SHALL BE AT LEAST THE GREATER OF TWO FEET OR TEN PERCENT OF THE WALL HEIGHT.
- PARAPETS 3' & 5" – 6"

8. NORTHERN CLIMATE WEATHER PROTECTION AND SUNLIGHT MENU. BUILDING AND SITE DESIGN SHALL RESPOND TO ALASKA'S NORTHERN CLIMATE, INCLUDING THE EFFECTS OF SNOW, ICE, LOW TEMPERATURES, WIND EXPOSURE, AND LOW AND SEASONAL SUNLIGHT CONDITIONS, WHICH IMPACTS THE PEDESTRIAN ENVIRONMENT AND LIVABILITY OF DENSER COMPACT HOUSING AREAS, BY PROVIDING AT LEAST FOUR FEATURES FROM THE FOLLOWING MENU ON BUILDINGS COMPRISED OF EIGHT OR MORE UNITS. MENU CHOICES SUBSECTIONS 8.F., YEAR-ROUND ACCESS TO SUNLIGHT; 8.G., SUNLIGHT ACCESS FOR NEIGHBORS; 8.I., SUN TRAP; 8.J., ATRIUM; AND 8.L., SUNLIT AND WIND PROTECTED COURTYARDS SHALL EACH COUNT AS TWO FEATURES. THE DIRECTOR HAS THE ABILITY TO REDUCE THE NUMBER OF REQUIRED FEATURES IN CIRCUMSTANCES WHERE SITE CONDITIONS OR SCALE OF BUILDINGS DO NOT SUPPORT THE FEATURES PROVIDED IN THE MENU OPTIONS.

- a. WEATHER PROTECTED ENTRANCE. PROVIDE OUTDOOR SHELTER AS A PERMANENT ARCHITECTURAL FEATURE, THAT COVERS AT LEAST 24 SF OF OUTDOOR ENTRYWAY SPACE FOR EACH PRIMARY FRONT ENTRANCE.
- SOUTH ENTRY = 285 SF (PER REVIT)
- c. SHELTERED PASSENGER LOADING ZONE, BICYCLE PARKING, OR TRANSIT STOP. PROVIDE PEDESTRIAN SHELTER OVER A PASSENGER LOADING ZONE, ACCESSIBLE PARKING AISLE OR ROUTE, BICYCLE PARKING, OR A TRANSIT SHELTER.
- BIKE PARKING UNDER CANOPY
- e. ORIENTATION FOR SUNLIGHT ACCESS. PROVIDE WINDOWS AND/OR PRIMARY ENTRANCES FOR AT LEAST 20 PERCENT OF THE WALL AREA WITH A SOLAR ORIENTATION AND DEMONSTRATE EACH IS LIKELY TO RECEIVE AT LEAST SIX HOURS OF SUNLIGHT ACCESS ON MARCH/SEPTEMBER 21. NATURAL FEATURES EXISTING AT THE TIME OF DEVELOPMENT, SUCH AS TREES, SHALL NOT BE CONSIDERED AS BLOCKING SUNLIGHT ACCESS, BUT NEWLY INSTALLED EVERGREEN TREES SHALL BE PLANTED SO AS TO MINIMIZE BLOCKING OF SUNLIGHT ACCESS.
- h. DAYLIGHTING. PROVIDE FOR APARTMENT DAYLIGHTING AND BUILDING SPACING AS FOLLOWS: LOCATE AT LEAST ONE WINDOW IN THE MAIN LIVING AREA OF EACH DWELLING SUCH THAT AN IMAGINARY DAYLIGHT PLANE EXTENDING FROM THE WINDOW AND FORMED BY AN ANGLE OF 60 DEGREES THAT IS UNOBSTRUCTED FOR A HORIZONTAL DISTANCE OF 60 FEET. THE PLANE ANGLE SHALL BE MEASURED HORIZONTALLY FROM THE CENTER OF THE BOTTOM OF THE WINDOW. AS AN ALTERNATIVE, TWO ANGLES WITH A SUM OF 60 DEGREES MAY BE USED.
9. ENTRYWAY TREATMENT. PRIMARY FRONT ENTRANCES SHALL BE GIVEN EMPHASIS AND PHYSICAL ACCESS AS FOLLOWS. A PORCH, LANDING, PATIO, OR OTHER SEMI-PRIVATE OUTDOOR ENTRYWAY SPACE WITH A MINIMUM DIMENSION OF FOUR FEET SHALL BE PROVIDED THAT IS DISTINGUISHED FROM ADJACENT AREAS AND VEHICULAR PARKING BY A VERTICAL SEPARATION OR CHANGE IN SURFACE MATERIAL. EXAMPLES OF FEATURES THAT MEET THE INTENT OF THE SECTION INCLUDE THE FOLLOWING:
- a. OUTDOOR SHELTERING ROOF STRUCTURE SUCH AS AN OVERHANG, RECESS, PORTICO, OR OTHER PERMANENT ARCHITECTURAL FEATURE COVERING AT LEAST 12 SQUARE FEET.
- b. FAÇADE VARIATION THROUGH WALL MODULATION (CHANGES IN WALL PLANE) OR CHANGES IN EXTERIOR FINISHES (COLOR OR MATERIALS) THAT RELATE TO AND EMPHASIZE THE ENTRY.
- c. ENTRY DETAIL ELEMENTS SUCH AS DOUBLE DOORS, ENTRY SIDE LIGHT OR TRANSOM WINDOWS, OR PLANTER BOXES.

CODE ANALYSIS: ICC A117.1-2009

CHAPTER 10 DWELLING AND SLEEPING UNITS.

304.1 BUSINESS GROUP B. BUSINESS GROUP B OCCUPANCY INCLUDES, AMONG OTHERS, THE USE OF A BUILDING OR STRUCTURE OR PORTION THEREOF, FOR OFFICE, PROFESSIONAL OR SERVICE-TYPE BUSINESS OCCUPANCIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING: PROFESSIONAL SERVICES.

311.1.1 ACCESSORY STORAGE SPACES. A ROOM OR SPACE USED FOR STORAGE PURPOSES THAT IS ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS PART OF THAT OCCUPANCY.

311.2 MODERATE-HAZARD STORAGE, GROUP S-1. STORAGE GROUP S-1 OCCUPANCIES

310.3 RESIDENTIAL GROUP R-2. RESIDENTIAL GROUP R-2 OCCUPANCIES CONTAINING SLEEPING UNITS OF MORE THAN TWO DWELLING UNITS WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE, INCLUDING: APARTMENT HOUSES.

CHAPTER 4 SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE

420.2 SEPARATION WALLS. WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING AND WALLS SEPARATING DWELLING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.

420.3 HORIZONTAL SEPARATION. FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDINGS AND FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.

420.4 AUTOMATIC SPRINKLER SYSTEM. GROUP R OCCUPANCIES SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECT 903.2.8. QUICK-RESPONSE OR RESIDENTIAL AUTOMATIC SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 903.3.2.



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COOK INLET HOUSING AUTHORITY

BREWSTERS MULTI-FAMILY HOUSING

ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	22-018
DATE	2023.03.08
DRAWN	Author
REVIEWED	DTW

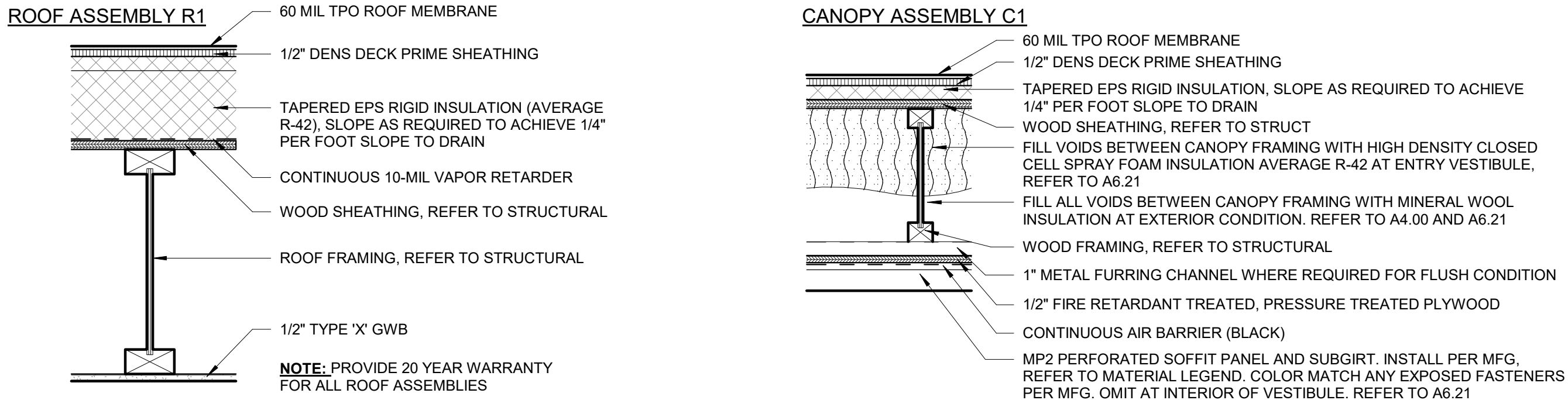
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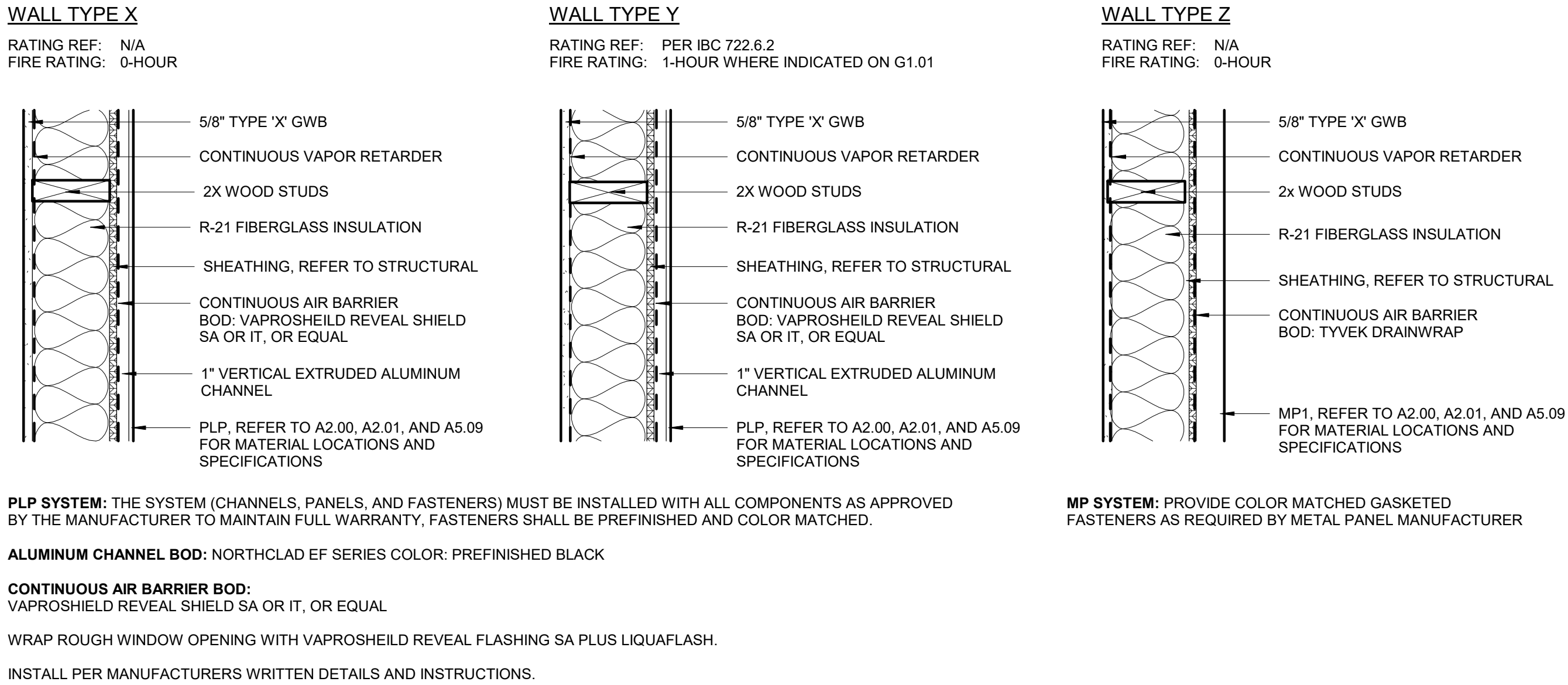
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HALF SCALE WHEN PRINTED AT 11x17

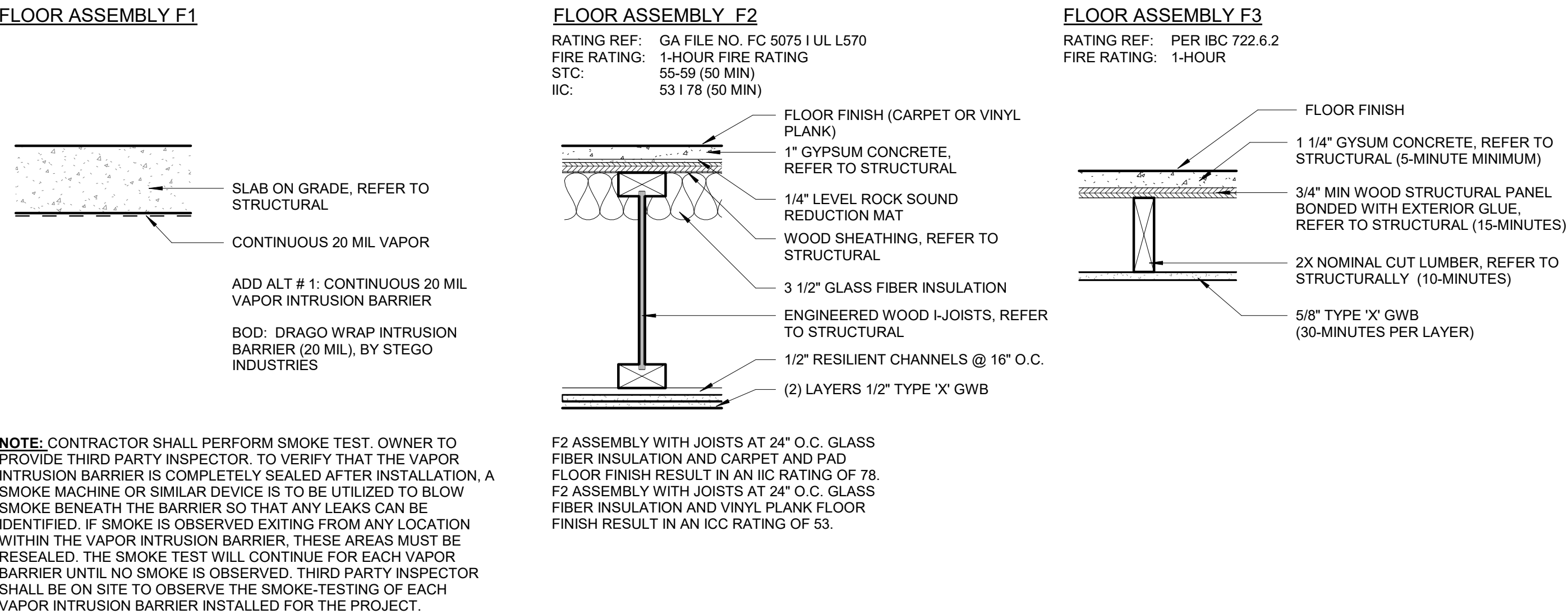
ROOF/CANOPY ASSEMBLIES



EXTERIOR WALL ASSEMBLIES



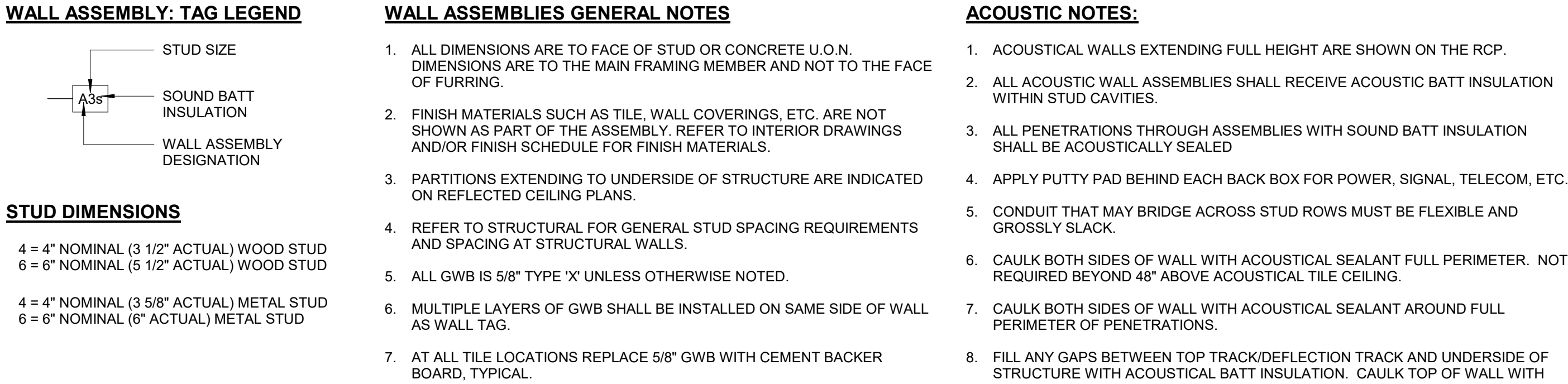
FLOOR ASSEMBLIES



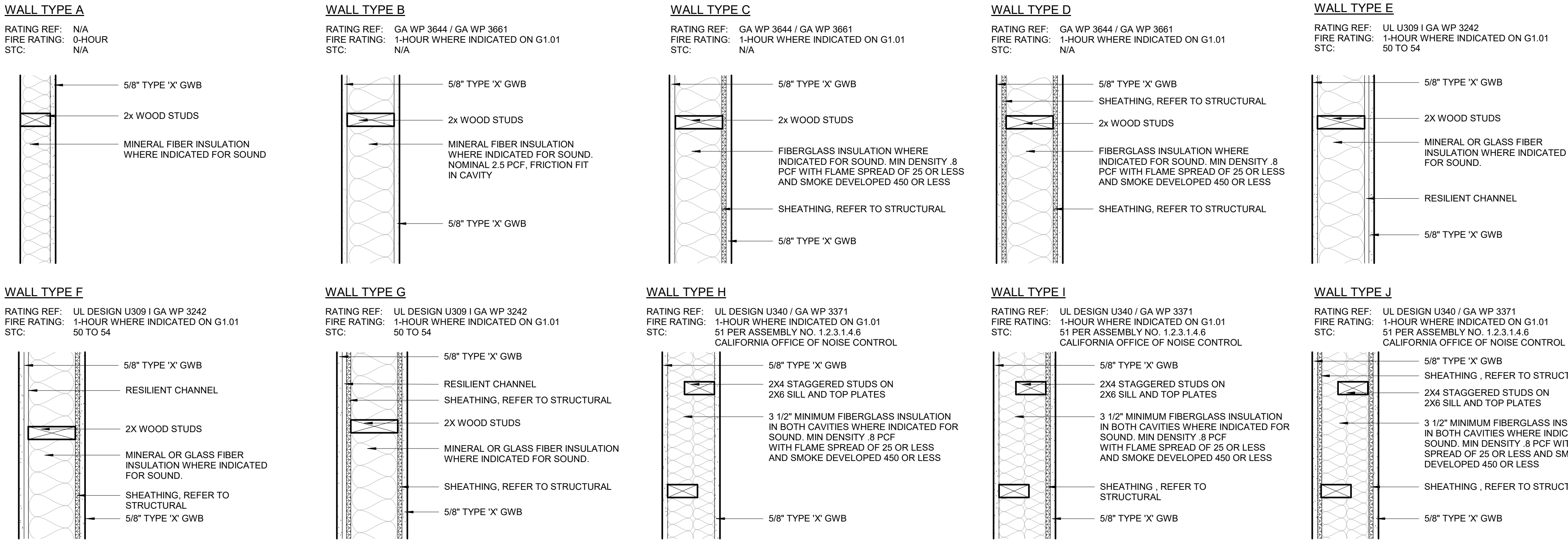
NOTE: CONTRACTOR SHALL PERFORM SMOKE TEST. OWNER TO PROVIDE THIRD PARTY INSPECTOR. TO VERIFY THAT THE VAPOR INTRUSION BARRIER IS COMPLETELY SEALED AFTER INSTALLATION. A SMOKE MACHINE OR SIMILAR DEVICE IS TO BE UTILIZED TO BLOW SMOKE BENEATH THE BARRIER SO THAT ANY LEAKS CAN BE IDENTIFIED. IF SMOKE IS OBSERVED EXITING FROM ANY LOCATION WITHIN THE VAPOR INTRUSION BARRIER, THESE AREAS MUST BE RESEALED. THE SMOKE TEST WILL CONTINUE FOR EACH VAPOR BARRIER UNTIL NO SMOKE IS OBSERVED. THIRD PARTY INSPECTOR SHALL BE ON SITE TO OBSERVE THE SMOKE-TESTING OF EACH VAPOR INTRUSION BARRIER INSTALLED FOR THE PROJECT.

F2 ASSEMBLY WITH JOISTS AT 24\"

VERTICAL ASSEMBLY NOTES



INTERIOR WALL ASSEMBLIES



HORIZONTAL ASSEMBLY NOTES

FLOOR ASSEMBLY GENERAL NOTES

- DIMENSIONS AND THICKNESS NOTED IN THE ASSEMBLIES ARE THE MINIMUM REQUIREMENTS TO MEET THE FIRE RESISTANCE AND/OR ICC RATINGS. REFER TO STRUCTURAL FOR ACTUAL THICKNESS/DEPTH WHERE INDICATED. NOTIFY ARCHITECT OF ANY DISCREPANCIES.



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COOK INLET HOUSING AUTHORITY
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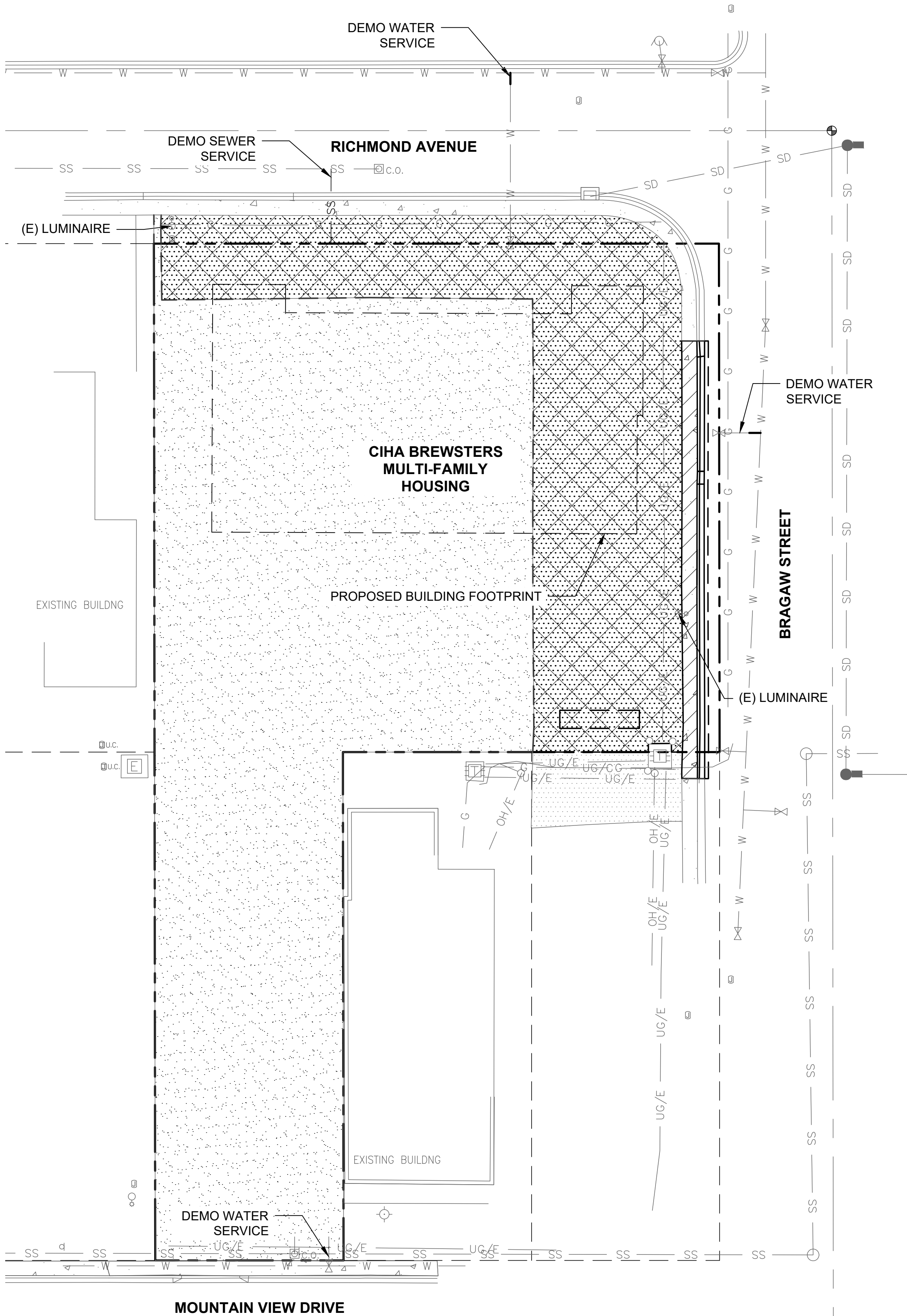
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JOB NO.	22-018
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REVIEWED	DTW

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ASSEMBLY TYPES

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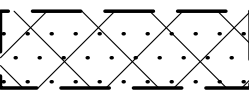
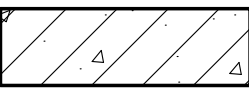
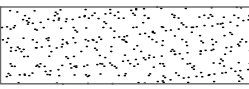
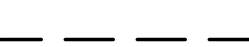
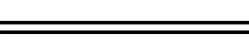
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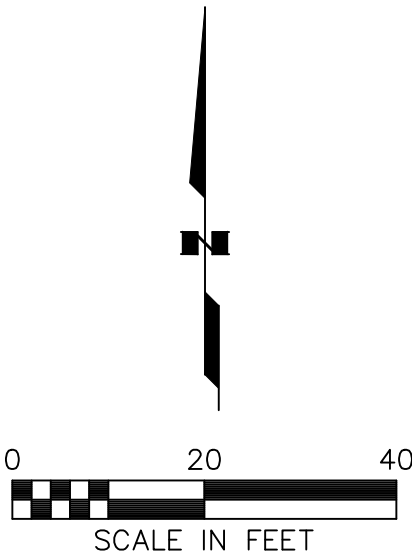
- ALL CIVIL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS, STREET-DRAINAGE-UTILITIES-PARKS (2015) (M.A.S.S.) AND THE CONTRACT SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY ALL SURVEY CONTROL, GRADES, INVERTS, STATIONING AND ALIGNMENTS PRIOR TO CONSTRUCTION AND ADVISE OF ANY DISCREPANCIES BETWEEN THE CONTRACT SURVEY AND THE DESIGN DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE AND OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION. THE FOLLOWING PERMITS AND SPECIFICATIONS SHALL BE MAINTAINED AND BE POSTED AT THE JOB SITE IN A VISIBLE LOCATION:
 - MOA CONSTRUCTION PERMITS
 - STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
- THE CONTRACTOR SHALL PROVIDE SOURCE OF FILL MATERIAL, DISPOSAL SITES AND HAUL ROUTES TO MOA AND OWNER PRIOR TO MOA CONSTRUCTION PERMIT APPROVAL.
- THE CONTRACTOR SHALL FOLLOW ALL MOA REGULATIONS FOR NOISE, HOURS OF OPERATION, AND DUST CONTROL.
- DEWATERING WILL BE REQUIRED FOR ALL EXCAVATIONS THAT PENETRATE THE GROUND WATER SURFACE AND/OR TO REMOVE STORM WATER FROM BOTTOM OF HOLE. ALL RELATED COSTS ARE THE CONTRACTOR'S RESPONSIBILITY.
- THERE SHALL BE NO OVER EXCAVATION OR MINING OF MATERIALS UNLESS APPROVED IN WRITING BY THE OWNER.
- A GEOTECHNICAL INVESTIGATION REPORT DATED NOVEMBER 2022 WAS PREPARED BY NORTHERN GEOTECHNICAL ENGINEERING, INC. D.B.A. TERRA FIRMA TESTING FOR THE CIHA BREWSTER MULTI-FAMILY HOUSING DEVELOPMENT, WHICH INCLUDES THIS PROJECT SITE.
- ALL DAMAGE TO THE PROPERTY THAT IS CAUSED BY OR THAT RESULTS FROM CARRYING OUT OF THE WORK, OR FROM ANY ACT, OMISSION, OR NEGLIGENCE OF THE CONTRACTOR, HIS SUBCONTRACTORS, OR HIS EMPLOYEES, SHALL PROMPTLY BE REMEDIED BY THE CONTRACTOR EITHER BY REPAIRING, REBUILDING, OR REPLACING OF THE PROPERTY DAMAGED OR IN SOME OTHER MANNER SATISFACTORY TO THE OWNER AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.
- WORK AREA SHALL BE SECURED TO PREVENT ACCESS AND INTERACTION BETWEEN PUBLIC AND ALL CONSTRUCTION ACTIVITIES.
- SEE SHEET C5.00 FOR LEGEND, STANDARD DETAILS, ABBREVIATIONS, AND ADDITIONAL CONSTRUCTION NOTES.

CIVIL DEMOLITION NOTES:

- LOCATIONS OF UTILITIES SHOWN ARE APPROXIMATE CONTRACTOR SHALL OBTAIN UTILITY FIELD LOCATES PRIOR TO EXCAVATION OR GRADING ACTIVITIES. VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES ENCOUNTERED IN THE FIELD AND RECORD SAME ON CONTRACTOR AS BUILT DRAWINGS.
- ALL EXISTING SITE IMPROVEMENTS SHALL BE LEFT IN PLACE AND PROTECTED UNLESS NOTED OTHERWISE.
- ALL ITEMS SCHEDULED FOR DEMOLITION SHALL BE REMOVED FROM THE PROJECT SITE AND SHALL BE DISPOSED OF BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AS NECESSARY TO COMPLY WITH FEDERAL, STATE, AND MUNICIPAL LAWS THAT PROHIBIT UNPERMITTED DISCHARGE OF POLLUTANTS, INCLUDING SEDIMENTS, THAT ARE A RESULT OF EROSION AND OTHER CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL CONDUCT ALL WORK SO SEDIMENT IS NOT TRANSPORTED ONTO THE ROADWAY OR ADJACENT PROPERTY. AT A MINIMUM, THE CONTRACTOR SHALL SWEEP UP ANY SEDIMENT TRACKED ONTO PAVED SURFACES IN PUBLIC RIGHT-OF-WAY AT THE END OF EVERY SHIFT OR WITHIN 12 HOURS OF THE TRACKING TO MINIMIZE THE WASH-OFF OF SEDIMENT INTO THE STORM DRAINS OR WATERWAYS.

CIVIL DEMOLITION ITEMS:

-  ASPHALT REMOVAL:
REMOVE AND DISPOSE OF APPROXIMATELY 8,000 SF OF ASPHALT.
-  CONCRETE REMOVAL:
REMOVE AND DISPOSE OF APPROXIMATELY 500 SF OF CONCRETE.
-  EXISTING GRAVEL SURFACING:
COORDINATE DEMOLITION LIMITS WITH SITE IMPROVEMENTS.
-  SAWCUT:
APPROXIMATELY 120 LF OF SAWCUT OF CONCRETE AND ASPHALT.
-  CURB & GUTTER DEMOLITION:
REMOVE AND DISPOSE OF APPROXIMATELY 120 LF OF CURB & GUTTER.



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CIHA BREWSTERS MULTI-FAMILY HOUSING
3825 MOUNTAIN VIEW DRIVE
ANCHORAGE, ALASKA

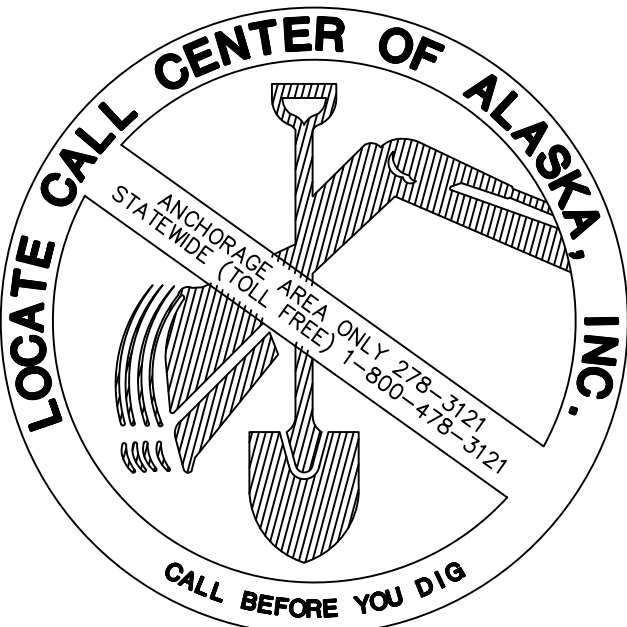
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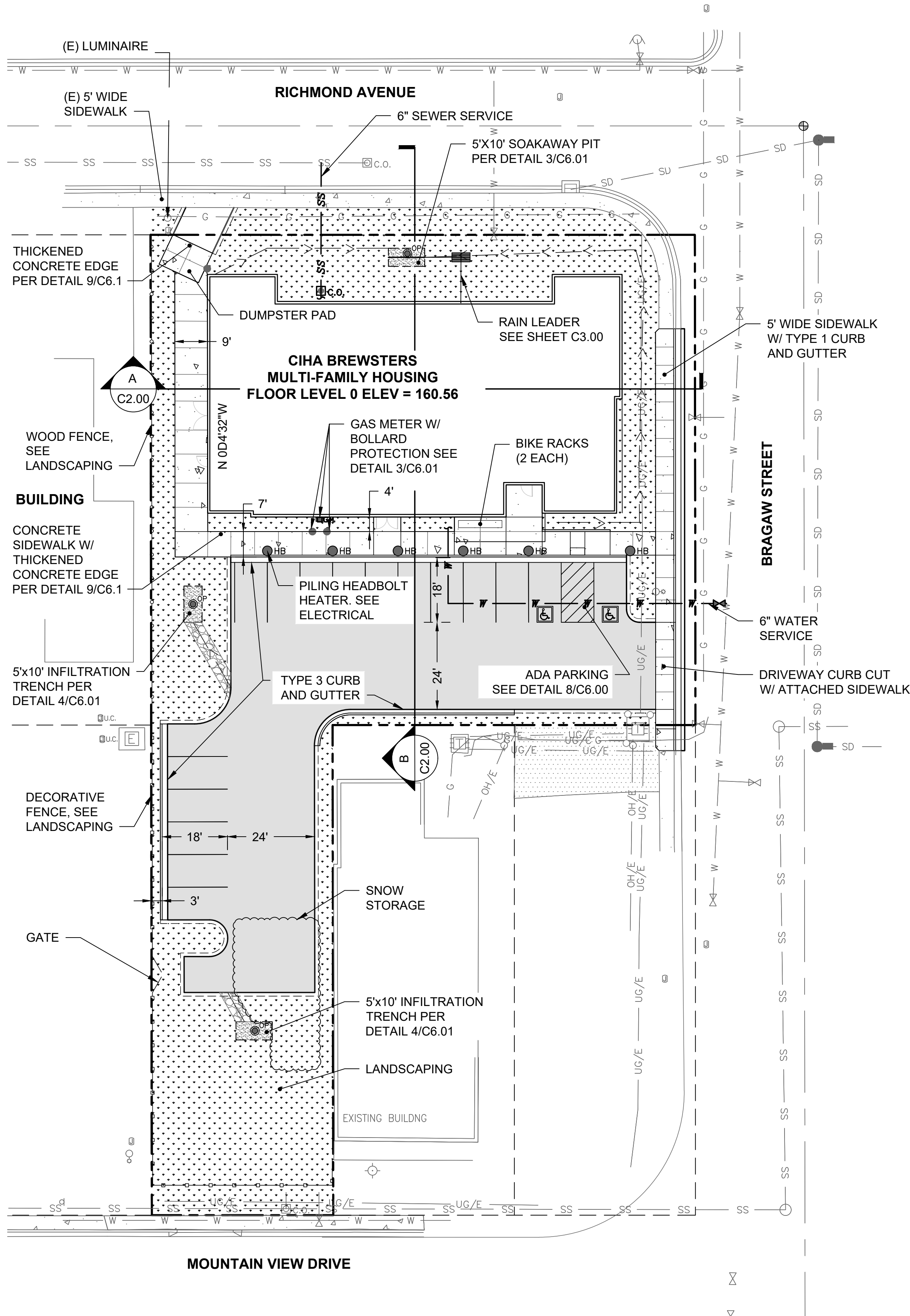
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DEMOLITION PLAN &
GENERAL NOTES

SHEET NO.
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PROPOSED PARKING COUNT:

ON-SITE PARKING CALCULATIONS:

PRELIMINARY COUNT:

21 UNITS X 1 PER UNIT =	21 STALLS
GUEST = 0.1 SPACES x 21 UNITS =	2.1 STALLS
TOTAL STALLS =	23.1 STALLS

REDUCTIONS:

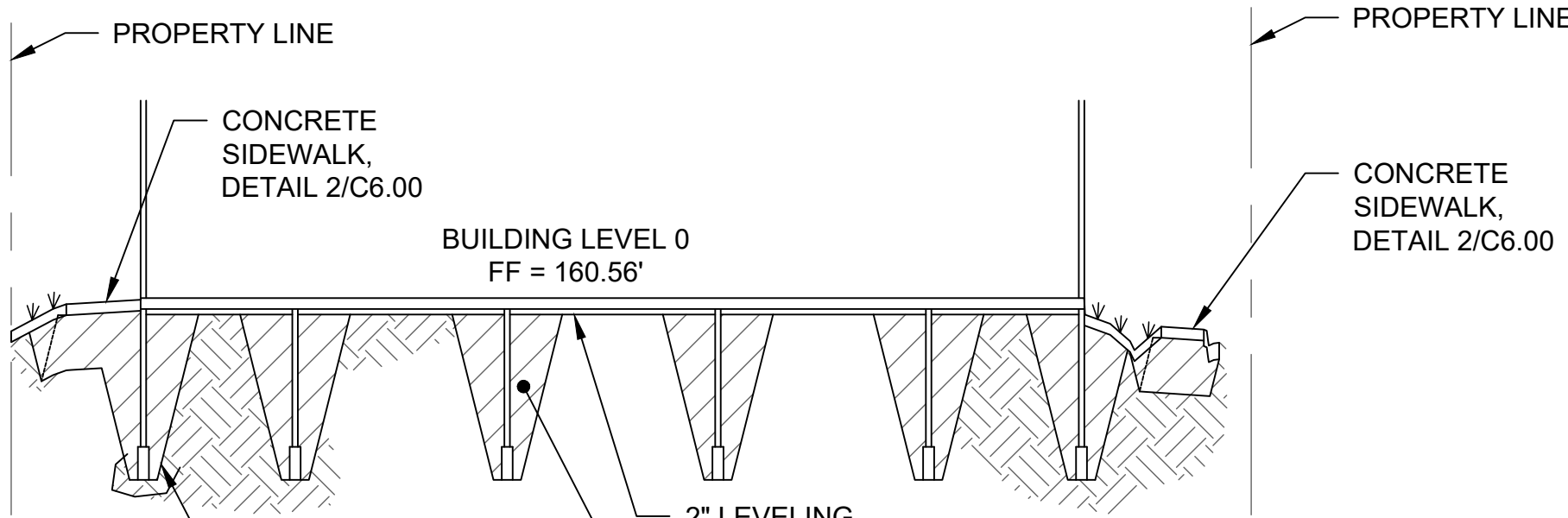
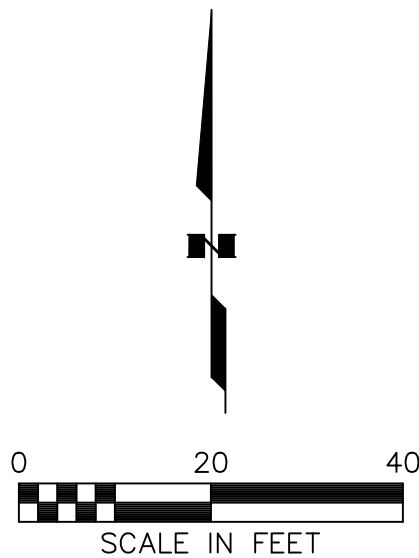
CITY CENTER REDUCTION (10%)=	MULTIPLIER
TRANSIT ADJACENT REDUCTION (5%) =	90%
AFFORDABLE (60% MEDIAN) REDUCTION (15%) =	95%
TOTAL REDUCTION = (90% x 95% x 85%) x 23.1 STALLS =	85%
	16.8 STALLS

BIKE PARKING REDUCTION (12 EA BIKE STALLS = 2 PARKING STALLS)	-2 STALLS
TOTAL PARKING REQUIRED =	15 STALLS

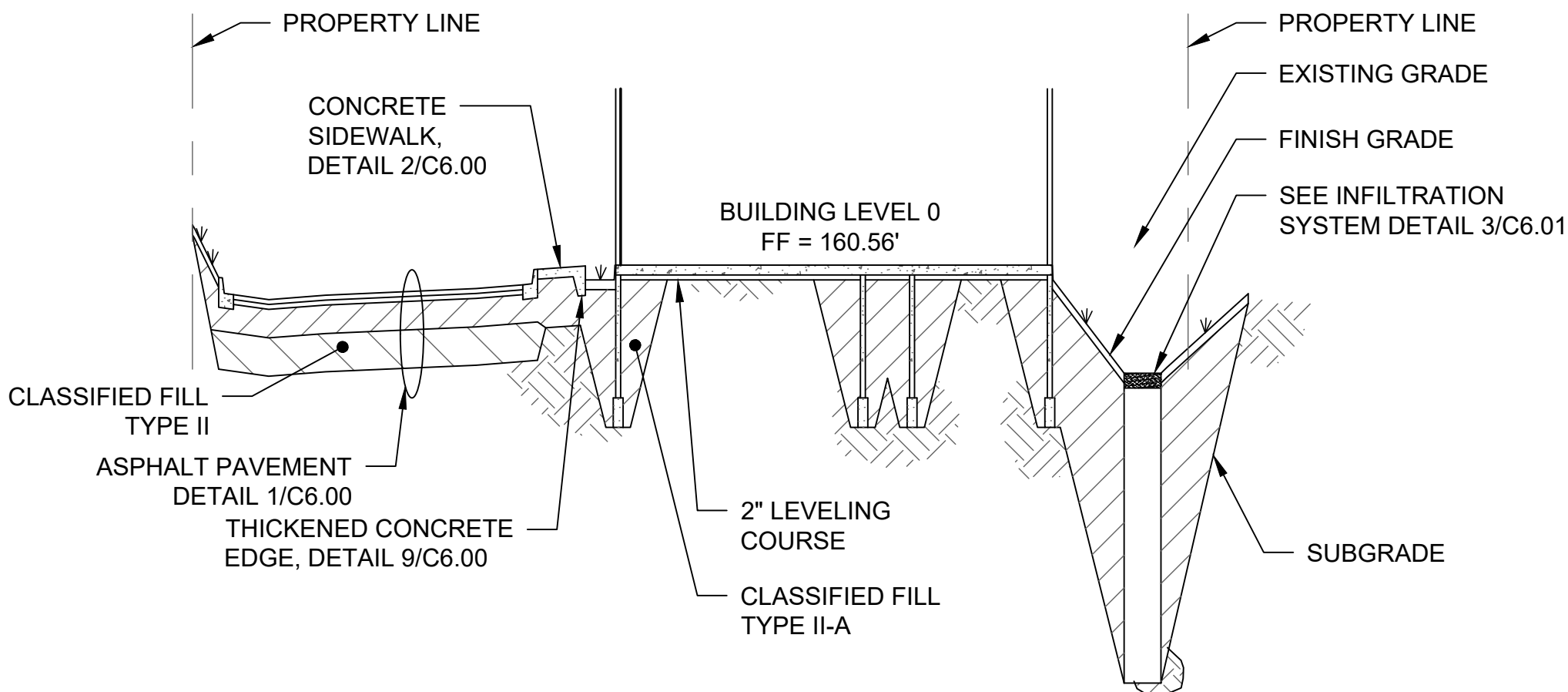
INCLUDING 1 ADA (VAN ACCESSIBLE) RESERVED SPACE

SNOW STORAGE AREA CALCULATION:

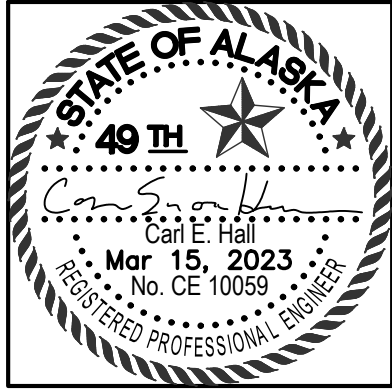
PARKING LOT AREA = 7850 SF
PROVIDE SNOW STORAGE AREA EQUAL TO 10% OF PARKING AREA = 785 SF
SNOW STORAGE PROVIDED = 759 SF



A SITE SECTION A - EAST WEST
C2.00



B SITE SECTION B - NORTH SOUTH
C2.00



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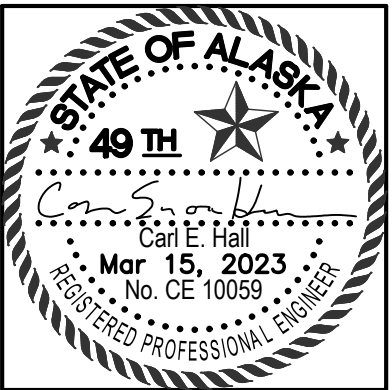
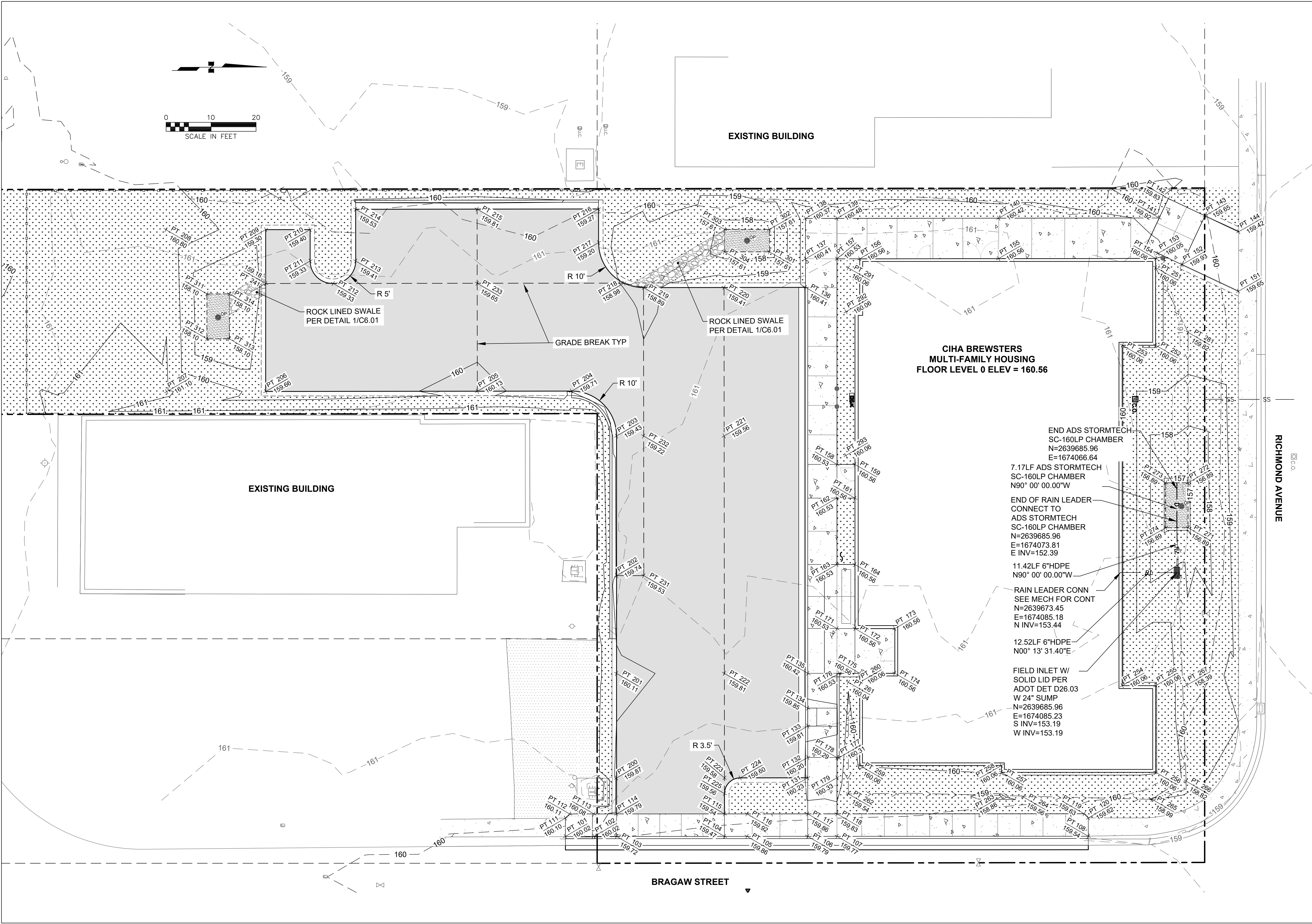
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#	DESCRIPTION	DATE

JOB NO.	3026.01
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DRAWN	VN
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SITE PLAN & SITE SECTIONS

SHEET NO.
C2.00

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ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	3026.01
DATE	2023.03.08
DRAWN	VN
REVIEWED	CH

SHEET NAME	GRADING PLAN
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SHEET NO.	C3.00
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LAYOUT POINT TABLE				
POINT #	NORTHING	EASTING	ELEV.	DESCRIPTION
101	2639550.03	1674143.88	160.02	TBC TYPE 1
102	2639556.39	1674143.88	160.02	TBC TYPE 1
103	2639561.39	1674143.88	159.72	TBC TYPE 1A
104	2639585.39	1674143.87	159.47	TBC TYPE 1A
105	2639590.39	1674143.87	159.86	TBC TYPE 1
106	2639603.89	1674143.86	159.79	TBC TYPE 1
107	2639610.39	1674143.86	159.77	TBC TYPE 1
108	2639666.27	1674143.84	159.54	TBC TYPE 1
111	2639550.02	1674139.81	160.10	EDGE OF CONCRETE (MATCH EXISTING)
112	2639550.96	1674138.88	160.11	EDGE OF CONCRETE
113	2639556.39	1674138.88	160.08	EDGE OF CONCRETE
114	2639561.39	1674138.88	159.79	EDGE OF CONCRETE
115	2639585.39	1674138.87	159.54	EDGE OF CONCRETE
116	2639590.39	1674138.87	159.92	EDGE OF CONCRETE
117	2639603.89	1674138.86	159.86	EDGE OF CONCRETE
118	2639610.39	1674138.86	159.83	EDGE OF CONCRETE
119	2639665.35	1674138.84	159.63	EDGE OF CONCRETE
120	2639666.27	1674139.76	159.62	EDGE OF CONCRETE (MATCH EXISTING)
131	2639603.89	1674130.84	160.23	TBC TYPE 3
132	2639603.89	1674126.32	160.20	TBC TYPE 3
133	2639603.88	1674119.35	159.81	TBC TYPE 1A
134	2639603.89	1674115.33	159.85	TBC TYPE 1A
135	2639603.89	1674107.60	160.42	TBC TYPE 3
136	2639603.39	1674021.76	160.41	TBC TYPE 3
137	2639603.39	1674015.42	160.41	EDGE OF CONCRETE
138	2639603.39	1674006.43	160.37	EDGE OF CONCRETE
139	2639610.38	1674006.42	160.48	EDGE OF CONCRETE
140	2639646.36	1674006.37	160.42	EDGE OF CONCRETE
141	2639682.04	1674006.32	159.92	EDGE OF CONCRETE
142	2639684.07	1674002.01	159.83	EDGE OF CONCRETE
143	2639692.21	1674005.85	159.65	EDGE OF CONCRETE
144	2639699.71	1674009.38	159.42	EDGE OF CONCRETE (MATCH EXISTING)
151	2639699.65	1674022.62	159.65	EDGE OF CONCRETE (MATCH EXISTING)
152	2639687.10	1674016.70	159.93	EDGE OF CONCRETE
153	2639681.77	1674014.19	160.05	EDGE OF CONCRETE
154	2639681.24	1674015.32	160.06	TOP OF CONCRETE
155	2639646.33	1674015.34	160.56	TOP OF CONCRETE
156	2639615.46	1674015.40	160.56	TOP OF CONCRETE
157	2639610.39	1674015.42	160.53	TOP OF CONCRETE
158	2639610.39	1674061.13	160.53	TOP OF CONCRETE

LAYOUT POINT TABLE				
POINT #	NORTHING	EASTING	ELEV.	DESCRIPTION
159	2639614.39	1674061.13	160.56	TOP OF CONCRETE
161	2639614.39	1674068.63	160.56	TOP OF CONCRETE
162	2639610.39	1674068.63	160.53	TOP OF CONCRETE
163	2639610.39	1674083.40	160.53	TOP OF CONCRETE
164	2639614.39	1674083.40	160.56	TOP OF CONCRETE
171	2639610.39	1674097.65	160.53	TOP OF CONCRETE
172	2639614.39	1674097.65	160.56	TOP OF CONCRETE
173	2639623.25	1674097.65	160.56	TOP OF CONCRETE
174	2639623.25	1674107.60	160.56	TOP OF CONCRETE
175	2639615.46	1674107.60	160.56	TOP OF CONCRETE
176	2639610.89	1674107.60	160.53	TOP OF CONCRETE
177	2639610.89	1674126.34	160.31	TOP OF CONCRETE
178	2639610.39	1674126.34	160.29	TOP OF CONCRETE
179	2639610.39	1674130.84	160.33	TOP OF CONCRETE
200	2639561.39	1674130.89	159.87	EDGE OF AC PAVEMENT
201	2639561.39	1674107.63	160.11	EDGE OF AC PAVEMENT
202	2639561.39	1674085.88	159.74	EDGE OF AC PAVEMENT
203	2639561.39	1674054.83	159.43	EDGE OF AC PAVEMENT
204	2639551.39	1674044.83	159.71	EDGE OF AC PAVEMENT
205	2639530.44	1674044.85	160.13	EDGE OF AC PAVEMENT
206	2639483.39	1674044.92	159.66	EDGE OF AC PAVEMENT
207	2639461.38	1674044.95	161.10	SPOT ELEVATION
208	2639461.23	1674008.94	160.80	SPOT ELEVATION
209	2639483.39	1674008.91	159.30	EDGE OF AC PAVEMENT
210	2639493.27	1674008.90	159.40	EDGE OF AC PAVEMENT
211	2639493.27	1674015.89	159.33	EDGE OF AC PAVEMENT
212	2639498.41	1674020.90	159.33	EDGE OF AC PAVEMENT
213	2639503.41	1674015.90	159.41	EDGE OF AC PAVEMENT
214	2639503.39	1674004.39	159.53	EDGE OF AC PAVEMENT FRONT OF CURB TYPE 3
215	2639530.39	1674004.35	159.81	EDGE OF AC PAVEMENT FRONT OF CURB TYPE 3
216	2639557.39	1674004.32	159.27	EDGE OF AC PAVEMENT FRONT OF CURB TYPE 3
217	2639557.39	1674011.81	159.20	EDGE OF AC PAVEMENT
218	2639563.04	1674020.81	158.98	EDGE OF AC PAVEMENT
219	2639567.39	1674021.81	158.89	EDGE OF AC PAVEMENT
220	2639585.28	1674021.78	159.41	EDGE OF AC PAVEMENT
221	2639585.31	1674054.80	159.56	TOP OF AC PAVEMENT
222	2639585.36	1674107.61	159.81	TOP OF AC PAVEMENT
223	2639585.39	1674130.86	159.58	TOP OF AC PAVEMENT
224	2639588.89	1674130.86	159.60	EDGE OF AC PAVEMENT
225	2639585.39	1674134.35	159.56	EDGE OF AC PAVEMENT

LAYOUT POINT TABLE				
POINT #	NORTHING	EASTING	ELEV.	DESCRIPTION
231	2639567.45	1674085.88	159.53	SPOT ELEVATION TOP OF AC PAVEMENT
232	2639567.42	1674054.82	159.22	SPOT ELEVATION TOP OF AC PAVEMENT
233	2639530.41	1674020.85	159.65	SPOT ELEVATION TOP OF AC PAVEMENT
241	2639483.39	1674020.90	159.18	EDGE OF AC PAVEMENT
251	2639681.24	1674017.32	160.06	SPOT ELEVATION
252	2639681.24	1674034.62	160.06	SPOT ELEVATION
253	2639673.81	1674034.62	160.06	SPOT ELEVATION
254	2639673.81	1674110.34	160.06	SPOT ELEVATION
255	2639681.24	1674110.34	160.06	SPOT ELEVATION
256	2639681.24	1674129.62	160.06	SPOT ELEVATION
257	2639646.96	1674129.62	160.06	SPOT ELEVATION
258	2639646.96	1674128.12	160.06	SPOT ELEVATION
259	2639615.46	1674128.12	160.06	SPOT ELEVATION
260	2639615.46	1674109.60	160.06	SPOT ELEVATION
261	2639612.92	1674109.60	160.04	SPOT ELEVATION
262	2639612.92	1674134.42	159.54	SPOT ELEVATION
263	2639646.86	1674135.03	158.86	SPOT ELEVATION
264	2639651.86	1674135.12	159.56	SPOT ELEVATION
265	2639680.43	1674135.63	158.99	SPOT ELEVATION
266	2639688.01	1674131.59	158.82	SPOT ELEVATION
267	2639688.18	1674110.23	158.39	SPOT ELEVATION
271	2639688.46	1674075.23	156.89	SPOT ELEVATION
272	2639688.46	1674065.23	156.89	SPOT ELEVATION
273	2639683.46	1674065.23	156.89	SPOT ELEVATION
274	2639683.46	1674075.23	156.89	SPOT ELEVATION
281	2639688.46	1674031.77	159.82	SPOT ELEVATION
291	2639612.92	1674017.41	160.06	SPOT ELEVATION
292	2639612.39	1674027.18	160.06	SPOT ELEVATION
293	2639612.39	1674059.13	160.06	SPOT ELEVATION
301	2639595.39	1674013.86	157.61	SPOT ELEVATION
302	2639595.39	1674008.86	157.61	SPOT ELEVATION
303	2639585.39	1674008.86	157.61	SPOT ELEVATION
304	2639585.39	1674013.86	157.61	SPOT ELEVATION
311	2639470.32	1674023.21	158.10	EDGE OF AC PAVEMENT
312	2639470.32	1674033.21	158.10	EDGE OF AC PAVEMENT
313	2639475.32	1674033.21	158.10	EDGE OF AC PAVEMENT
314	2639475.32	1674023.21	158.10	EDGE OF AC PAVEMENT



CERTIFICATE OF AUTHORIZATION NO:
R&M CONSULTANTS, INC.#AEC0111



CIHA BREWSTERS MULTI-FAMILY HOUSING

3825 MOUNTAIN VIEW DRIVE

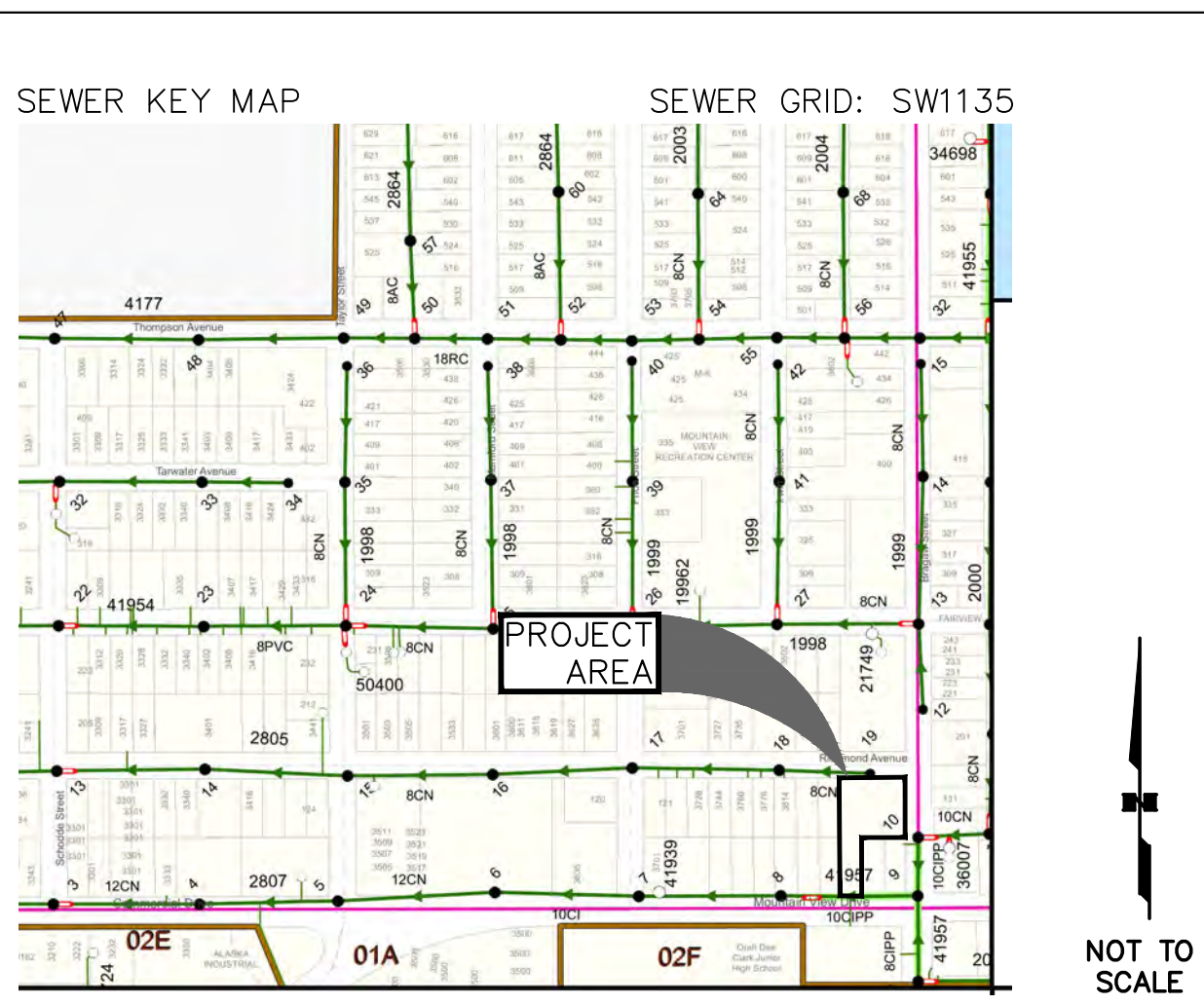
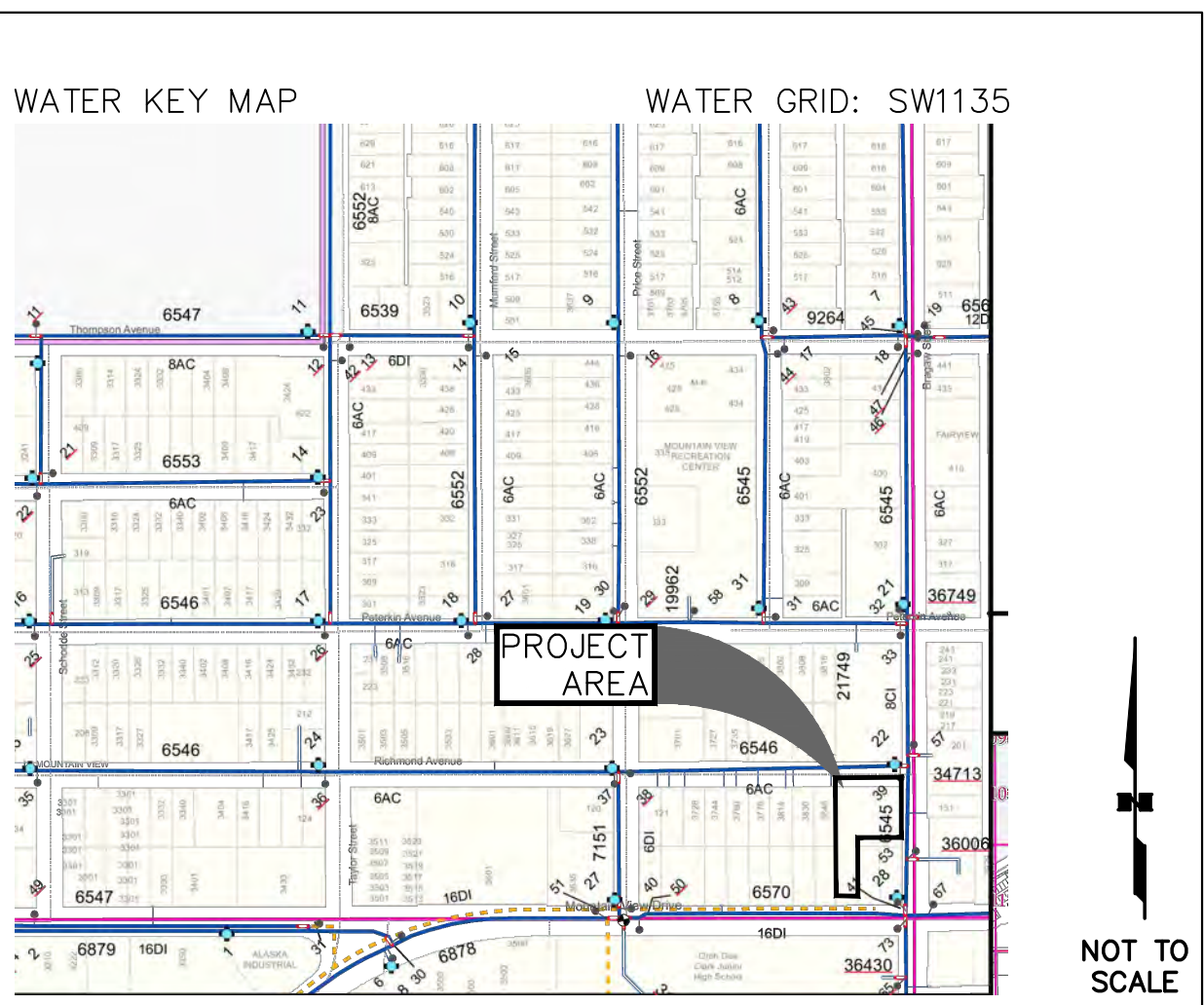
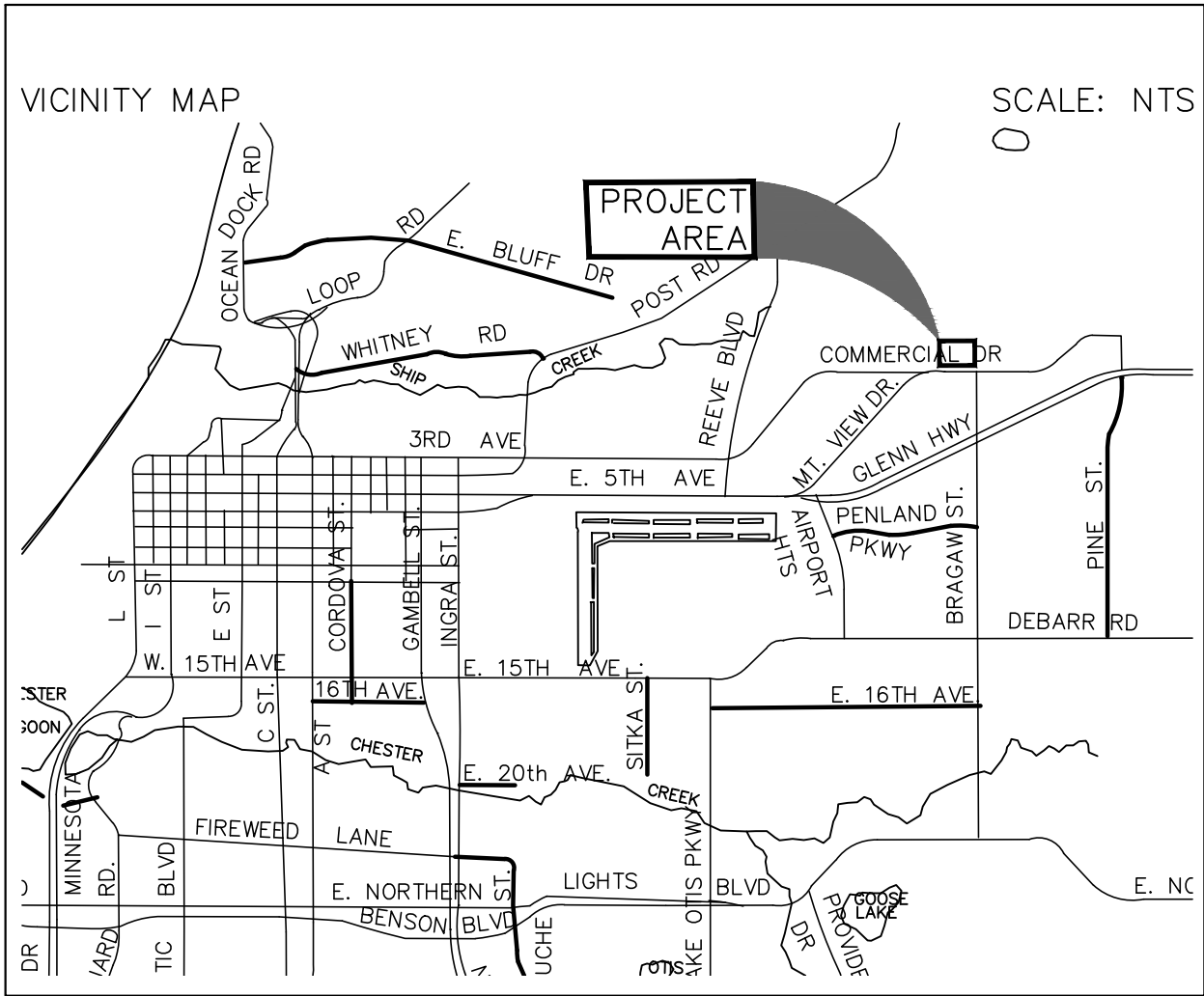
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	3026.01
DATE	2023.03.08
DRAWN	VN
REVIEWED	CH

SHEET NAME
LAYOUT POINT
TABLES

SHEET NO.
C4.00



SEWER SERVICE CONSTRUCTION NOTES:

- EXISTING CUSTOMERS SHALL BE NOTIFIED SEVENTY-TWO (72) HOURS IN ADVANCE OF SANITARY SEWER SERVICE INTERRUPTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY SANITARY SEWER SERVICE TO THE EXISTING CUSTOMERS IF DEEMED NECESSARY BY THE ENGINEER.
- PROPOSED SANITARY SEWER SERVICE SHALL BE 6-INCH PVC, C 900 PIPE WITH A MINIMUM SLOPE OF 1%.
- SANITARY SEWER SERVICE SHALL BE PLACED NO CLOSER THAN: 15 FEET HORIZONTALLY MEASURED TO ANY FIRE HYDRANT OR FIRE HYDRANT LEG; 10 FEET HORIZONTALLY MEASURED TO ANY WATER MAIN, WATER SERVICE, STORM SEWER, FOOTING DRAIN, STREET LIGHT, TRANSFORMER PAD, ELECTRICAL/TELEPHONE/CABLE BOX; AND 5 FEET HORIZONTALLY MEASURED TO ANY SIDE LOT LINE.
- ALL PIPE BEDDING SHALL BE MOA CLASS E. SEWER SERVICE TRENCHES AND BEDDING SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
- THE CONTRACTOR SHALL RELOCATE ANY SEWER SERVICE CONNECTIONS INSTALLED WITH LESS THAN MINIMUM STANDARD MEASURED DISTANCES PRIOR TO FINAL ACCEPTANCE BY AWWU.

WATER SERVICE CONSTRUCTION NOTES:

- AWWU, AND ANCHORAGE FIRE DEPARTMENT SHALL BE NOTIFIED SEVENTY-TWO (72) HOURS IN ADVANCE OF WATER SERVICE INTERRUPTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY WATER SERVICE TO THE EXISTING CUSTOMERS IF THE OUTAGE EXCEEDS 6-HOURS OR IF DEEMED NECESSARY BY THE ENGINEER. THE CONTRACTOR SHALL HAVE A TEMPORARY WATER SERVICE PLAN REVIEWED AND APPROVED BY ADEC.
- ALL WATER SERVICES SHALL BE 6-INCH PVC, C 900 PIPE.
- ALL BENDS, TEES, AND DEAD ENDS SHALL HAVE RESTRAINED FITTINGS.
- THRUST RESTRAINT SHALL BE PROVIDED BY USE OF FIELD-LOK GASKETS (OR EQUAL) OR MEG-A-LUG FITTINGS (OR EQUAL) ON ALL MECHANICAL JOINTS. THE USE OF THRUST BLOCKS WILL NOT BE ALLOWED FOR DUCTILE IRON PIPE, BUT ARE REQUIRED FOR PVC PIPE (DIP FITTINGS).
- WATER SERVICES SHALL BE PLACED NO CLOSER THAN: 15 FEET HORIZONTALLY MEASURED TO ANY FIRE HYDRANT OR FIRE HYDRANT LEG; 10 FEET HORIZONTALLY MEASURED TO ANY SANITARY SEWER MAIN, SANITARY SEWER SERVICE, STORM SEWER, FOOTING DRAIN, STREET LIGHT, TRANSFORMER PAD, ELECTRICAL/TELEPHONE/CABLE BOX; AND 5 FEET HORIZONTALLY MEASURED TO ANY SIDE LOT LINE.
- THE CONTRACTOR SHALL PROVIDE ALL SETUP AND TEAR DOWN REQUIRED TO OPEN BORE FLUSH NEWLY INSTALLED WATER PIPE. AWWU WILL PROVIDE FLUSH WATER FROM THE AWWU WATER DISTRIBUTION SYSTEM. THE CONTRACTOR MUST REQUEST WATER AT LEAST 48 HOURS PRIOR TO OPEN BORE FLUSHING. OPEN BORE FLUSHING MUST TAKE PLACE PRIOR TO INSTALLATION OF WATER SERVICES.
- ALL WATER MAIN AND SERVICE TRENCHES AND BEDDING SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
- ALL WATER MAINS AND SERVICES SHALL HAVE A MINIMUM OF 10 FEET OF BURY AT ALL POINTS.
- ALL PIPE BEDDING SHALL BE CLASS 'E'.
- THE CONTRACTOR SHALL RELOCATE ANY WATER SERVICE CONNECTIONS INSTALLED WITH LESS THAN MINIMUM STANDARD DISTANCES PRIOR TO ACCEPTANCE BY AWWU.
- ALL VALVES SHALL HAVE CATHODIC PROTECTION INSTALLED PER MASS DETAILS 60-20 AND 60-21.

RECORD DRAWING

1. DATA PROVIDED BY: _____

This will serve to certify that these Record Drawings are a true and accurate representation of the project as constructed.

CONTRACTOR: _____

BY: _____ TITLE: _____ DATE: _____

2. DATA TRANSFERRED BY: _____

COMPANY: _____

DATE: _____

3. Based on periodic field observations by the Engineer (or an individual under his/her direct supervision), the Contractor-provided data appears to represent the project as constructed.

DATA TRANSFER CHECKED BY: _____

COMPANY: _____

BY: _____ TITLE: _____ DATE: _____

OWNER:

COOK INLET HOUSING AUTHORITY
3510 SPENARD ROAD
ANCHORAGE, AK 99503

CONTACT:
CARL HALL, P.E.
R&M CONSULTANTS, INC.
9101 VANGUARD DRIVE
ANCHORAGE, AK 99507
(907) 522-1707

LEGAL DESCRIPTION:
LOT 1B, LOT 1, MOUNTAIN VIEW
SUBDIVISION

SW 1135
PS23-###

USE OF BUILDING
RESIDENTIAL

AWWU SHEET 1 OF 2

PERMIT DOCUMENTS

LINE, SYMBOL, AND HATCH LEGEND

EXISTING	PROPOSED	
---	---	SUBJECT PROPERTY LINE
---	---	EASEMENT LINE
---	---	CONTOUR
--- X ---	---	CHAIN LINK FENCE
---	---	WOOD FENCE, SEE LANDSCAPE
---	---	DECORATIVE FENCE, SEE LANDSCAPE
---	---	WATER LINE
---	---	UNPAVED (GRAVEL) EDGE OF ROAD
---	---	EDGE OF PAVEMENT
---	---	CURB & GUTTER
---	---	DRAINAGE SWALE
---	---	SD STORM DRAIN LINE
---	---	SS SANITARY SEWER LINE
---	---	INFILTRATION PIPING
---	---	GAS LINE
---	---	OVERHEAD ELECTRIC LINE
---	---	UG/E UNDERGROUND ELECTRIC LINE
---	---	UG/C UNDERGROUND COMMUNICATIONS
---	---	FOUND BRASS OR ALUM. CAP MONUMENT
---	---	FOUND BENCHMARK
---	---	MONITORING WELL
---	---	BOLLARD, POST, PIPE
---	---	HANDICAPPED PARKING
---	---	WATER KEY BOX/VALVE MARKER
---	---	FIRE HYDRANT
---	---	STORM DRAIN MANHOLE
---	---	STORM DRAIN CURB INLET
---	---	STORM DRAIN FIELD INLET
---	---	OBSERVATION PORT
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	UTILITY POLE
---	---	GUY WIRE
---	---	LUMINAIRE
---	---	JUNCTION BOX
---	---	ELECTRIC SWITCH
---	---	JUNCTION BOX (TYPE 1A)
---	---	ELECTRIC TRANSFORMER
---	---	ELECTRIC VAULT / MANHOLE
---	---	ELECTRIC PEDESTAL
---	---	ELECTRIC METER
---	---	GAS METER
---	---	HEADBOLT PLUG-IN
---	---	TELECOMMUNICATIONS PEDESTAL
---	---	SIGN
---	---	ASPHALT PAVEMENT
---	---	GRAVEL
---	---	CONCRETE
---	---	LANDSCAPING
---	---	SAND

ABBREVIATIONS

ADA	AMERICANS WITH DISABILITIES ACT
CONC	CONCRETE
DEMO	DEMOLITION
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DTL	DETAIL
(E)	EXISTING
E	EASTING
EA	EACH
ELEV	ELEVATION
FF	FINISHED FLOOR
F&I	FURNISH AND INSTALL
FT	FEET
INV	INVERT
L	LENGTH
LF	LINEAL FEET
M.A.S.S.	MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS
MAX	MAXIMUM

ABBREVIATIONS (CONTINUED)

MECH	MECHANICAL
MIN	MINIMUM
MOA	MUNICIPALITY OF ANCHORAGE
N	NORTHING
NTS	NOT TO SCALE
O.C.	ON CENTER
OD	OUTER DIAMETER
PVC	POLYVINYL CHLORIDE
R	RADIUS
ROW	RIGHT OF WAY
SD	STORM DRAIN
SF	SQUARE FEET
SS	SANITARY SEWER
SWPPP	STORM WATER POLLUTION PREVENTION PLAN
TBC	TOP BACK OF CURB
TYP	TYPICAL
VB	VALVE BOX

SURVEY NOTES:

- CONTOUR INTERVAL = 1 FOOT.
- ALL DISTURBED PROPERTY CORNERS SHALL BE REPLACED BY THE CONTRACTOR IN ACCORDANCE WITH SPECIAL PROVISION 65.02, ARTICLE 2.1 PROJECT CONTROL.

STANDARD DETAILS:

THE FOLLOWING M.A.S.S. STANDARD DETAILS APPLY TO THIS PROJECT:

20-8 TRENCH BACKFILL AND BEDDING

20-10 CLASS "B" BEDDING MATERIAL

20-14 TYPE II CLASSIFIED FILL AND BACKFILL

20-15 TYPE II-A CLASSIFIED FILL AND BACKFILL

20-18 LEVELING COURSE

30-1 CURB AND GUTTER CROSS SECTIONS

30-6 DRIVEWAY CURB-CUT WITH ATTACHED SIDEWALK

30-10 ACCESSIBLE (TYPE 1A/2A) CURB AND GUTTER SECTIONS

50-14 SANITARY SEWER SERVICE (COMPLETE)

60-03 TRACER WIRE

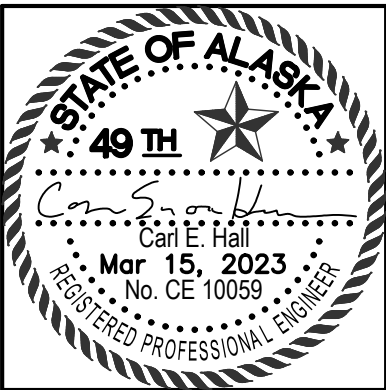
60-05 TYPICAL PIPE ANGLE MARKER

60-06 THRUST BLOCK

60-08 TYPICAL VALVE BOX (VB)

60-20 ANODE DETAIL

60-21 ANODE WIRE CONNECTION



CERTIFICATE OF AUTHORIZATION NO:
R&M CONSULTANTS, INC #AEC0111



CIHA BREWSTERS MULTI-FAMILY HOUSING
3825 MOUNTAIN VIEW DRIVE
ANCHORAGE, ALASKA

REVISION SCHEDULE

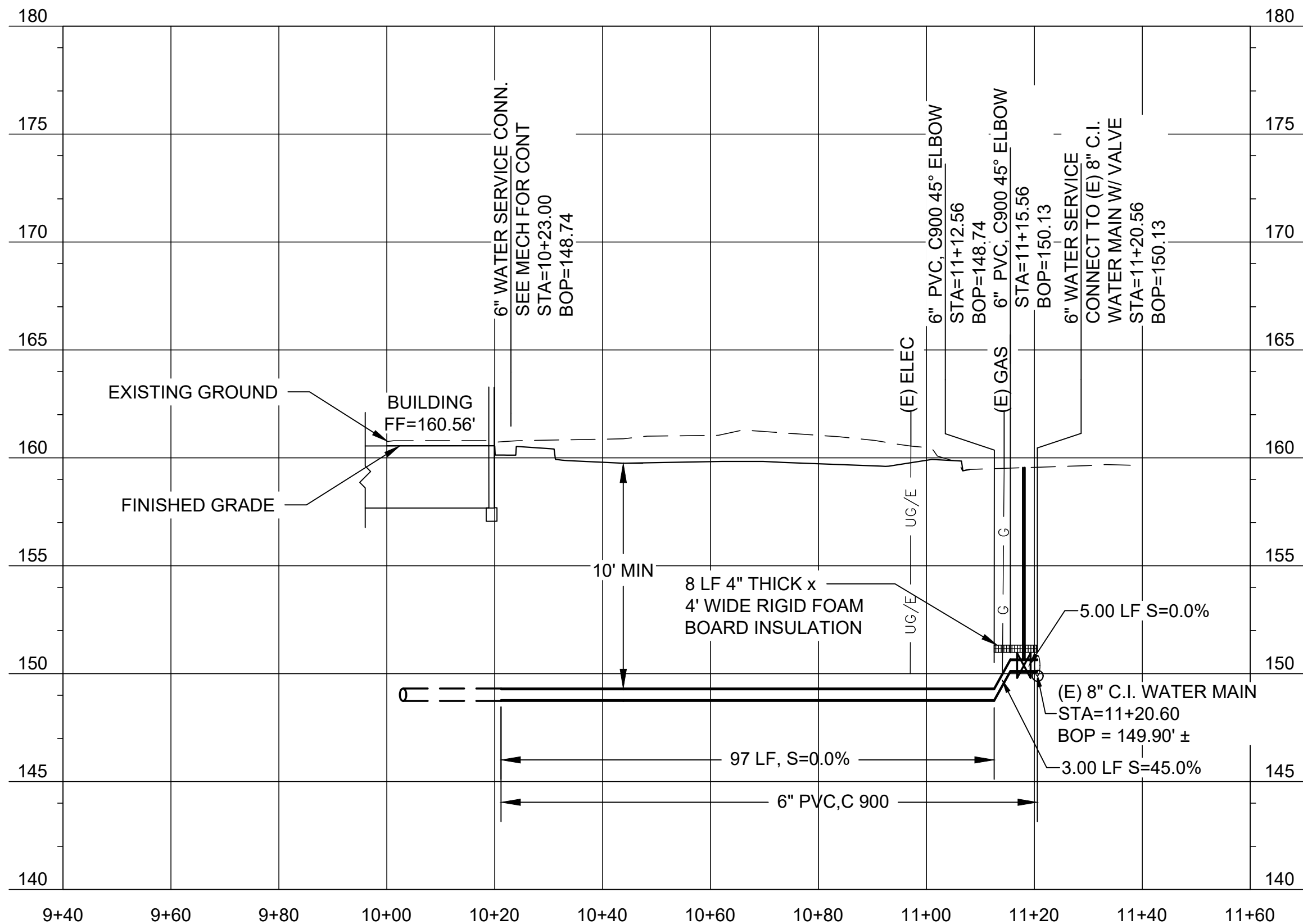
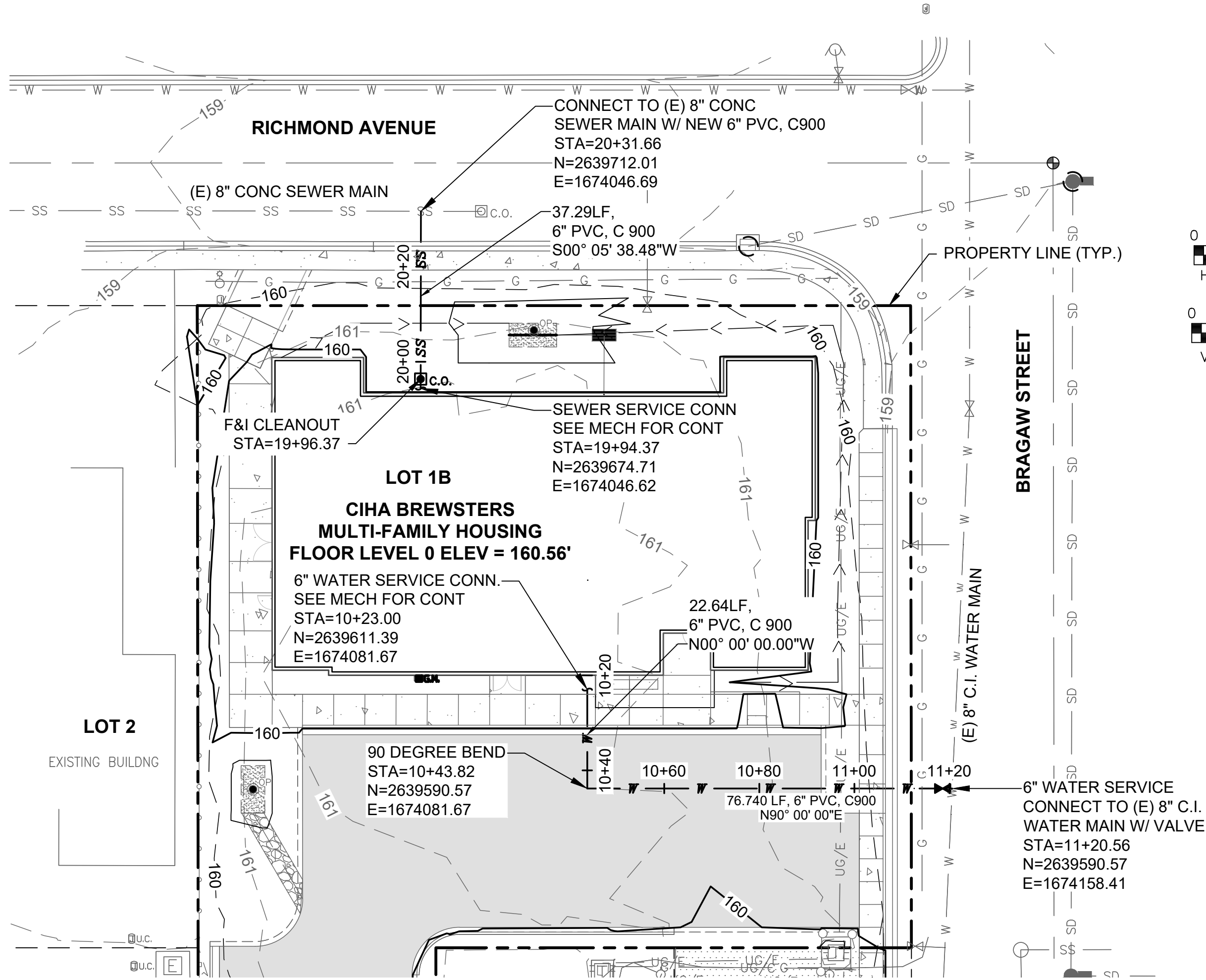
#	DESCRIPTION	DATE

JOB NO.	3026.01
DATE	2023.03.08
DRAWN	VN
REVIEWED	CH

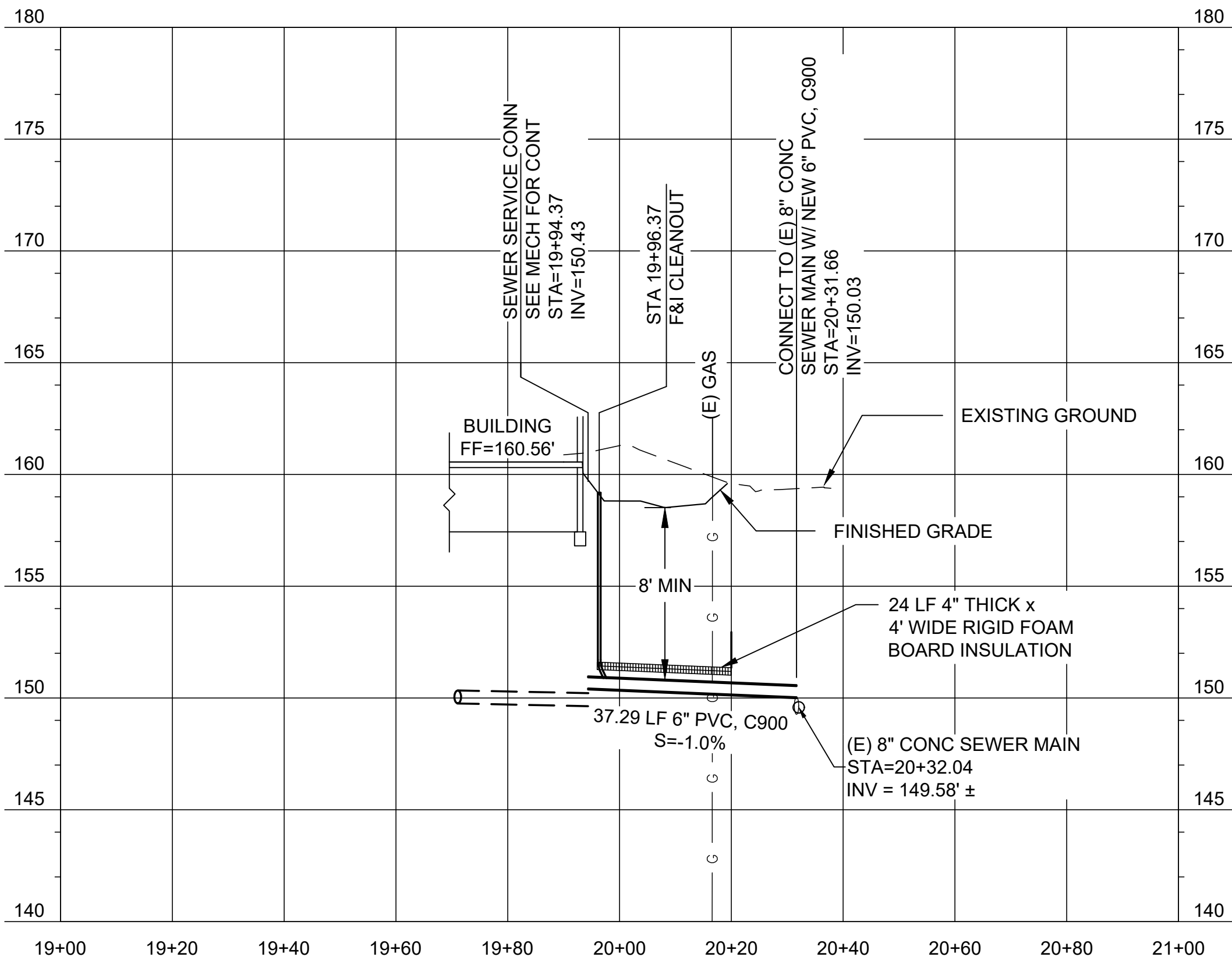
SHEET NAME
UTILITY SERVICES
AND KEY MAPS

SHEET NO.
C5.00

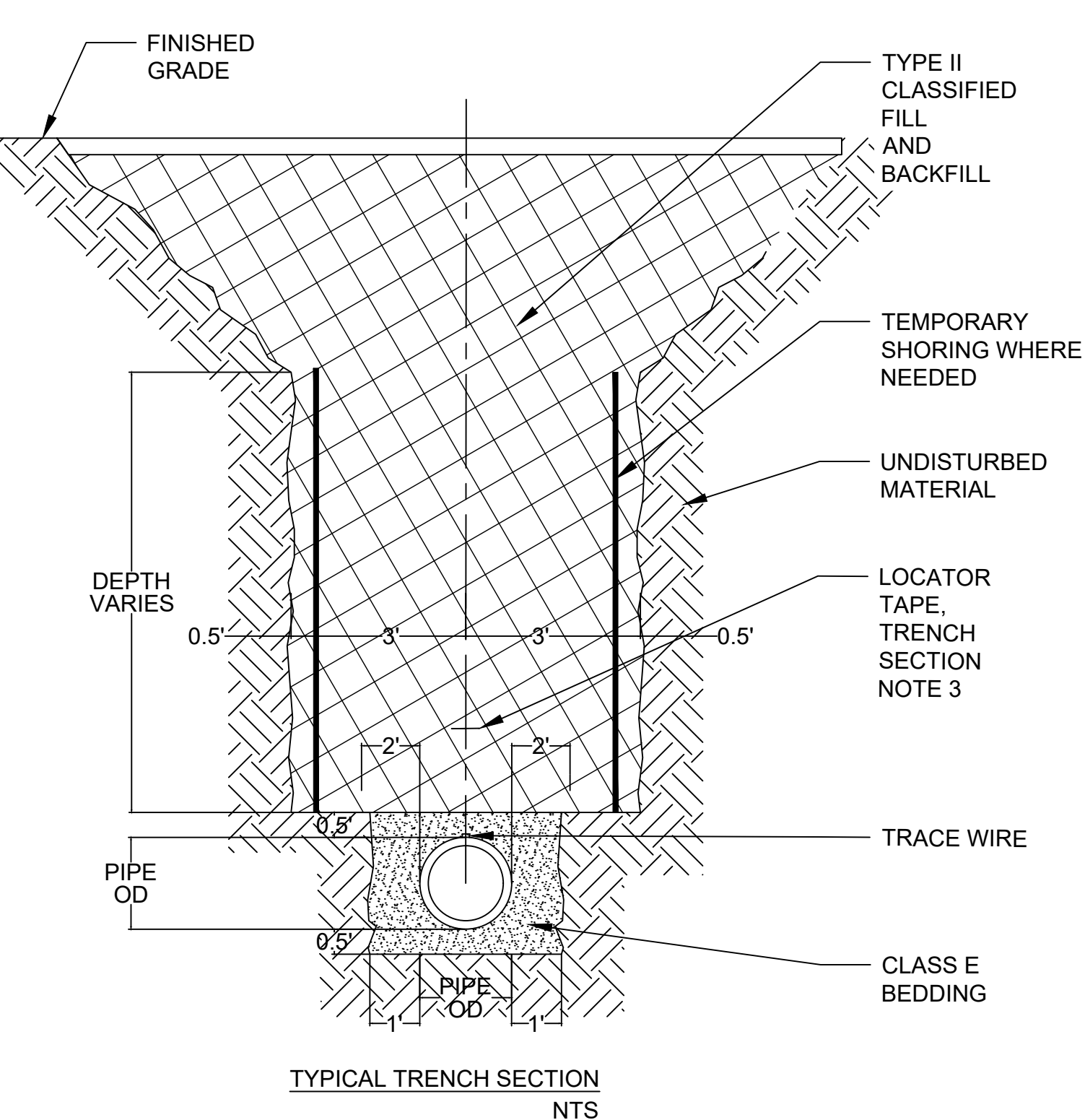
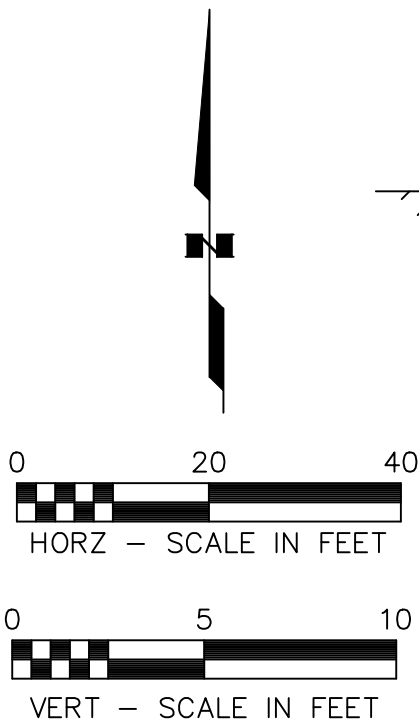
HALF SCALE WHEN PRINTED AT 11x17



WATER SERVICE PROFILE VIEW



SEWER SERVICE PROFILE VIEW



TRENCH SECTION NOTES:

- TRENCH EXCAVATION AND SHORING SHALL COMPLY WITH ALL LOCAL, STATE AND OSHA REGULATIONS AND REQUIREMENTS.
- SLOPE TRENCH WALLS ACCORDING TO THE SOIL CONDITIONS AND O.S.H.A. SAFETY STANDARDS.
- INSTALL LOCATOR TAPE 1.5' ABOVE TOP OF PIPE.

ANODE TABLE

STA./OFFSET	STA./OFFSET

RECORD DRAWING

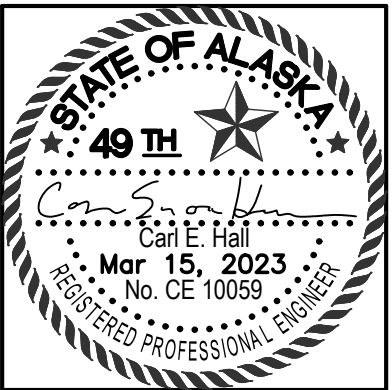
- DATA PROVIDED BY: _____
This will serve to certify that these Record Drawings are a true and accurate representation of the project as constructed.
CONTRACTOR: _____
BY: _____ TITLE: _____
DATE: _____
- DATA TRANSFERRED BY: _____
COMPANY: _____
DATE: _____
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DATA TRANSFER CHECKED BY: _____
COMPANY: _____
BY: _____ TITLE: _____
DATE: _____

LEGAL DESCRIPTION:
LOT 1B, LOT 1,
MOUNTAIN VIEW
SUBDIVISION

SW 1135
PS23-###

AWWU SHEET 2 OF 2

PERMIT DOCUMENTS



CERTIFICATE OF AUTHORIZATION NO:
R&M CONSULTANTS, INC. #AEC0111



CIHA BREWSTERS MULTI-FAMILY HOUSING
3825 MOUNTAIN VIEW DRIVE
ANCHORAGE, ALASKA

REVISION SCHEDULE

#	DESCRIPTION	DATE

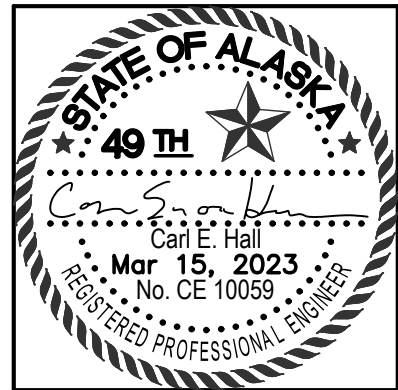
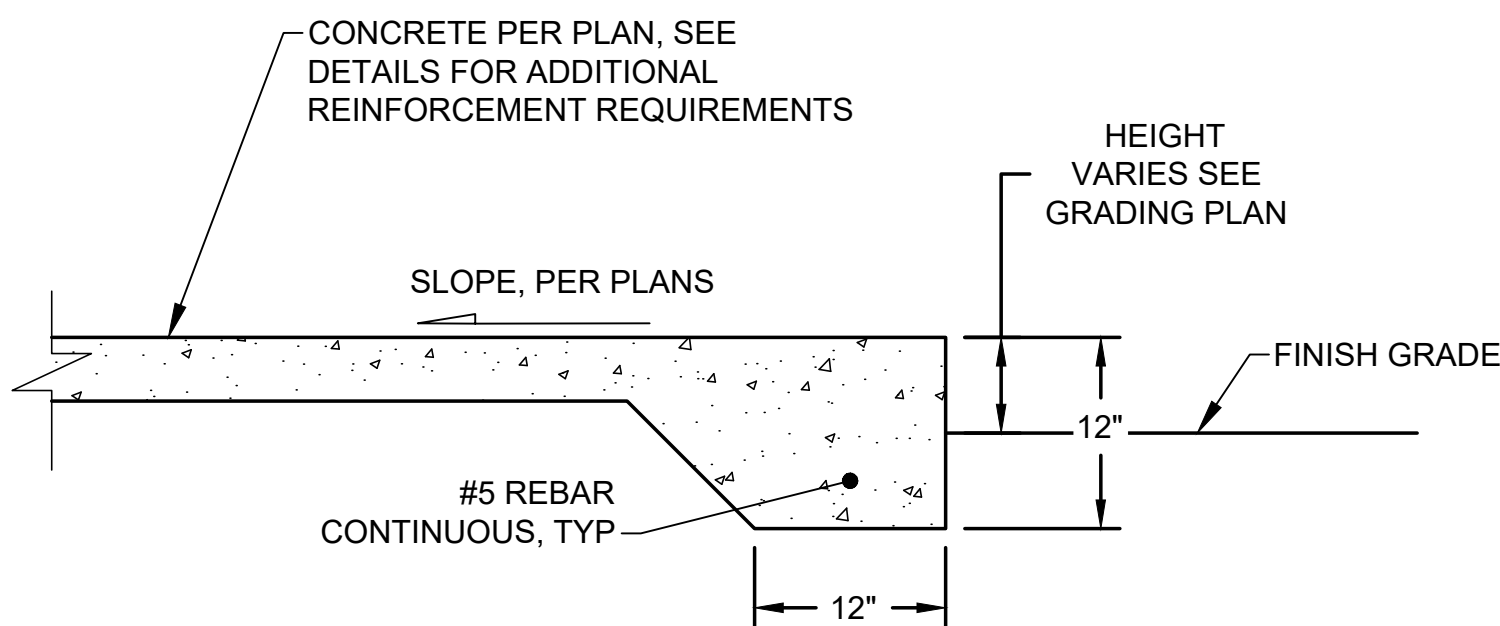
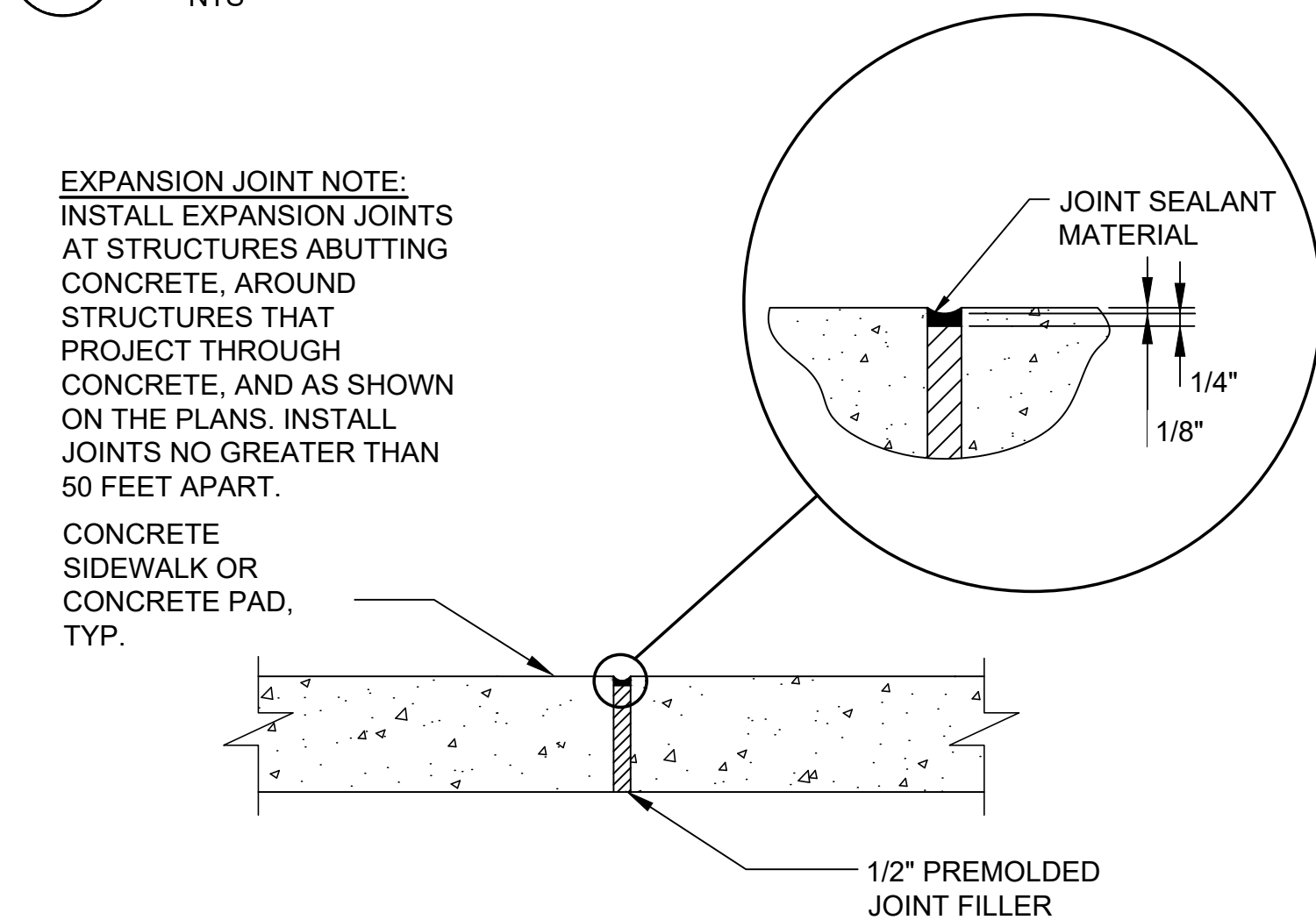
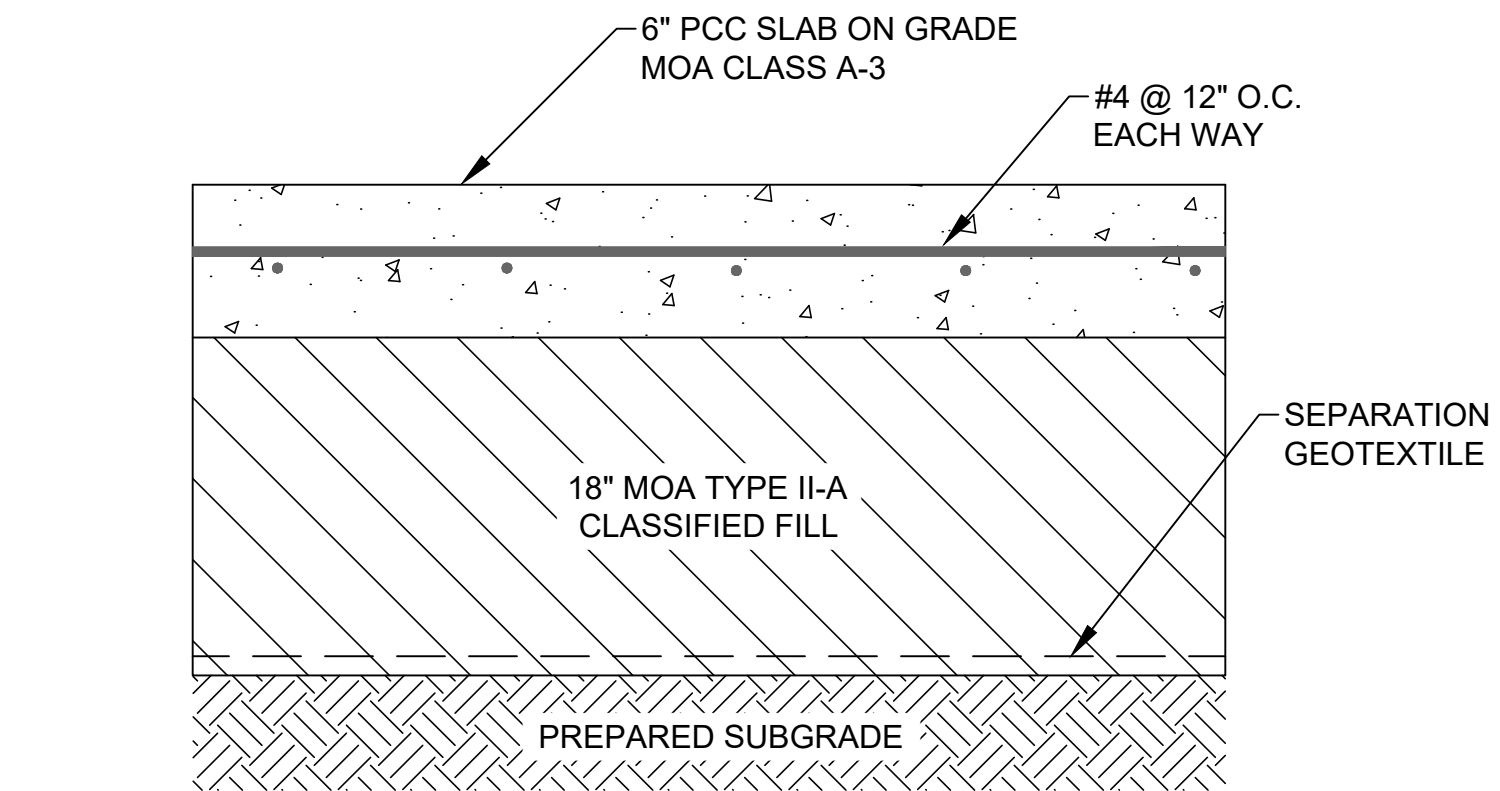
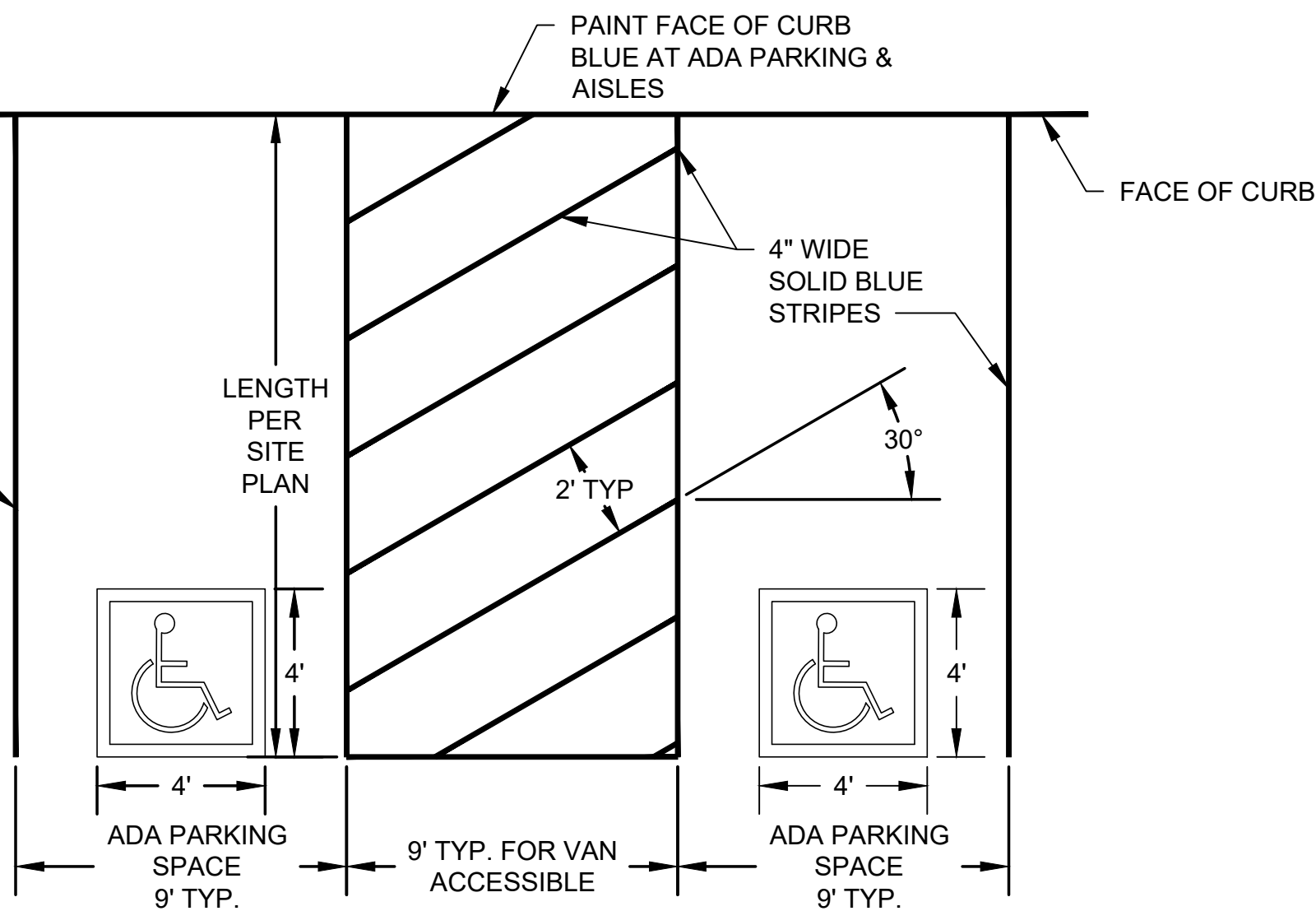
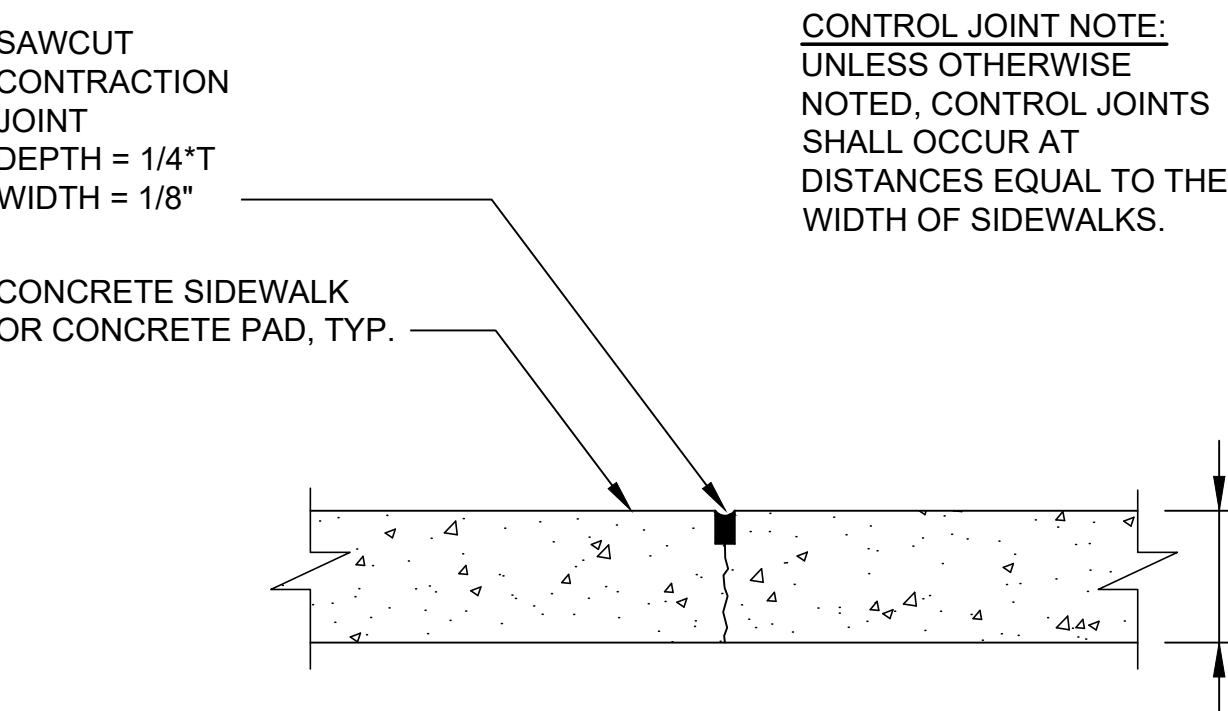
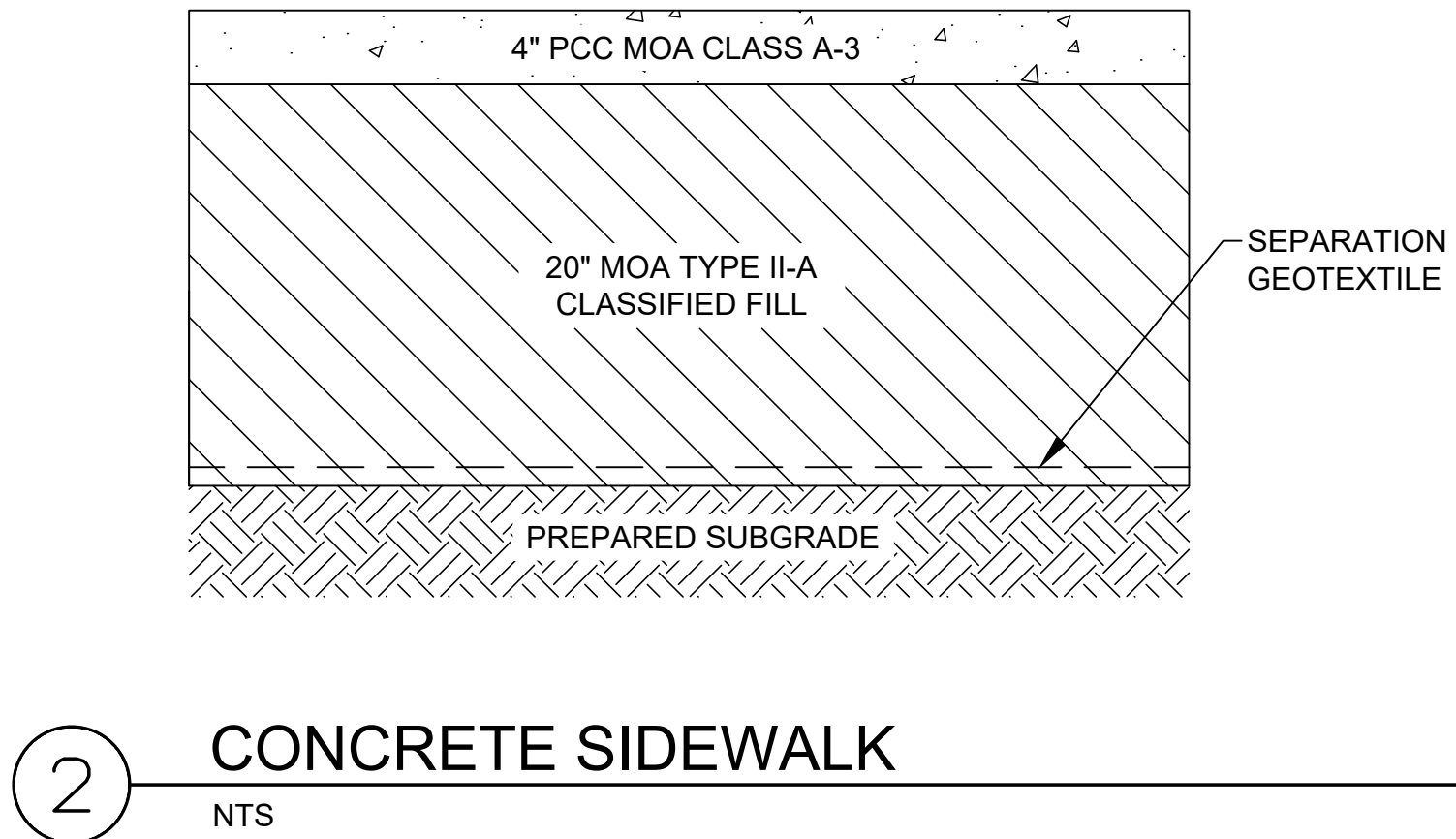
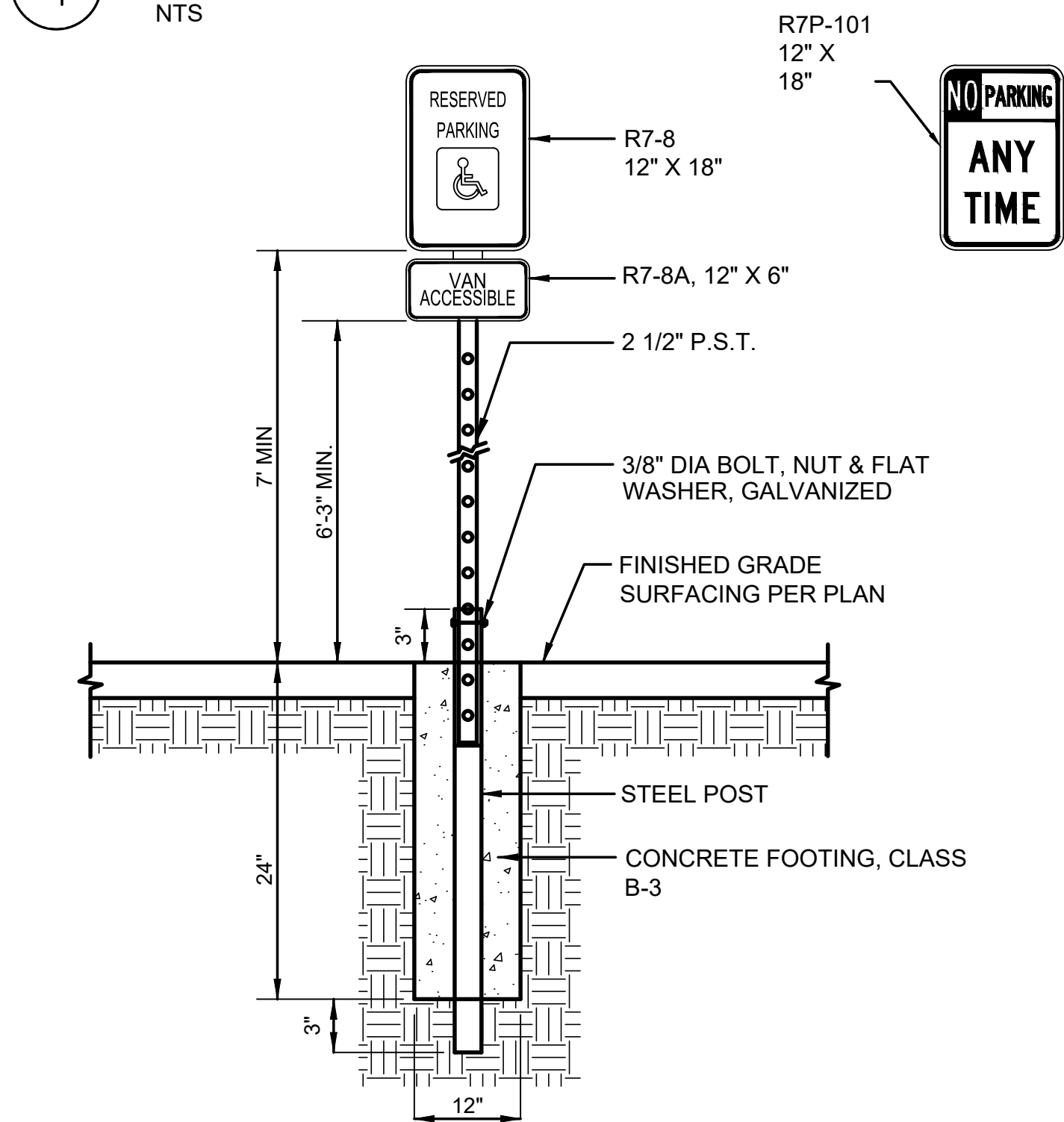
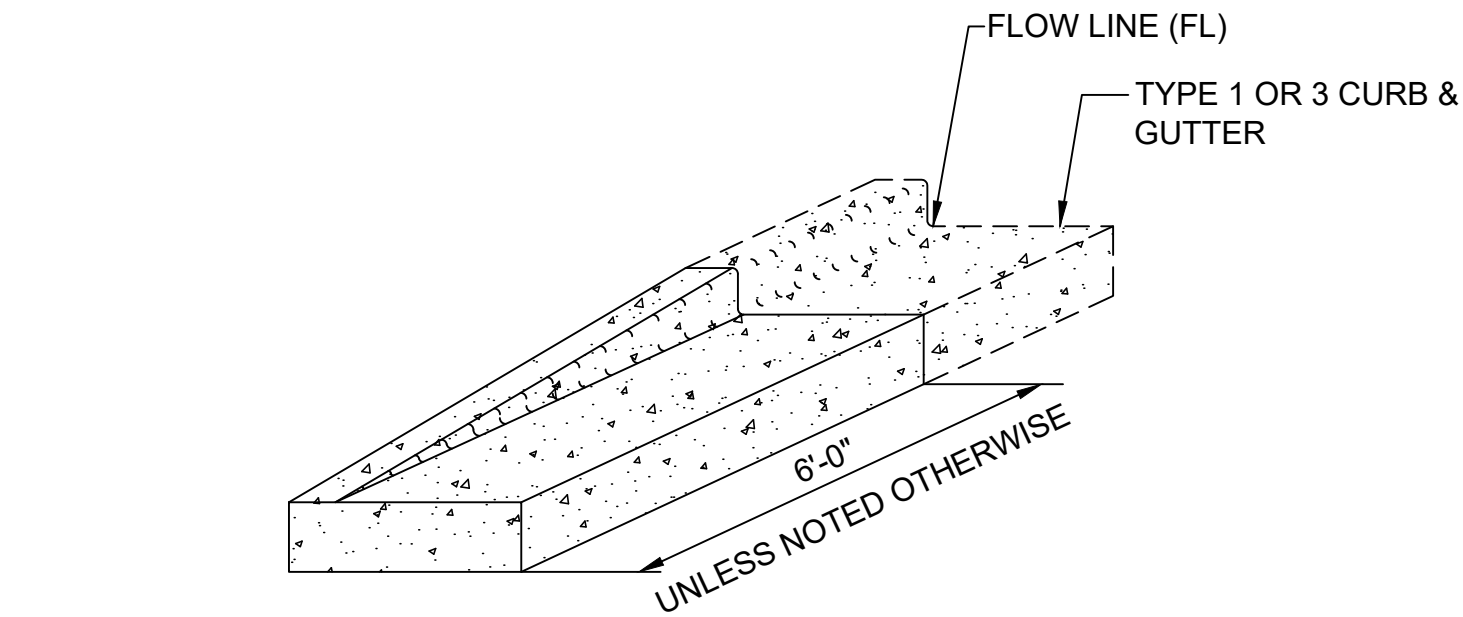
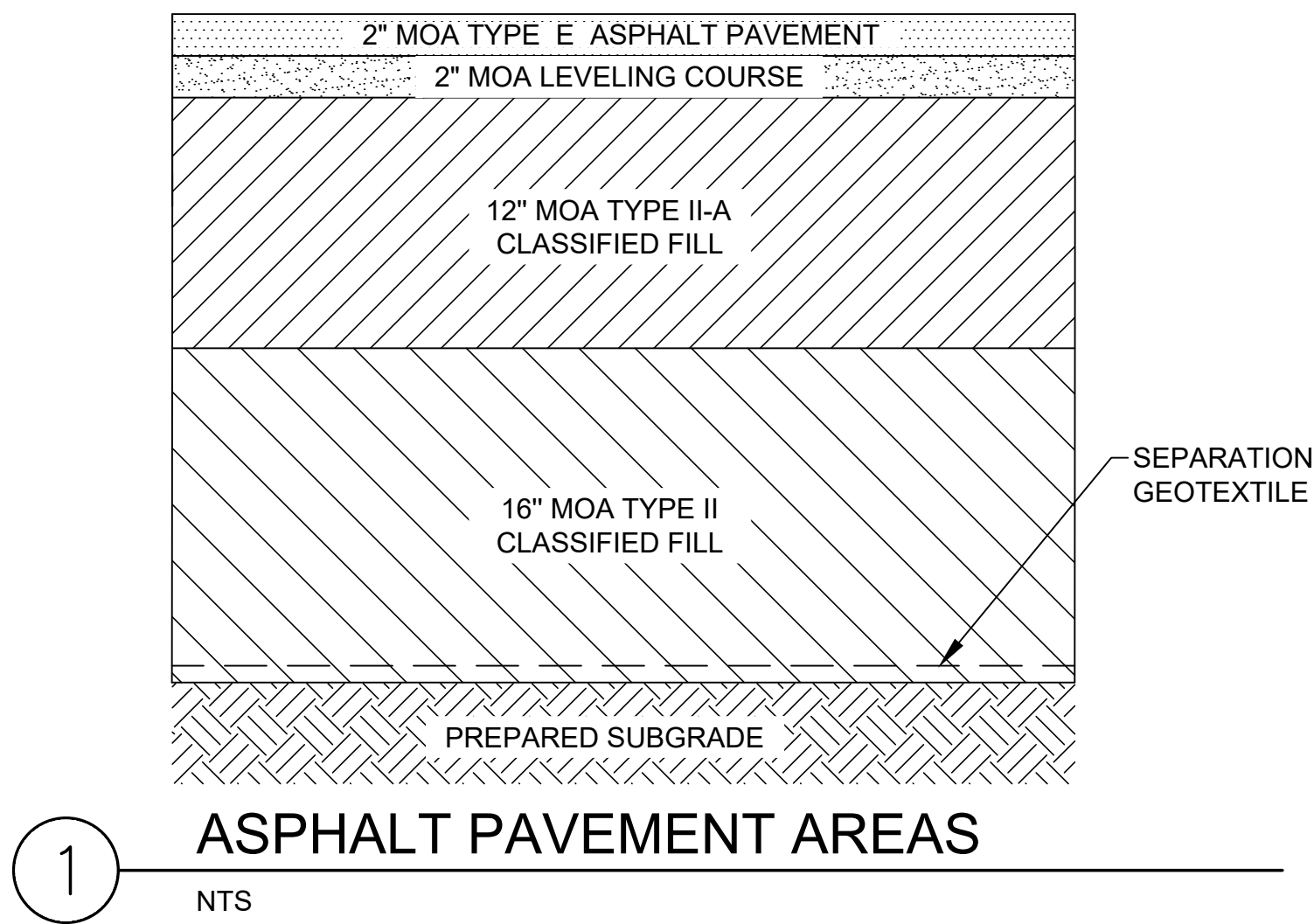
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DATE 2023.03.08
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SHEET NAME
WATER AND SEWER
SERVICES

SHEET NO.
C5.01

HALF SCALE WHEN PRINTED AT 11x17

Z:\project\3026.01 SPARK CIHA Brewsters\Civil\ACAD\3026.01-C6.00 - Civil Details.dwg



CERTIFICATE OF AUTHORIZATION NO. R&M CONSULTANTS, INC #AEC111



CIHA BREWSTERS MULTI-FAMILY HOUSING
3825 MOUNTAIN VIEW DRIVE
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

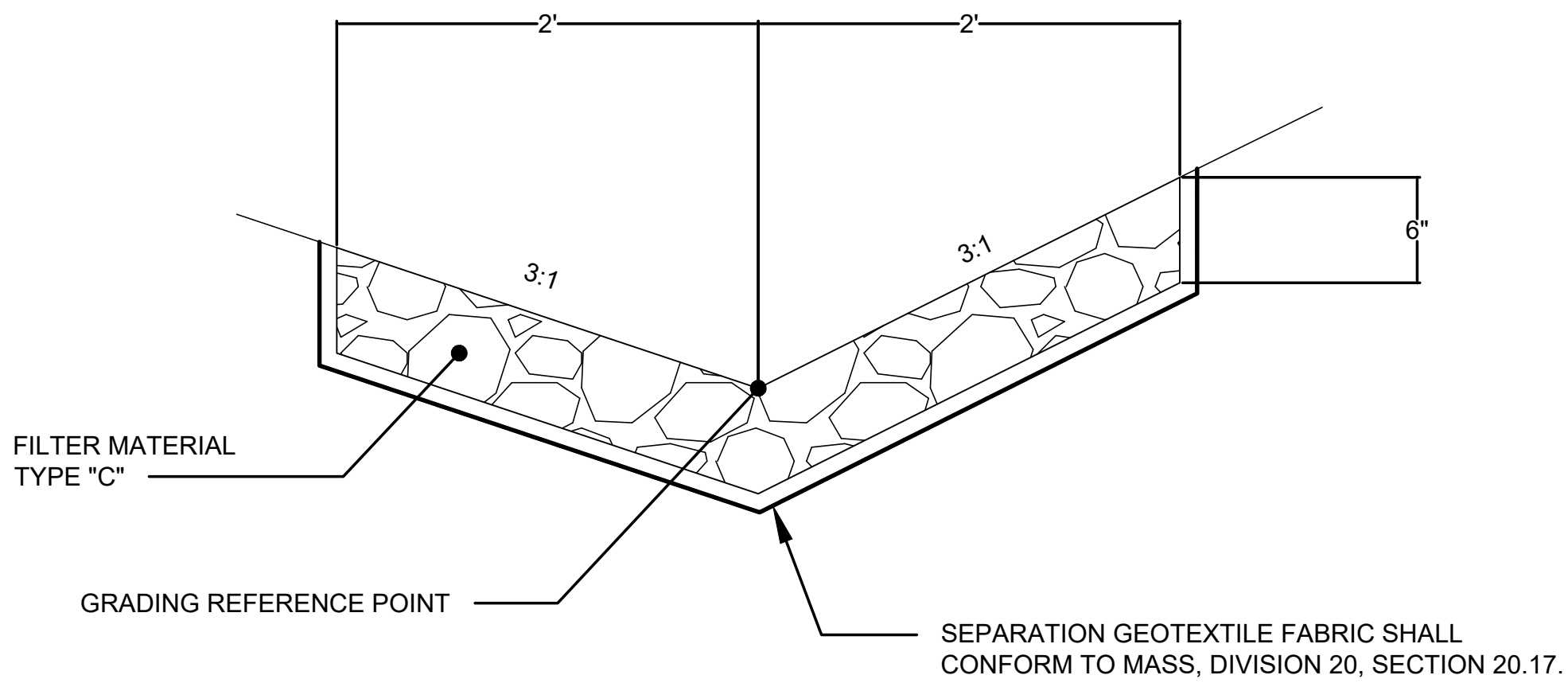
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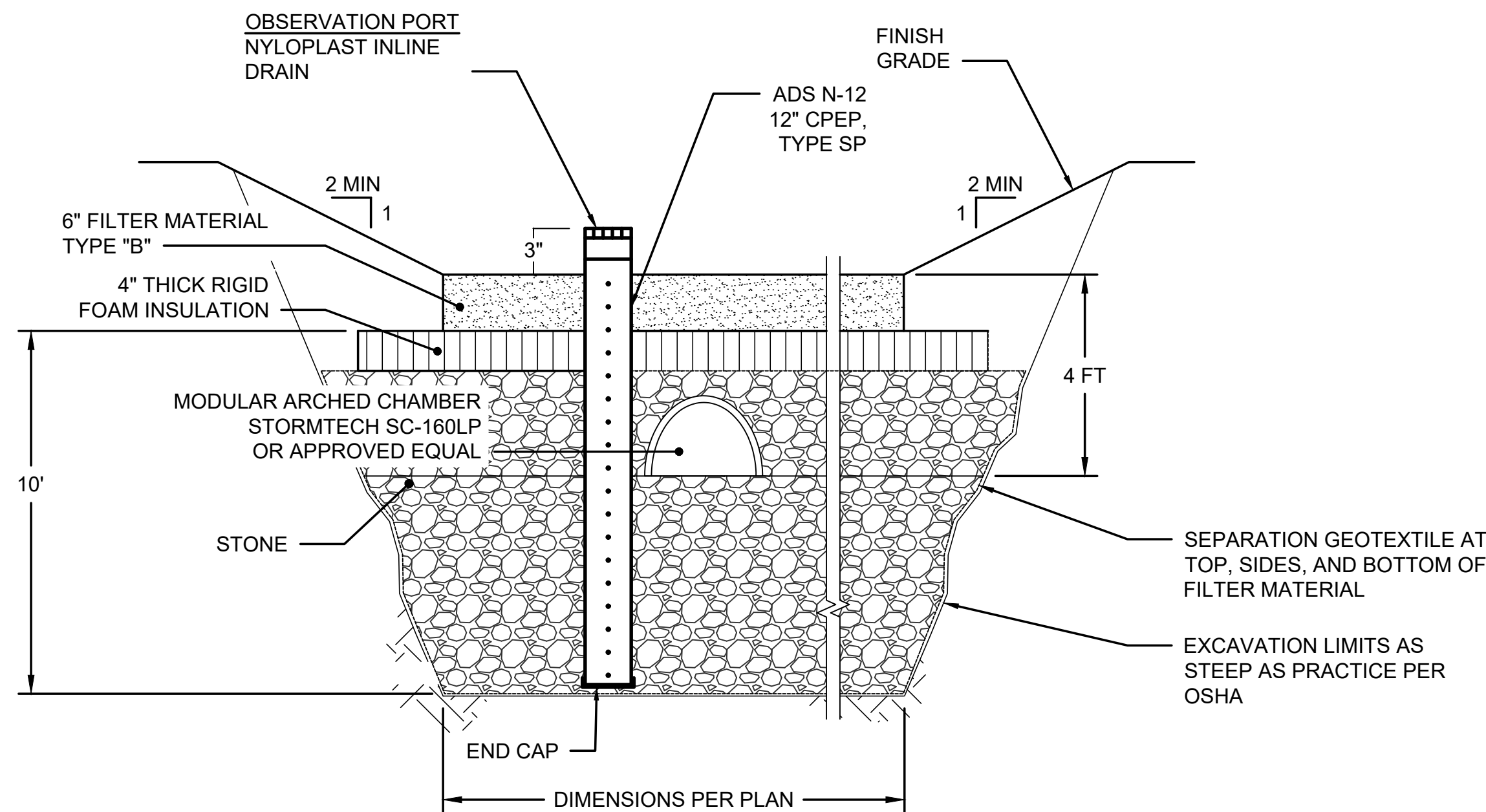
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HALF SCALE WHEN PRINTED AT 11x17

PERMIT DOCUMENTS



1 ROCK LINED SWALE
NTS



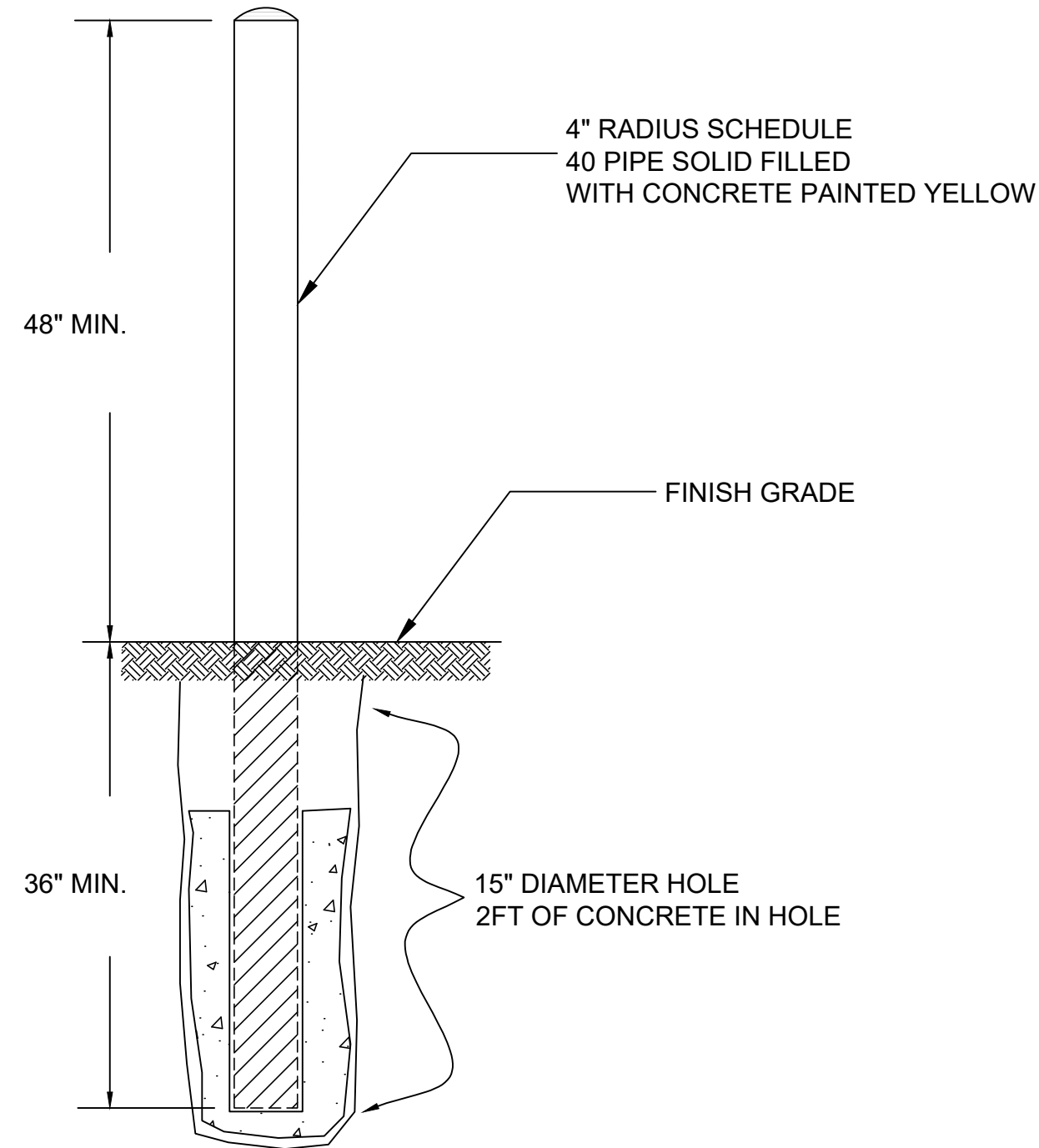
NOTES:

- CHAMBER SYSTEM SHALL CONSIST OF ADS SC-160LP CHAMBERS INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
- ALL SEPARATION GEOTEXTILE SHALL BE TYPE A, NON-WOVEN GEOTEXTILE (SEPARATION) WITH A MINIMUM FLOW RATE OF 155 GAL/(MIN*SQ.FT).
- STONE SHALL BE CLEAN, CRUSHED, ANGULAR STONE MEETING THE GRADATION REQUIREMENTS OF M.A.S.S. FILTER MATERIAL TYPE C. IT SHALL CONSIST OF ANGULAR FRAGMENTS REASONABLY UNIFORM IN DENSITY AND QUALITY, AND REASONABLY FREE FROM THIN AND ELONGATED PIECES, DIRT, AND OTHER OBJECTIONABLE MATERIAL. AT LEAST FIFTY PERCENT (50%) OF THE COARSE AGGREGATE PARTICLES SHALL HAVE TWO OR MORE MECHANICALLY FRACTURED FACES.

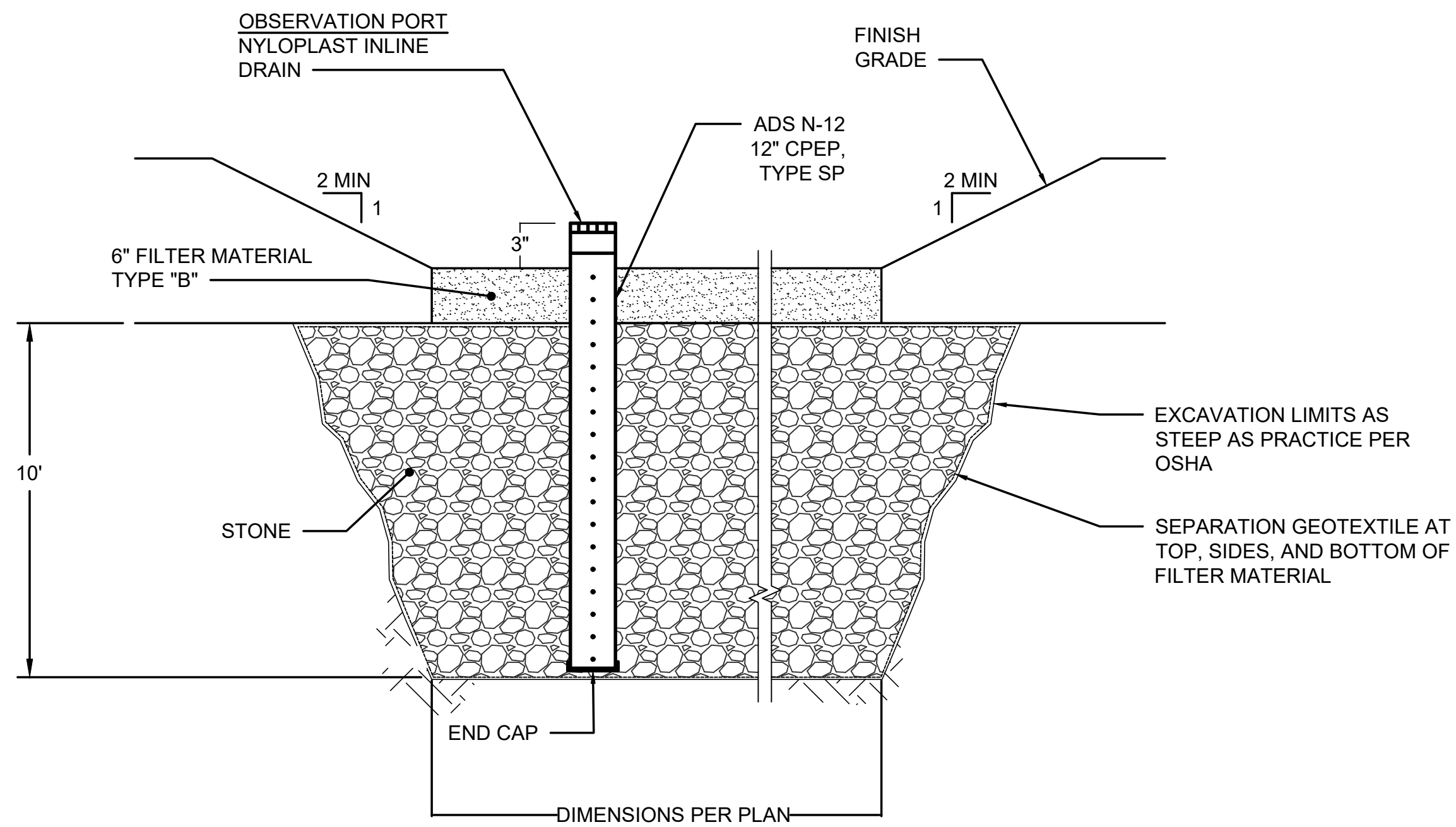
3 SOAKAWAY PIT
NTS

BOLLARD INSTALLATION NOTES:

- A TYPICAL METER PROTECTION BOLLARD CONSISTS OF A 4" RADIUS SCHEDULE 40 STEEL PIPE SOLID FILLED WITH CONCRETE WITH A MINIMUM OF 36" BURIED BELOW GROUND AND A MINIMUM OF 48" ABOVE GROUND.
- BOLLARDS MUST BE PLACED IN A WAY THAT METER PROTECTION IS ASSURED FROM ALL DIRECTIONS. THE MAXIMUM DISTANCE BETWEEN ANY PROTECTION BOLLARDS IN ANY DIRECTION IS 48".
- IF YOU HAVE ANY QUESTIONS ABOUT ANYTHING SHOWN IN THIS DIAGRAM PLEASE CONTACT YOUR ENSTAR MARKETING REPRESENTATIVE AT 907-334-7770.



2 TYPICAL METER PROTECTION 4" PIPE BOLLARD
NTS



NOTES:

- ALL SEPARATION GEOTEXTILE SHALL BE TYPE A, NON-WOVEN GEOTEXTILE (SEPARATION) WITH A MINIMUM FLOW RATE OF 155 GAL/(MIN*SQ.FT).
- STONE SHALL BE CLEAN, CRUSHED, ANGULAR STONE MEETING THE GRADATION REQUIREMENTS OF M.A.S.S. FILTER MATERIAL TYPE C. IT SHALL CONSIST OF ANGULAR FRAGMENTS REASONABLY UNIFORM IN DENSITY AND QUALITY, AND REASONABLY FREE FROM THIN AND ELONGATED PIECES, DIRT, AND OTHER OBJECTIONABLE MATERIAL. AT LEAST FIFTY PERCENT (50%) OF THE COARSE AGGREGATE PARTICLES SHALL HAVE TWO OR MORE MECHANICALLY FRACTURED FACES.

4 INFILTRATION TRENCH
NTS



CERTIFICATE OF AUTHORIZATION NO:
R&M CONSULTANTS, INC #AEC111

R&M CONSULTANTS, INC.
9101 Vanguard Drive • Anchorage, Alaska • 99507
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CIHA BREWSTERS MULTI-FAMILY HOUSING
3825 MOUNTAIN VIEW DRIVE
ANCHORAGE, ALASKA

REVISION SCHEDULE

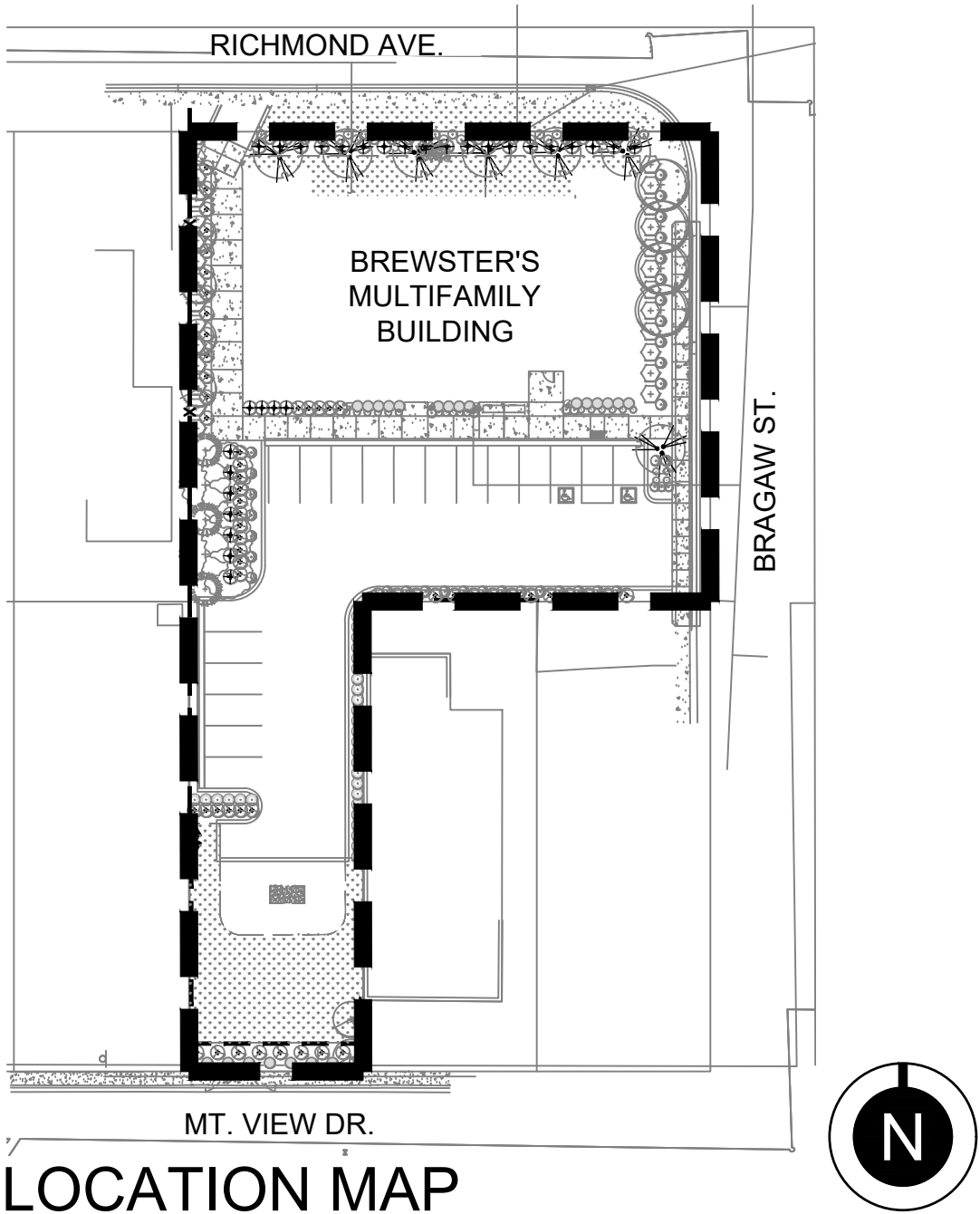
#	DESCRIPTION	DATE

JOB NO. 3026.01
DATE 2023.03.08
DRAWN VN
REVIEWED CH

SHEET NAME
DETAILS

SHEET NO.
C6.01

HALF SCALE WHEN PRINTED AT 11x17



LOCATION MAP

SHEET INDEX

- L1.0 LANDSCAPE NOTES & SCHEDULE
- L1.1 LANDSCAPE CODE ANALYSIS
- L2.0 LANDSCAPE PLAN
- L3.0 LANDSCAPE DETAILS
- L3.1 LANDSCAPE DETAILS

LANDSCAPE INSPECTIONS AND NOTIFICATIONS

- THE LANDSCAPE INSPECTIONS, MAINTENANCE, AND WARRANTIES SHALL BE CONSISTENT WITH M.A.S.S. AND THE PROJECT SPECIFICATIONS. BELOW IS AN OUTLINE OF THE INSPECTION PROCEDURE PER M.A.S.S. SECTION 75.02. ADDITIONAL INFORMATION CAN BE FOUND IN M.A.S.S.
- PRIOR TO BRINGING THE PLANT MATERIAL TO THE SITE:
 - THE CONTRACTOR SHALL HAVE ADEQUATE STORAGE SPACE FOR PLANT MATERIAL PRIOR TO THE SITE BEING READY FOR INSTALLATION. PLANT MATERIAL SHALL BE MAINTAINED AND WATERED THOROUGHLY PRIOR TO INSTALL.
 - NOTIFY THE OWNER'S REPRESENTATIVE FOR INSPECTION OF ALL TREES, SHRUBS, AND PERENNIALS PRIOR TO BRINGING MATERIAL TO THE PROJECT SITE. ANY PLANT MATERIAL SHOWING SIGNS OF DAMAGE, DISEASE, SCARRING, OVER-PRUNING, OR NOT MEETING THE ANSI Z60.1 STANDARDS SHALL BE REJECTED AND REPLACED AT NO COST TO THE OWNER. ANY SUBSTITUTIONS MUST BE APPROVED BY OWNER'S REPRESENTATIVE.
 - ALL TREES AND SHRUBS MUST HAVE NURSERY TAGS INTACT AND VISIBLE AT THE TIME OF THE INITIAL INSPECTION.
- ONCE PLANT MATERIAL IS INSTALLED ON SITE:
 - UPON COMPLETION OF ALL INITIAL PLANTING OPERATIONS (PLANTING AND SEEDING), THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR A LANDSCAPE INSPECTION.
 - INITIAL PLANTING OPERATION ENDS WHEN:
 - ALL PLANTS ARE INSTALLED, MULCHED AND WATERED AS SPECIFIED;
 - STAKE AND GUYS ARE IN PLACE
 - ALL CONSTRUCTION MATERIAL AND EXCESS EXCAVATED MATERIAL IS REMOVED AND CLEAN-UP IS COMPLETE;
 - PLANTING AREA IS FREE OF WEEDS OR ANY UNSPECIFIED PLANTS; AND
 - PLANT MATERIAL IS HEALTHY AND VIGOROUS
 - ANY ITEMS IDENTIFIED AS INSUFFICIENT SHALL BE REMEDIED. ONCE PUNCH LIST ITEMS ARE ADDRESSED AND ACCEPTED IN WRITING, OF ALL WORK THE TWO-YEAR PLANT ESTABLISHMENT PERIOD SHALL BEGIN. THE PLANT ESTABLISHMENT PERIOD INCLUDES ONGOING MAINTENANCE PER M.A.S.S. AND THE PROJECT SPECIFICATIONS.
- LANDSCAPE ACCEPTANCE AFTER THE TWO-YEAR PLANT ESTABLISHMENT PERIOD:
 - THE OWNER OR OWNER'S REPRESENTATIVE SHALL VERIFY THAT THE CONTRACTOR PERFORMED MAINTENANCE FUNCTIONS AS SPECIFIED AND THAT THE PLANT MATERIAL AND SEEDED AREAS ARE LIVE, UNIFORM, HEALTHY, AND FREE OF DISEASE, DAMAGE, INFESTATION, RUBISH, DEBRIS, AND WEEDS.
 - ANY DEFICIENCIES SHALL BE ADDRESSED WITHIN 30 DAYS. ANY PLANTS THAT ARE COMPLETELY REPLACED SHALL HAVE AN EXTENDED ONE-YEAR MAINTENANCE AND WARRANTY PERIOD ONCE THEIR INSTALLATION IS ACCEPTED IN WRITING.

BIOSWALE NOTES

- BIOSWALE TO RECEIVE 2.5" DEPTH RAIN GARDEN SPECIFIC TOPSOIL (SEE M.A.S.S. SECTION 75.03):
 - ORGANIC MATERIAL-NOT LESS THAN 15% NOR MORE THAN 25% BY VOLUME
 - SILT-NOT LESS THAN 20% NOR MORE THAN 35% BY VOLUME
 - SAND-NOT LESS THAN 50% NOR MORE THAN 55% BY VOLUME.

GENERAL LANDSCAPE NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (M.A.S.S.) UNLESS NOTED DIFFERENTLY ON SHEET NOTES.
- ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION).
- CONTRACTOR SHALL CALL LOCAL DIG LINE TO VERIFY UNDERGROUND UTILITY LOCATIONS PRIOR TO DIGGING. CONTRACTOR IS RESPONSIBLE FOR ANY UNDERGROUND UTILITY DAMAGE.
- IF THERE IS A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS IN THE GRAPHIC REPRESENTATION AND THE CALLOUTS OR SCHEDULE THE REPRESENTATION WITH THE HIGHEST AMOUNT OF PLANTS SHALL GOVERN.
- CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY SITE CONDITIONS THAT REQUIRE MODIFICATIONS TO THE LANDSCAPE PLAN PRIOR TO INSTALLATION.
- INSTALL MOOSE PROTECTION FENCE AROUND ALL NEW DECIDUOUS TREES IMMEDIATELY FOLLOWING PLANTING. MAINTAIN FOR EXTENT OF WARRANTY PERIOD.
- ALL SURFACE DISTURBANCE RELATED TO THIS PROJECT SHALL BE RESTORED WITH 4" TOPSOIL AND LAWN SEED MIX, EXCEPT WHERE SPECIFIED OTHERWISE.
- ALL PLANTING BEDS SHALL RECEIVE SHREDDED BARK MULCH AT THREE INCH DEPTH(3"), UNLESS OTHERWISE NOTED AS ROCK MULCH. SHREDDED BARK MULCH SHALL BE NATURAL MATERIAL WITHOUT ADDED DYES. THE MATERIAL SHALL MEET THE SHREDDED BARK MULCH STANDARD OF M.A.S.S. SECTION 75.02.
- MAINTENANCE, INCLUDING BUT NOT LIMITED TO WATERING, WEEDING, FERTILIZING, AND MOWING, SHALL BE PERFORMED ONCE PLANT MATERIAL HAS BEEN INSTALLED AND THROUGHOUT THE MAINTENANCE AND WARRANTY PERIOD. WARRANTY PERIOD SHALL BE TWO YEARS STARTING AT THE PARTIAL COMPLETION APPROVAL.
- TOPSOIL AND SEED QUANTITY IN LANDSCAPE SCHEDULE IS APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE TOPSOIL AND SEED COVERAGE FOR ANY AREAS OF DISTURBANCE, INCLUDING BEYOND SHOWN LIMITS OF DISTURBANCE DUE TO ON SITE GRADING IMPACTS.

LANDSCAPE SCHEDULE

TREES							
BPM	7		BETULA PAPYRIFEERA (MULTI-STEM)	WHITE PAPER BIRCH (MULTI-STEM)	2" CAL. MIN.	AS SHOWN	FURNISH: B&B
PG	3		PICEA ABIES 'CUPRESSINA'	COLUMNAR NORWAY SPRUCE	6' HT. MIN.	AS SHOWN	FURNISH: B&B
PT	6		POPULUS TREMULOIDES	QUAKING ASPEN	2" CAL. MIN.	AS SHOWN	FURNISH: B&B
PTE	7		POPULUS TREMULOIDES 'ERECTA'	COLUMNAR ASPEN	2" CAL. MIN.	AS SHOWN	FURNISH: B&B
AP	4		ACER PLATANOIDES 'DEBORAH'	DEBORAH NORWAY MAPLE	2" CAL. MIN.	AS SHOWN	FURNISH: B&B
SHRUBS							
BC	21		BERBERIS T. 'CONCORDE'	CONCORDE BARBERRY	18" HT.	AS SHOWN	FURNISH: CONTAINER
RA	27		RIBES ALPINUM	ALPINE CURRENT	18" HT.	AS SHOWN	FURNISH: CONTAINER
RR	57		ROSA RUGOSA	RUGOSA ROSE			
PA	30		POTENTILLA FRUT. 'ABBOTSWOOD'	ABBOTSWOOD POTENTILLA	18" HT.	AS SHOWN	FURNISH: CONTAINER
SS	30		SORBARIA SORBIFOLIA 'SEM'	'SEM' FALSE SPIREA	18" HT.	AS SHOWN	FURNISH: CONTAINER
SB	34		SPIRAEA BETULIFOLIA	WHITE BIRCHLEAF SPIREA	18" HT.	AS SHOWN	FURNISH: CONTAINER
SD	22		SPIRAEA DENSIFLORA	MOUNTAIN SPIREA	18" HT.	AS SHOWN	FURNISH: CONTAINER
PERENNIALS							
PL	3		PENNISETUM AL. 'LITTLE BUNNY'	LITTLE BUNNY DWARF FOUNTAIN GRASS	#1 CONT.	AS SHOWN	
IS	52		IRIS SETOSA	ARCTIC IRIS	#1 CONT.	AS SHOWN	
BIOSWALE PERENNIALS (120 TOTAL)			SPACING OF PERENNIALS TO BE EVENLY SPREAD OUT THROUGHOUT BEDS AS SHOWN ON PLANS. 40 - HEMEROCALLIS 'CHICAGO APACHE' (DAYLILY) 40 - IRIS SIBIRICA 'BUTTER AND SUGAR' 40 - ACHILLEA MILLEFOLIUM 'TERRA COTTA' (YARROW)				
SEED							
		SYMBOL	SCIENTIFIC NAME	COMMON NAME	% BY WEIGHT	NOTES	
SCHEDULE A: MOWABLE SEED MIX (LAWN)							
~ 4 MSF			LOLIUM MULTIFLORUM POA PRATENSIS 'KENAI' POA PRATENSIS FESTUCA RUBRA 'BOREAL'	ANNUAL RYEGRASS KY BLUEGRASS: KENAI KY BLUEGRASS: ALENE BOREAL FESCUE	5% 30% 25% 40%	MIX APPLICATION RATE: 5 LBS. PER MSF ALL SEEDED AREAS TO RECEIVE 4" OF TOPSOIL	
MATERIALS							
		SYMBOL	ITEM		NOTES		
~ 400 LF			LANDSCAPE EDGING		4" ALUMINUM		
		N/A	SHREDDED BARK MULCH		INSTALL AT 3" DEPTH		
					SHREDDED BARK MULCH INSTALL IN PLANTING BEDS		



CERTIFICATE OF AUTHORIZATION NO:
HUDDLE AK, LLC #AECL1611

spark design, llc

HUDDLE

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907-223-0136 www.HUDDLEAK.com

BREWSTER'S MULTIFAMILY HOUSING

COOK INLET HOUSING AUTHORITY

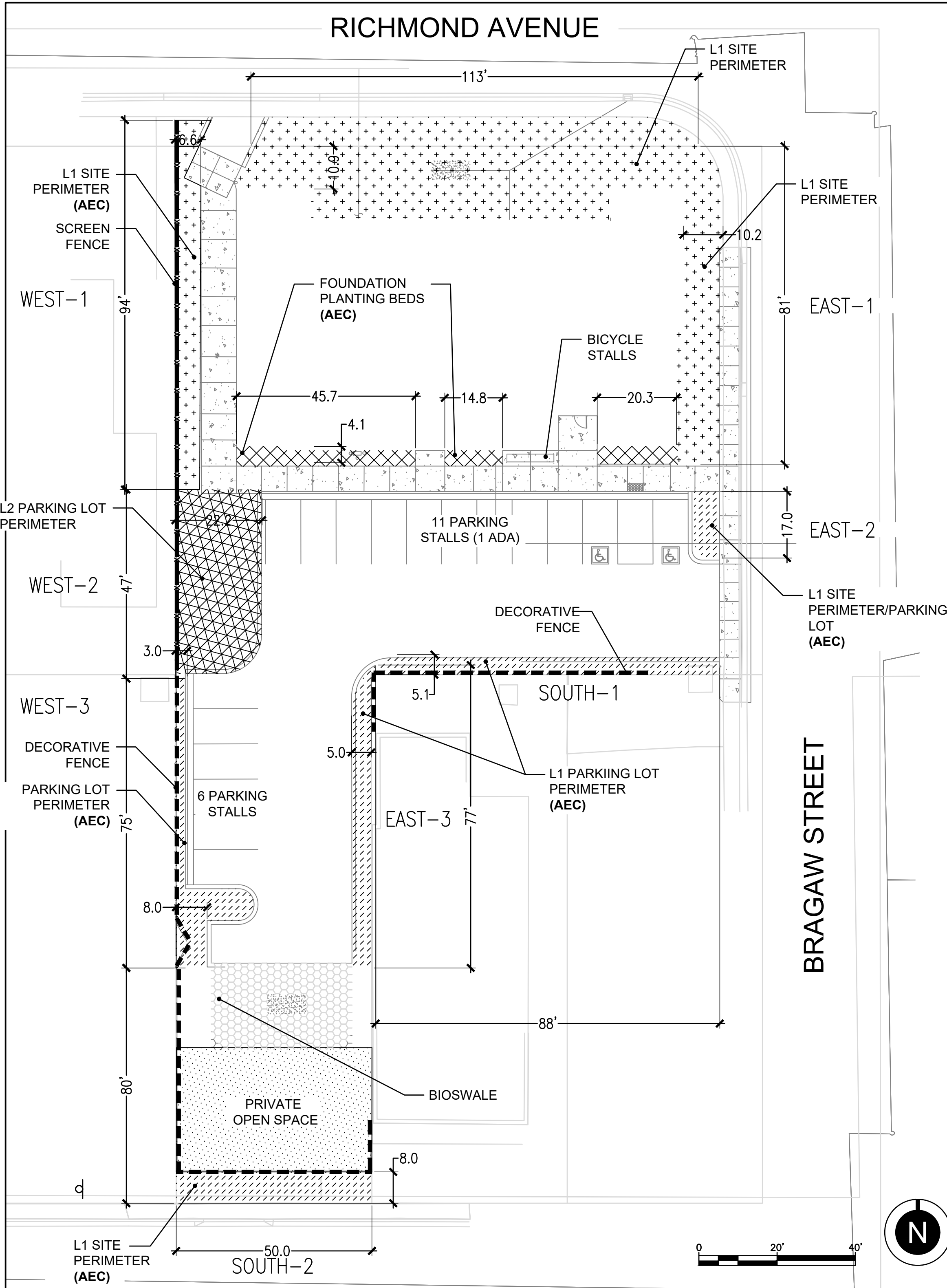
ANCHORAGE, AK

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	3.8.2023
DATE	JPI
DRAWN	BRK/HST
REVIEWED	

SHEET NAME	LANDSCAPE NOTES & SCHEDULE
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SHEET NO.	L1.0
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SITE PERIMETER AND PARKING LOT PERIMETER LANDSCAPING									
NEIGHBORING PROP.	NORTH	EAST-1	EAST-2	EAST-3	SOUTH-1	SOUTH-2	WEST-1	WEST-2	WEST-3
	RICHMOND AVENUE	NORTH BRAGAW STREET	B-3	B-3	B-3	MOUNTAIN VIEW DRIVE	R-4	R-4	B-3
APPLICABLE LANDSCAPE REQUIREMENT	SITE PERIMETER	SITE PERIMETER	PARKING LOT PERIMETER	PARKING LOT PERIMETER	PARKING LOT PERIMETER	PARKING LOT PERIMETER/SITE PERIMETER	SITE PERIMETER	PARKING LOT PERIMETER	PARKING LOT PERIMETER
TYPE OF LANDSCAPE (REQUIRED)	L1	L1	L1	L1	L1	L1	L1	L2	L1
TYPE OF LANDSCAPE (PROPOSED)	L1	L1	L1	AEC TREE REQUIREMENT IN BIOSWALE PERENNIAL EQUIVALENT	AEC FENCING W/ SHRUBS AND TREE REQUIREMENT IN BIOSWALE PERENNIAL EQUIVALENT	AEC FENCING W/ SHRUBS/1 TREE IN BIOSWALE PERENNIAL EQUIVALENT	L1 AEC FENCING FOR NARROW BED	EXTRA TREES AND SHRUBS TO MEET WEST-3 DEFICIT	L1 AEC DECORATIVE FENCE TREE COUNT MET IN WEST-2 EQUIVALENT SHRUBS IN ADJACENT BEDS
LINEAR FEET	113 LF	81 LF	17 LF	77 LF	89 LF	50 LF	94 LF	47 LF	75 LF
REQ'D TREES/SHRUBS	6 TREES/34 SHRUBS	4 TREES/24 SHRUBS	1 TREES/5 SHRUBS	4 TREES/23 SHRUBS	5 TREES/27 SHRUBS	3 TREES/15 SHRUBS	5 TREES/28 SHRUBS	5 TREES 1/2 CONIFEROUS /14 SHRUBS	4 TREES /23 SHRUBS
PROVIDED TREES/SHRUBS	6 TREES/19 SHRUBS/45 PERENNIALS	4 TREES/24 SHRUBS	1 TREE/5 SHRUBS	23 SHRUBS	27 SHRUBS	2 TREES/15 SHRUBS	5 TREES/28 SHRUBS	9 TREES 3 CONIFEROUS/14 SHRUBS	23 SHRUBS IN ADJACENT BEDS. TREES PER NOTE ABOVE

LEGEND		
SYMBOL	AREA/ITEM	CODE REFERENCE
	L1 PARKING LOT PERIMETER	21.07-1
	L1 SITE PERIMETER	21.07-1
	L2 PARKING LOT PERIMETER	21.07.110.C.10
	COMMON PRIVATE OPEN SPACE	21.07.030
	STANDARDS FOR MULTIFAMILY AND TOWNHOUSE RESIDENTIAL: FOUNDATION LANDSCAPING	21.07.110.C.10.c

LANDSCAPE CODE NOTES

PARKING LOT INTERIOR LANDSCAPING
NOT APPLICABLE-ONLY REQUIRED FOR PARKING LOTS WITH 40 OR MORE SPACES.

SITE ENHANCEMENT LANDSCAPING
PLANT MATERIAL SHALL BE ESTABLISHED THROUGHOUT THE SITE TO PREVENT EROSION.

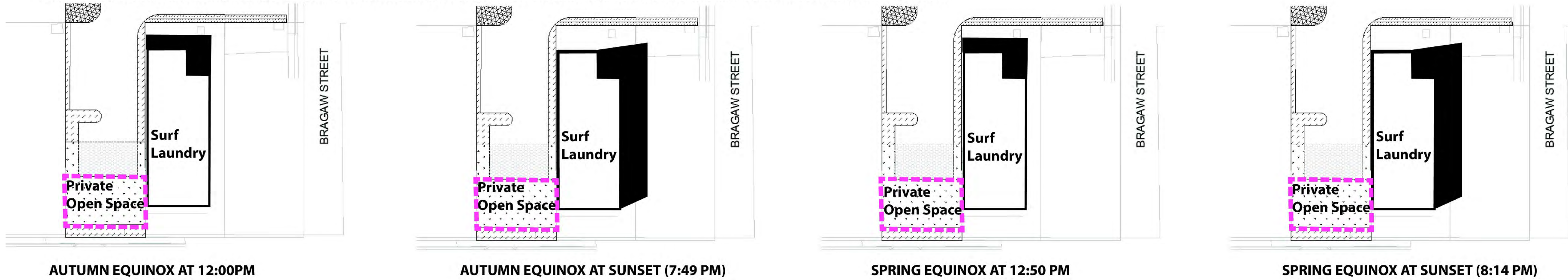
TREES FOR RESIDENTIAL DEVELOPMENT
20 TREES PER ACRE (MIN. OF 1 TREE PER LOT).
0.62 ACRES X 20 = 12.4 = 12 TREES MIN.

FOUNDATION LANDSCAPING:
TEN SHRUBS PER 20 LINEAR FEET OF BUILDING LENGTH.
81' = 41 SHRUBS

PRIVATE OPEN SPACE
21 UNITS X 100 SF + 149 SF X 5% = 2,108 SF
SEEKING A 25% REDUCTION PER THE HIGH QUALITY SPACE STANDARDS:
PRIVATE OPEN SPACE PROVIDED = 2,108 - 25% = 1,581 SF PROVIDED

- HAS LESS THAN 5% SLOPE
- WELL DRAINED / NOT WETLANDS
- INSIDE DIMENSIONS ARE GREATER THAN 23 FEET
- MEETS SUNLIGHT ACCESS REQUIREMENTS (SEE DIAGRAMS BELOW)

PRIVATE OPEN SPACE MEETS THE SUNLIGHT STANDARDS FOR INCENTIVE FOR HIGH QUALITY SPACES DURING SPRING AND FALL EQUINOX



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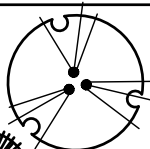


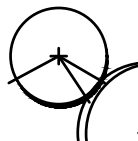
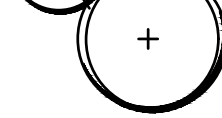










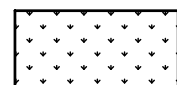

BREWSTER'S MULTIFAMILY HOUSING
COOK INLET HOUSING AUTHORITY
ANCHORAGE, AK

JOB NO.	3.8.2023
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SHEET NAME
LANDSCAPE CODE
ANALYSIS

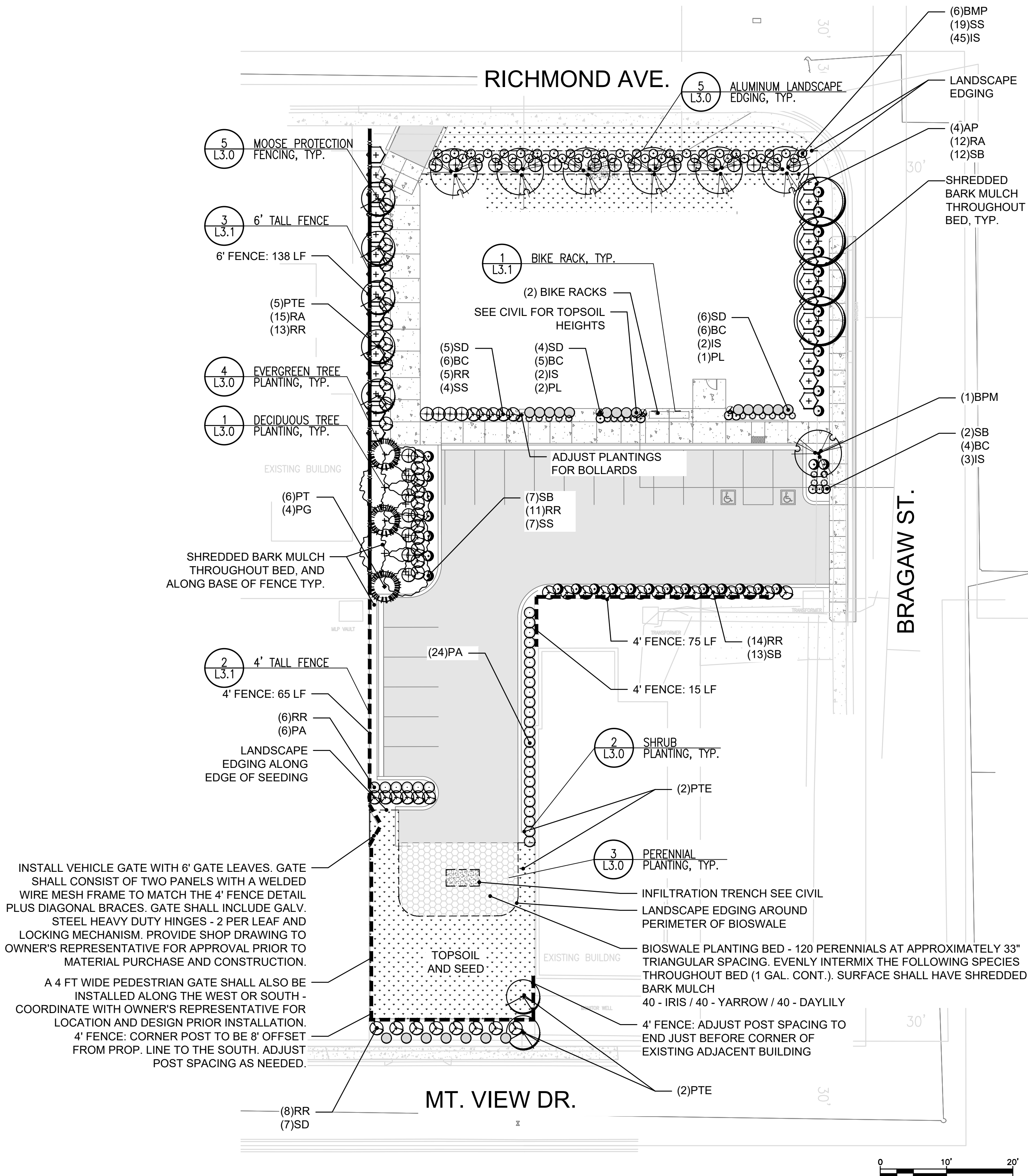
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LANDSCAPE LEGEND

LABEL	SYMBOL	SCIENTIFIC NAME	COMMON NAME
TREES			
BPM		BETULA PAPYRIFERA (MULTI-STEM)	WHITE PAPER BIRCH (MULTI-STEM)
PG		PICEA ABIES 'CUPRESSINA'	COLUMNAR NORWAY SPRUCE
PT		POPULUS TREMULOIDES	QUAKING ASPEN
PTE		POPULUS TREMULOIDES 'ERECTA'	COLUMNAR ASPEN
AP		ACER PLATANOIDES 'DEBORAH'	DEBORAH NORWAY MAPLE
SHRUBS			
BC		BERBERIS T. 'CONCORDE'	CONCORDE BARBERRY
RA		RIBES ALPINUM	ALPINE CURRENT
RR		ROSA RUGOSA	RUGOSA ROSE
PA		POTENTILLA FRUT. 'ABBOTSWOOD'	ABBOTSWOOD POTENTILLA
SS		SORBARIA SORBIFOLIA 'SEM'	'SEM' FALSE SPIREA
SB		SPIRAEA BETULIFOLIA	WHITE BIRCHLEAF SPIREA
SD		SPIRAEA DENSIFLORA	MOUNTAIN SPIREA
PERENNIALS			
PL		PENNISETUM AL. 'LITTLE BUNNY'	LITTLE BUNNY DWARF FOUNTAIN GRASS
IS		IRIS SETOSA	ARCTIC IRIS
BIOSWALE PERENNIALS		SPACING OF PERENNIALS TO BE EVENLY SPREAD OUT THROUGHOUT BEDS AS SHOWN ON PLANS. 40 - HEMEROCALLIS 'CHICAGO APACHE' (DAYLILY) 40 - IRIS SIBIRICA 'BUTTER AND SUGAR' 40 - ACHILLEA MILLEFOLIUM 'TERRA COTTA' (YARROW)	
SEED			
SYMBOL			
		SCHEDULE A: MOWABLE SEED MIX (LAWN)	
MATERIALS			
SYMBOL		ITEM	
		LANDSCAPE EDGING	4" ALUMINUM
N/A		SHREDDED BARK MULCH	INSTALL AT 3" DEPTH

NOTES:

1. SEE SHEET L1.0 FOR FULL PLANTING SCHEDULE AND NOTES.
2. ENSURE FENCE FOOTINGS DO NOT CONFLICT WITH UNDERGROUND UTILITIES. NOTIFY OWNER'S OF ANY FENCE LAYOUT ADJUSTMENT THAT NEED TO OCCUR DUE TO ONSITE CONDITIONS OR UTILITIES.
3. SEE CIVIL FOR INFILTRATION TRENCHES ADJUST PLANTING LAYOUT AS NEEDED TO AVOID OVERLAP.



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BREWSTER'S MULTIFAMILY HOUSING
COOK INLET HOUSING AUTHORITY
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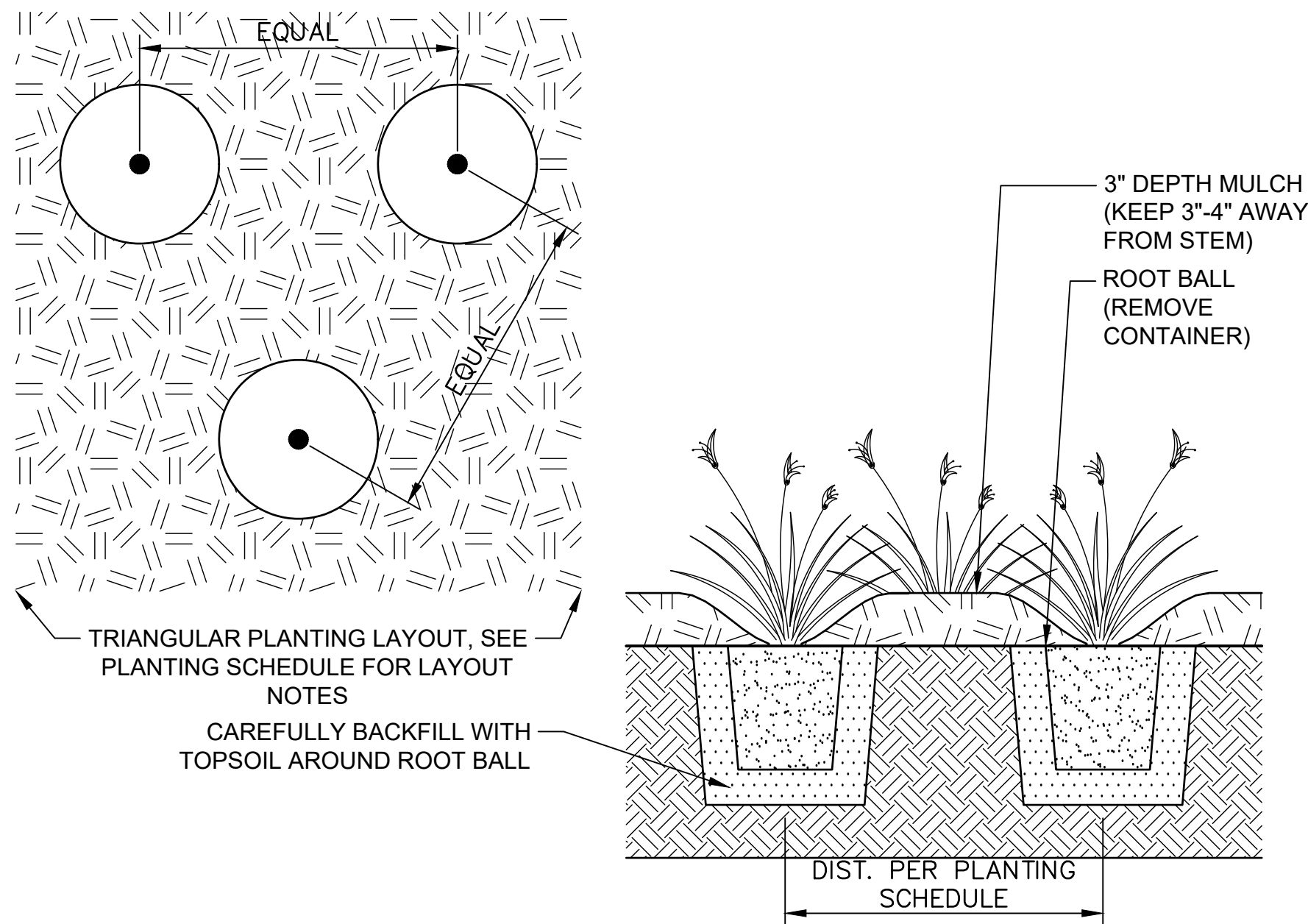
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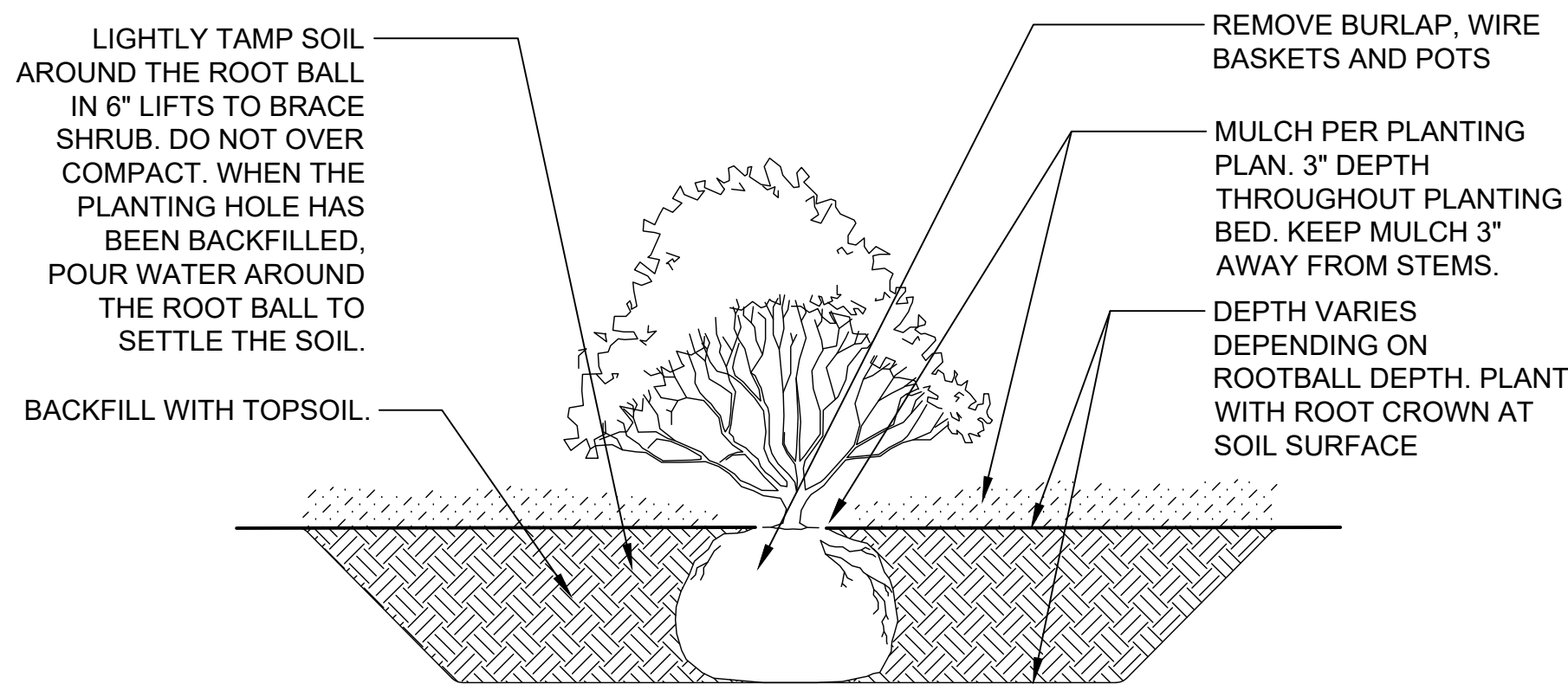
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LANDSCAPE
PLAN-SOUTHEAST PHASE 1
N.I.C.

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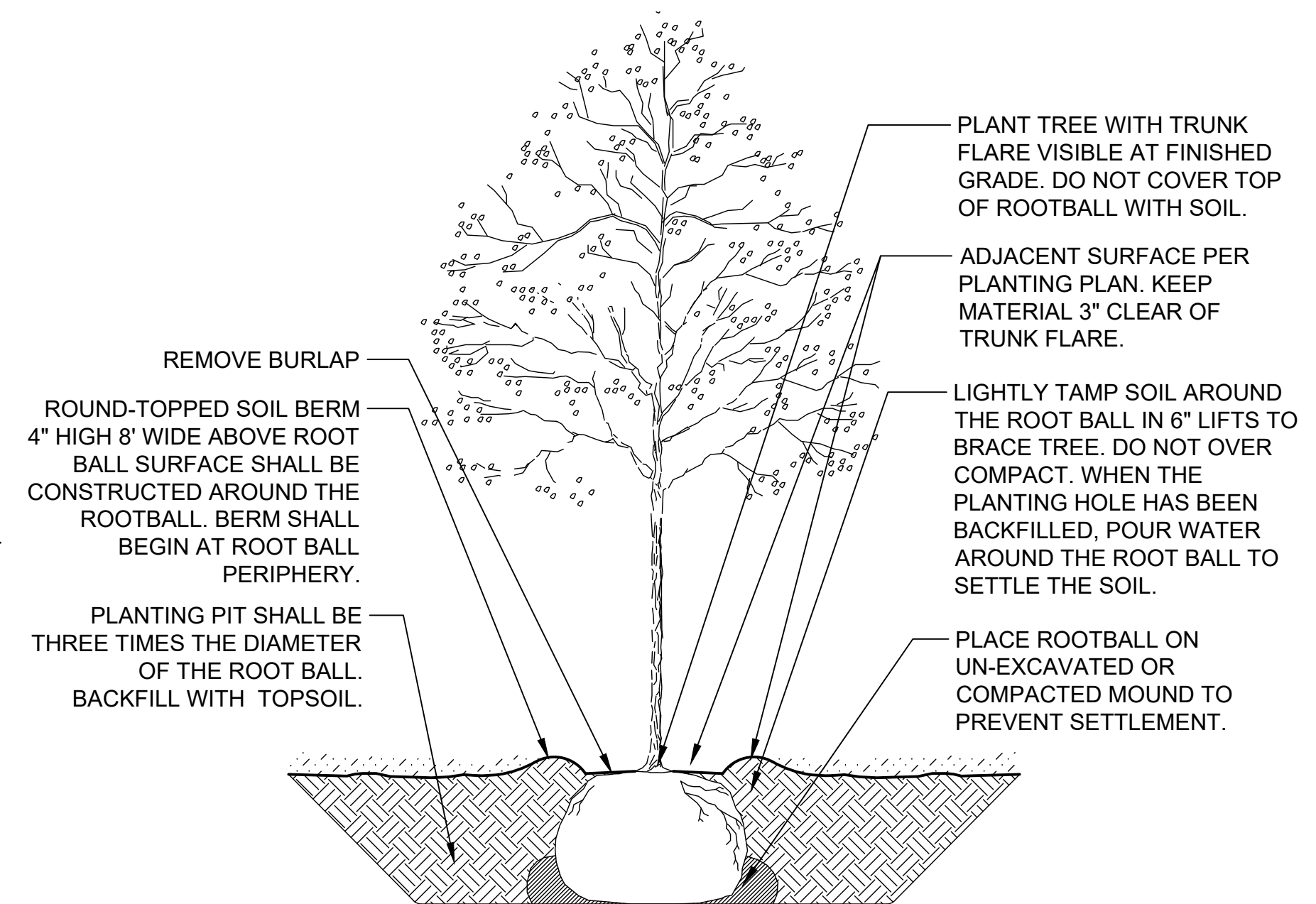
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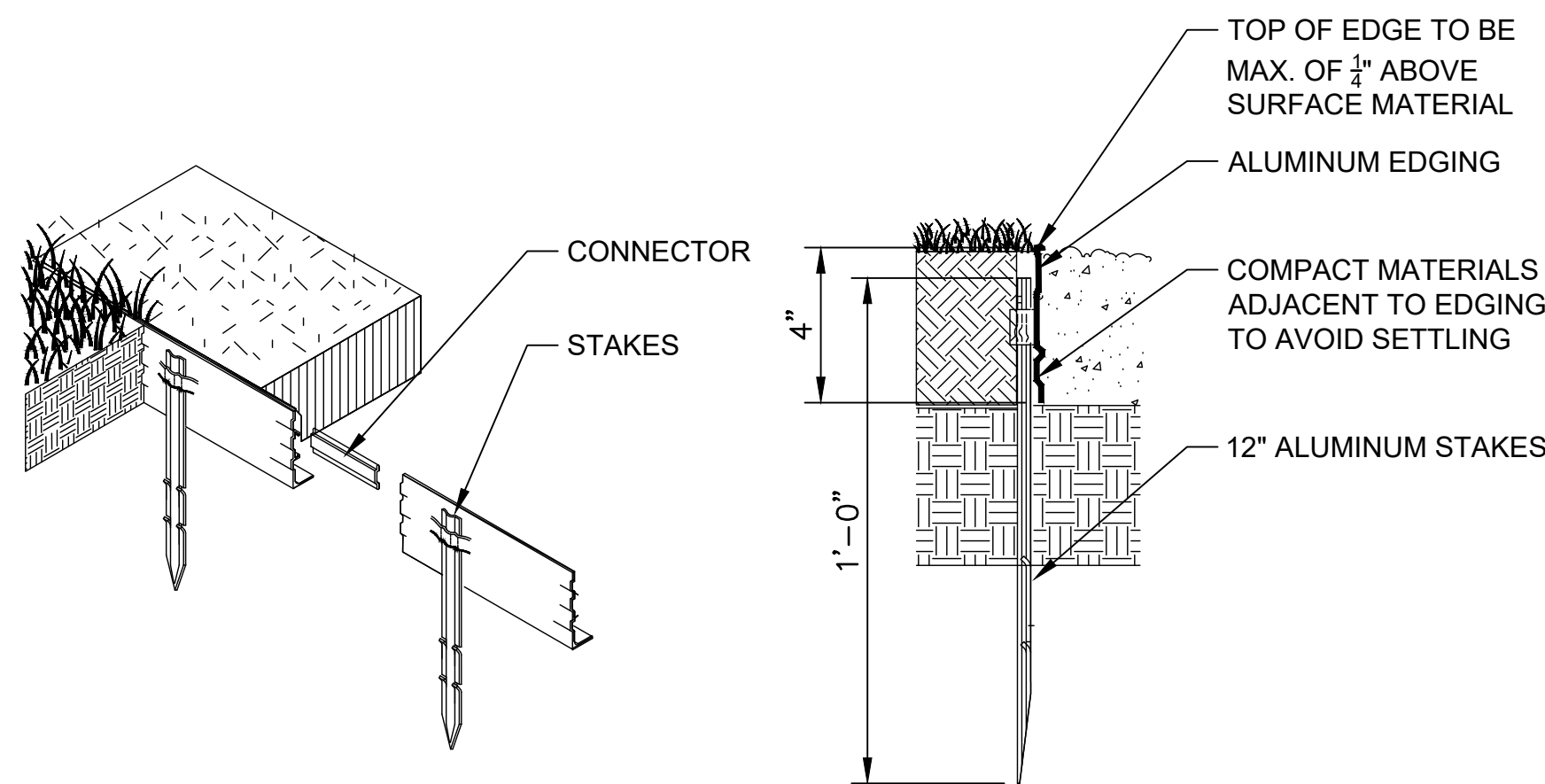
3 PERENNIAL PLANTING
L3.0 NTS



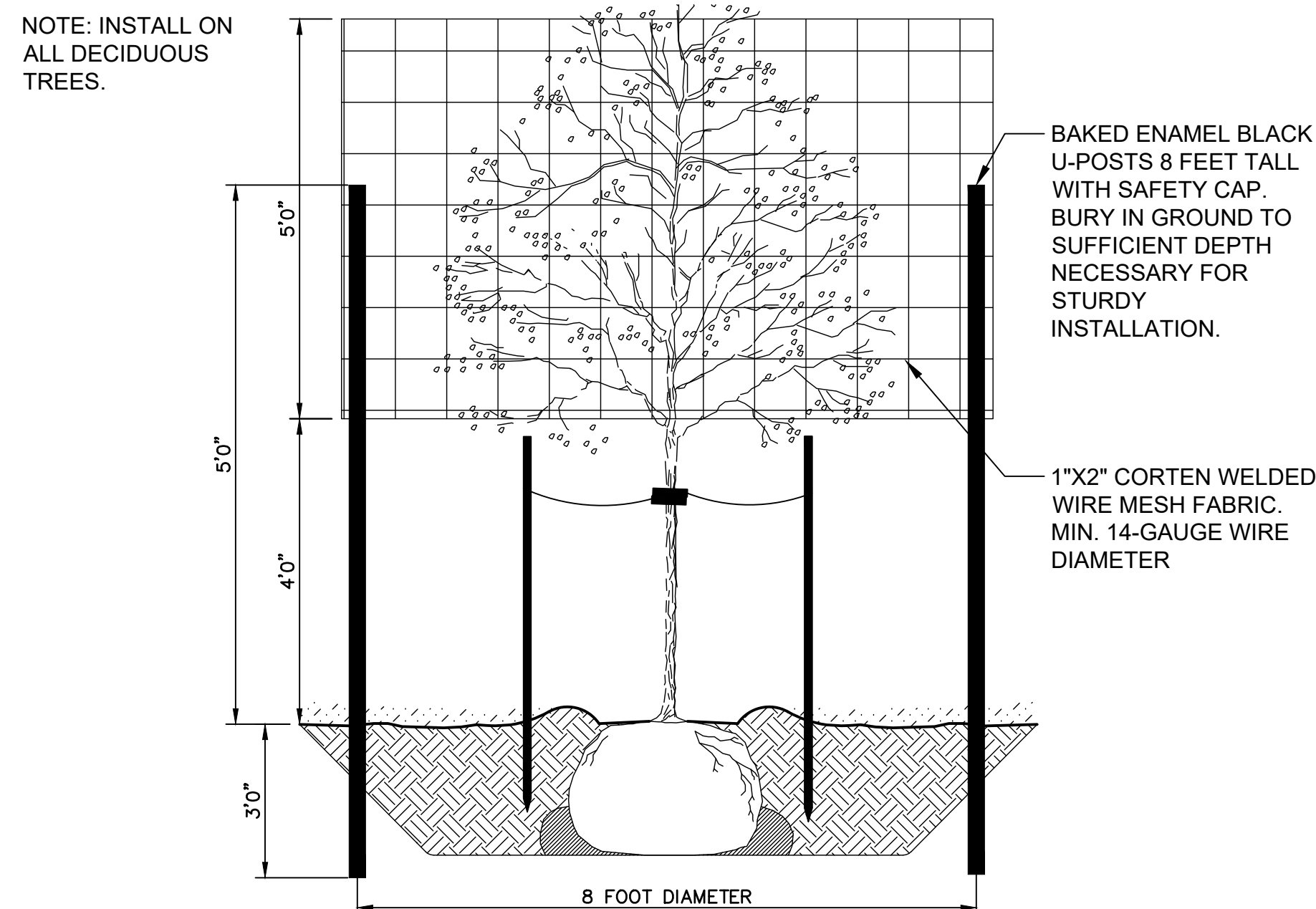
2 SHRUB PLANTING
L3.0 NTS



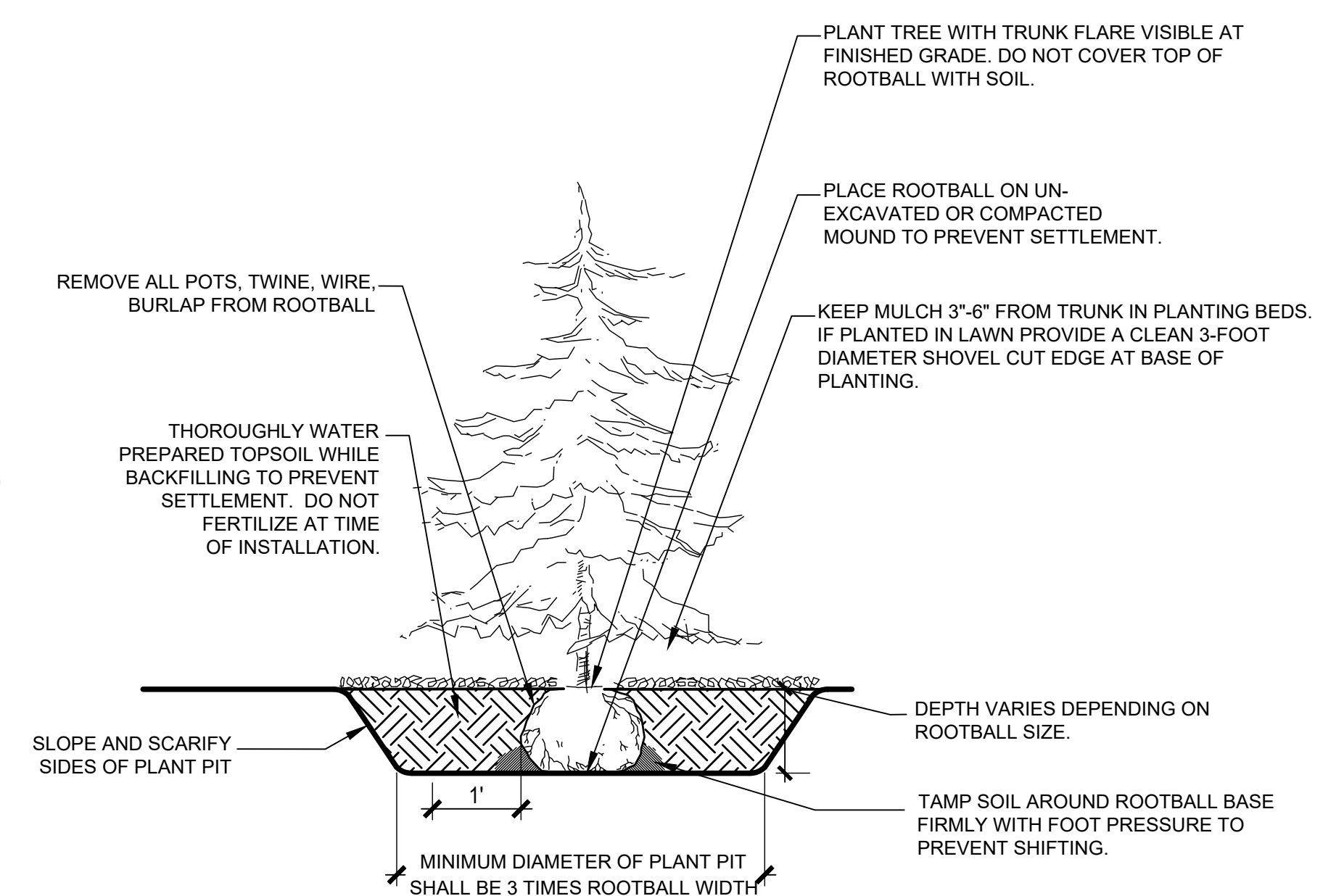
1 DECIDUOUS TREE PLANTING
L3.0 NTS



6 ALUMINUM LANDSCAPE EDGING
L3.0 NTS



4 MOOSE PROTECTION FENCE
L3.0 NTS



4 EVERGREEN TREE PLANTING
L3.0 NTS



CERTIFICATE OF AUTHORIZATION NO:
HUDDLE AK, LLC #AECL1611

sparkdesign,llc
HUDDLE
605 W 2ND AVE. ANCHORAGE, AK 99501
907-223-0136 www.HUDDLEAK.com

BREWSTER'S MULTIFAMILY HOUSING
COOK INLET HOUSING AUTHORITY
ANCHORAGE, AK

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.
DATE 3.8.2023
DRAWN JPI
REVIEWED BRK/HST

SHEET NAME
LANDSCAPE DETAILS

SHEET NO.
L3.0



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COOK INLET HOUSING AUTHORITY

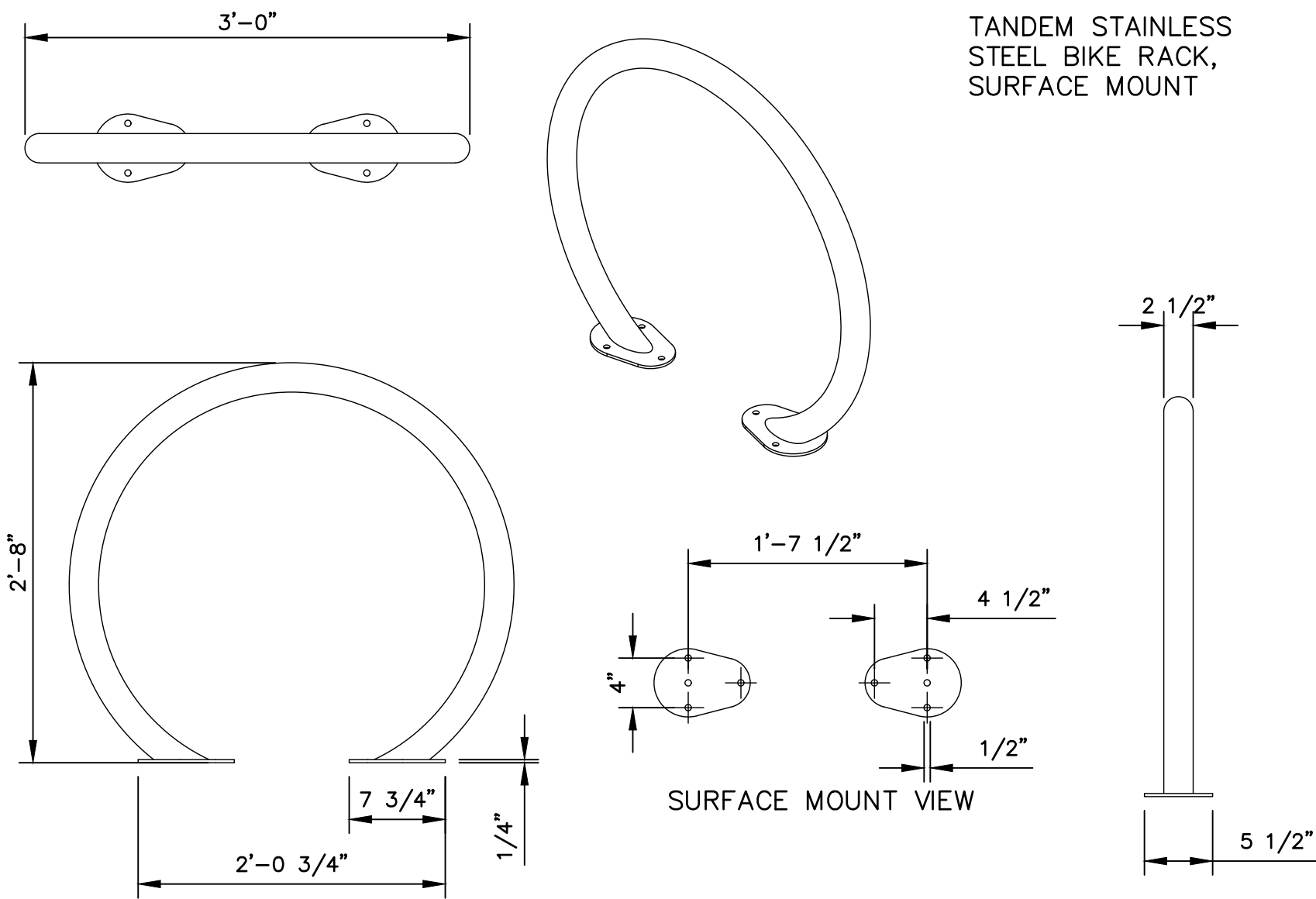
ANCHORAGE, AK

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	
DATE	3.8.2023
DRAWN	JPJ
REVIEWED	BRK/HST

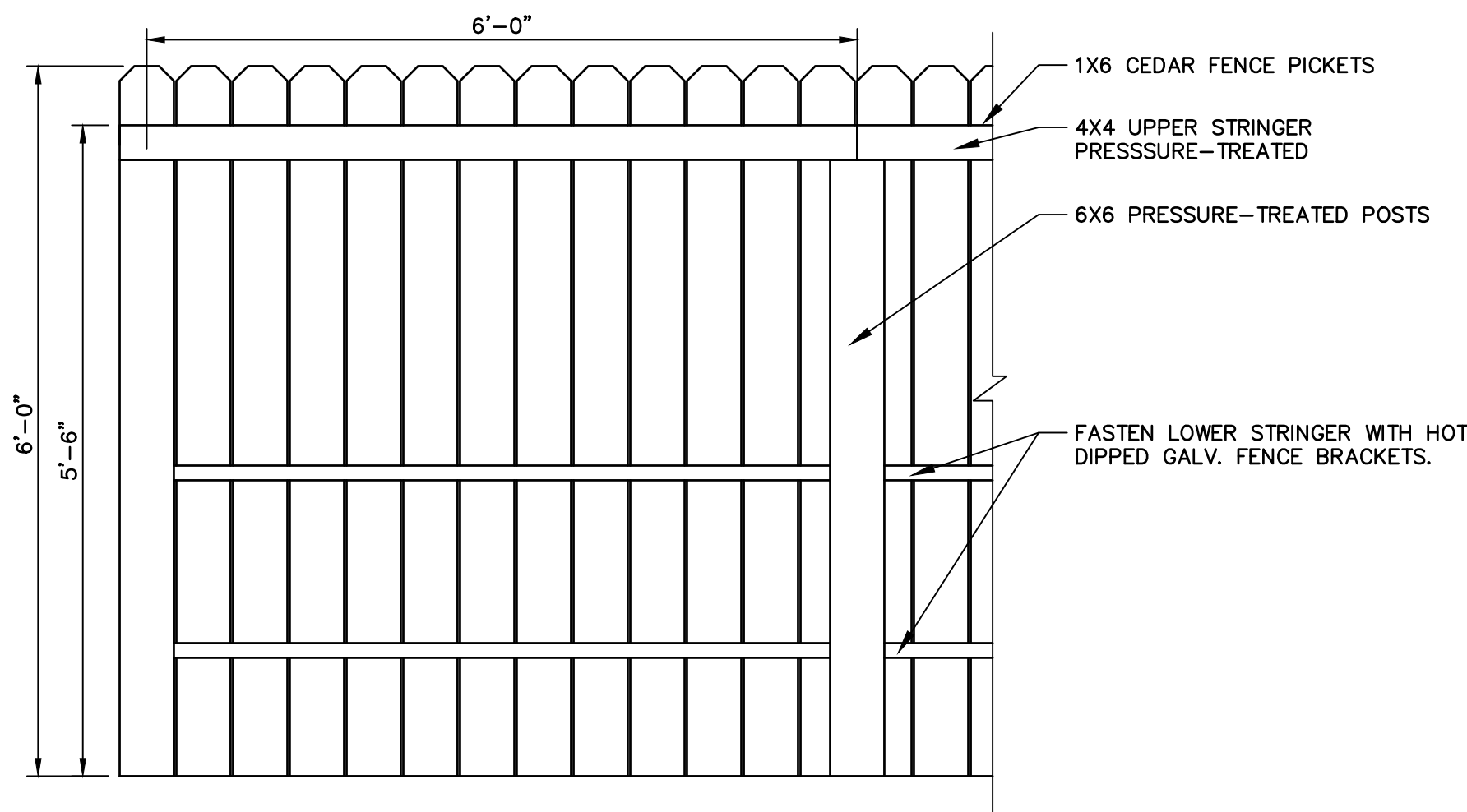
SHEET NAME	LANDSCAPE DETAILS
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SHEET NO.	L3.1
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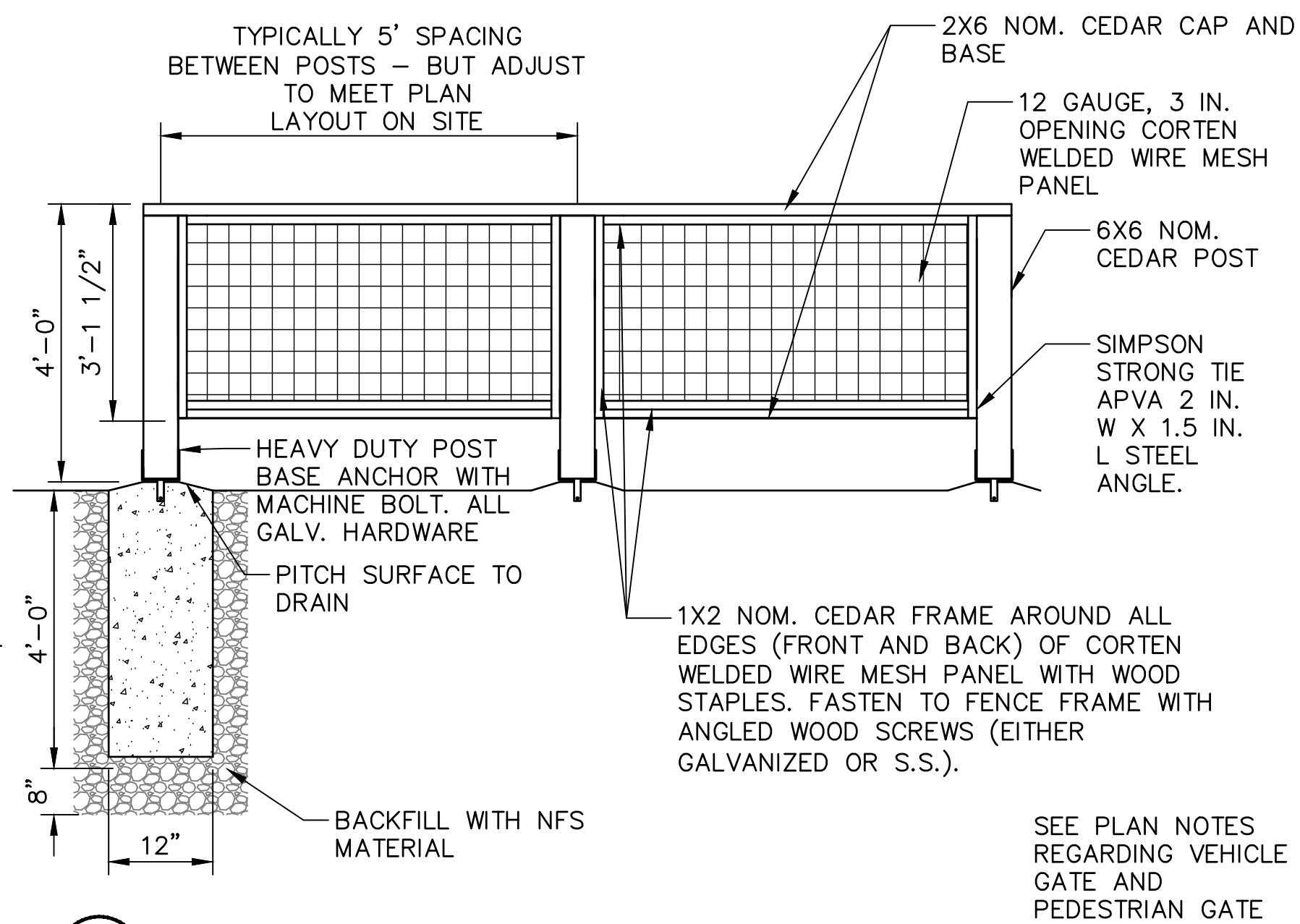
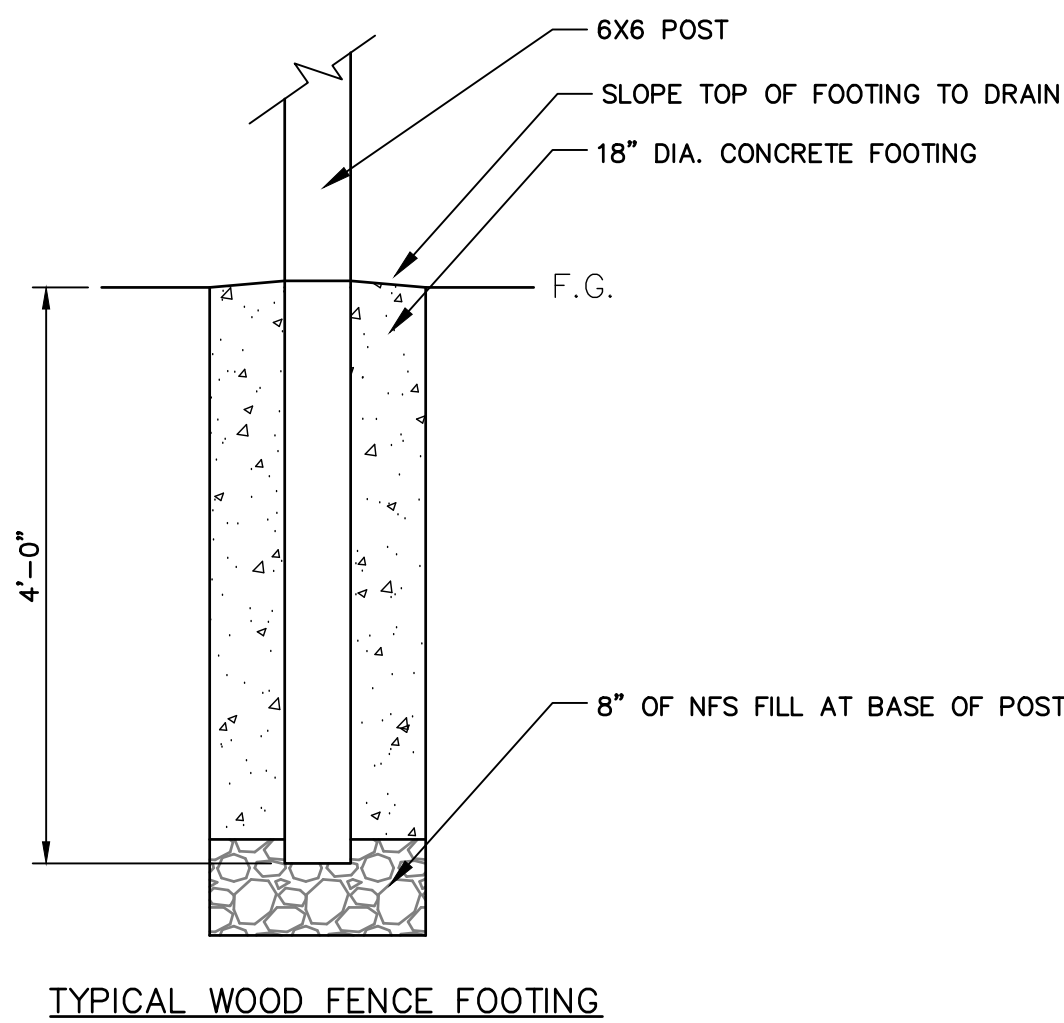


1 BIKE RACK
L3.1 1"=1'-0"

- NOTES:
1. ALL HARDWARE SHALL BE HOT DIPPED GALV OR STAINLESS STEEL.
 2. FENCE FRAME SHALL BE PRESSURE TREATED WOOD. PICKETS SHALL BE UNFINISHED CEDAR.
 3. VERIFY MATERIALS AND FINISHES WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.



3 WOOD FENCE
L3.1 3/4"=1'-0"



2 DECORATIVE FENCE
L3.1 NTS

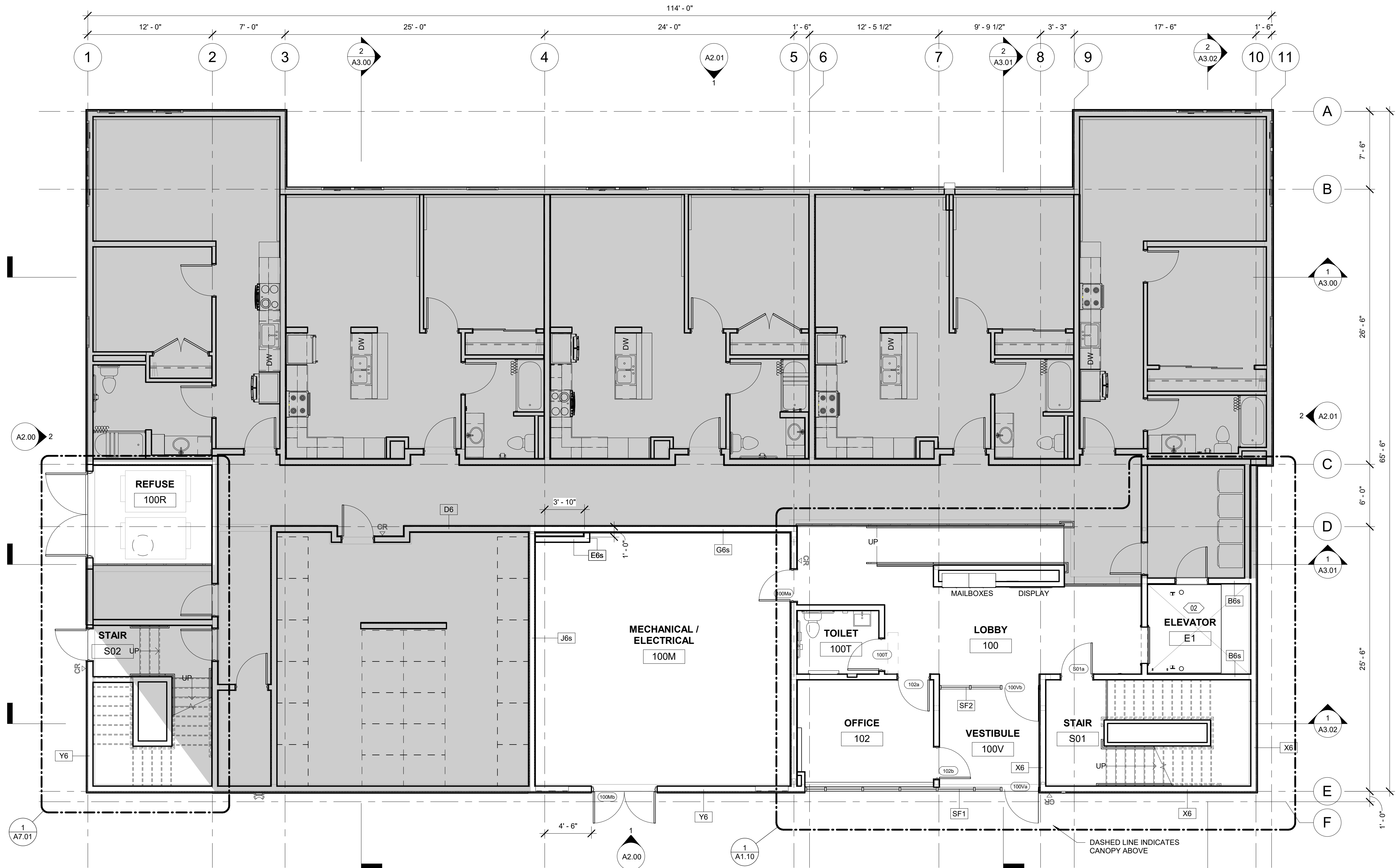
FLOOR PLAN: GENERAL NOTES

1. REFERENCE G1.01 FOR RATED WALLS AND/OR CEILINGS.
2. REFERENCE G3.00 FOR WALL ASSEMBLIES AND NOTES.
3. REFERENCE A5.00 THROUGH A5.03 FOR DOOR SCHEDULE, WINDOW TYPES AND FINISHES.
4. ALL DIMENSIONS ARE TO FACE OF STUD OR TO GRID LINE.
5. ALL DOORS SHALL BE INSTALLED 6" FROM ADJACENT FACE OF STUD, UNLESS OTHERWISE NOTED ON FLOOR PLAN OR DOOR SCHEDULE.

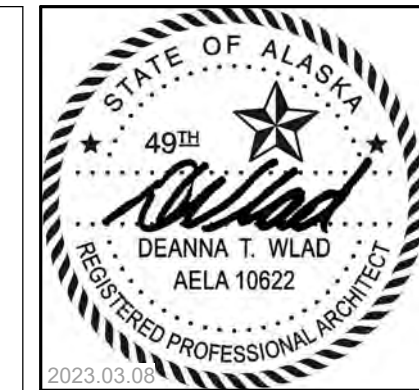
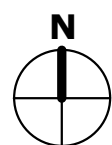
6. PROVIDE BLOCKING FOR ALL WALL MOUNTED CASEWORK, COUNTERTOPS, AND WALL MOUNTED ACCESSORIES. GENERAL CONTRACTOR SHALL COORDINATE LOCATIONS WITH SUBCONTRACTORS.
7. GENERAL CONTRACTOR SHALL COORDINATE REQUIREMENTS WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
8. ALL CLOSETS TO RECEIVE CLOSET ROD AND SHELF. REFERENCE ELEVATIONS FOR CLOSET LAYOUTS.
9. FURNITURE, FIXTURES AND EQUIPMENT NOT IN CONTRACT, UNLESS OTHERWISE NOTED.

FLOOR PLAN: SHEET NOTES

- 01 ALIGN FACE OF FINISH
- 02 ELEVATOR BASIS OF DESIGN: OTIS HYDROFIT 3510 PASSENGER ELEVATOR. ALL ELEVATOR DOORS PROVIDED BY ELEVATOR MANUFACTURER TO HAVE 1-HOUR RATING



1 LEVEL 0
3/16" = 1'-0"



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anchorage, alaska 99518
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COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN DN
REVIEWED DTW

SHEET NAME
FLOOR PLAN - LEVEL 0

SHEET NO.
A1.00

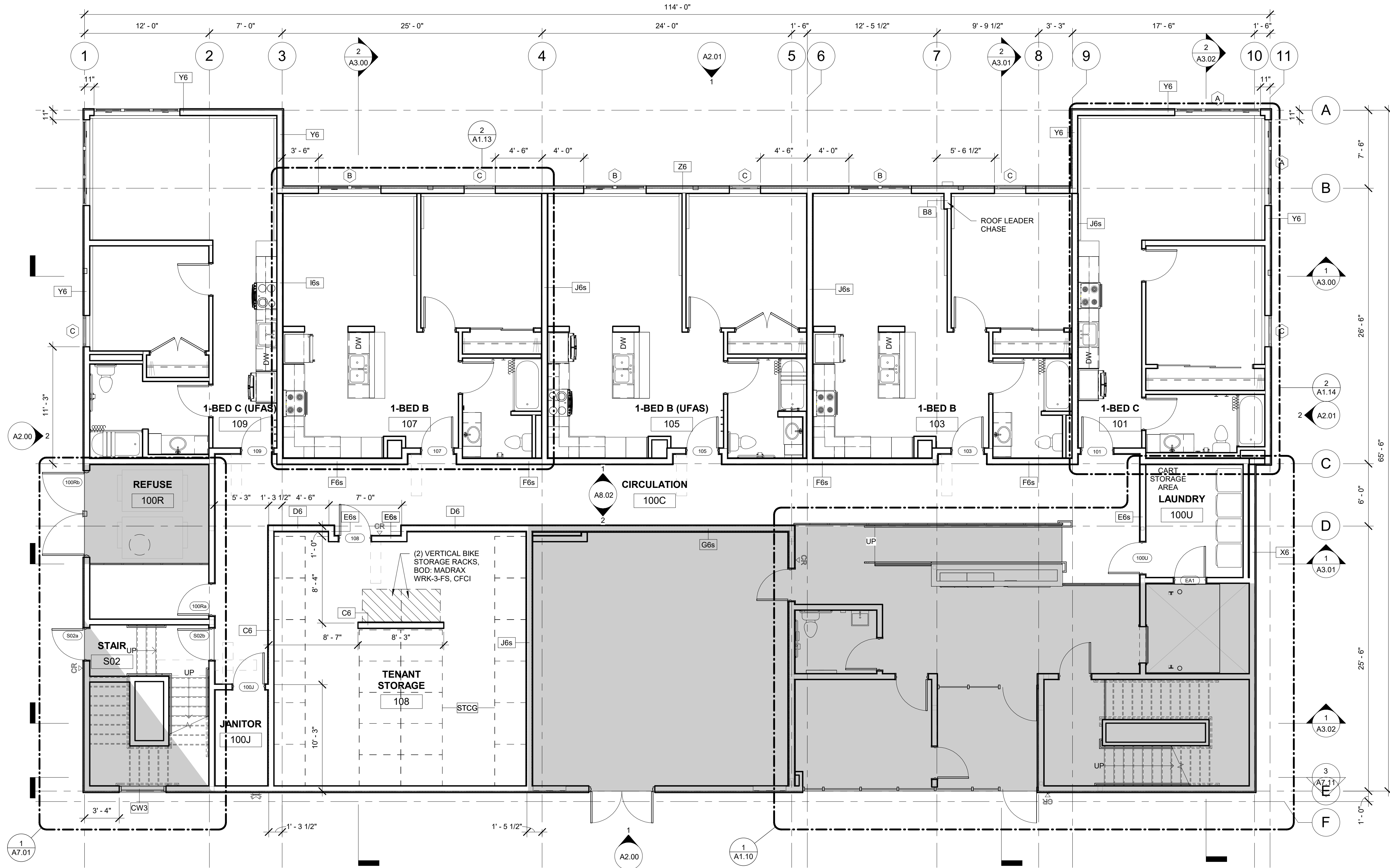
FLOOR PLAN: GENERAL NOTES

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- REFERENCE G3.00 FOR WALL ASSEMBLIES AND NOTES.
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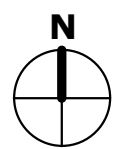
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FLOOR PLAN: SHEET NOTES

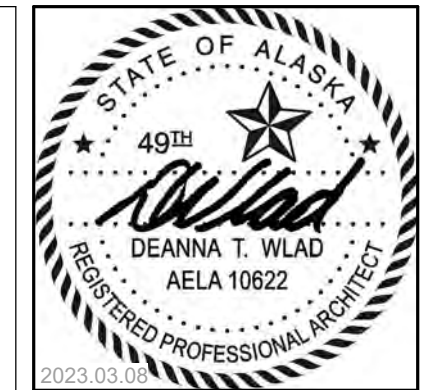
- ALIGN FACE OF FINISH
- ELEVATOR BASIS OF DESIGN: OTIS HYDROFIT 3510 PASSENGER ELEVATOR. ALL ELEVATOR DOORS PROVIDED BY ELEVATOR MANUFACTURER TO HAVE 1-HOUR RATING



1 LEVEL 1
3/16" = 1'-0"



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REVIEWED DTW

SHEET NAME
FLOOR PLAN - LEVEL 1

SHEET NO.
A1.01

HALF SCALE WHEN PRINTED AT 11x17

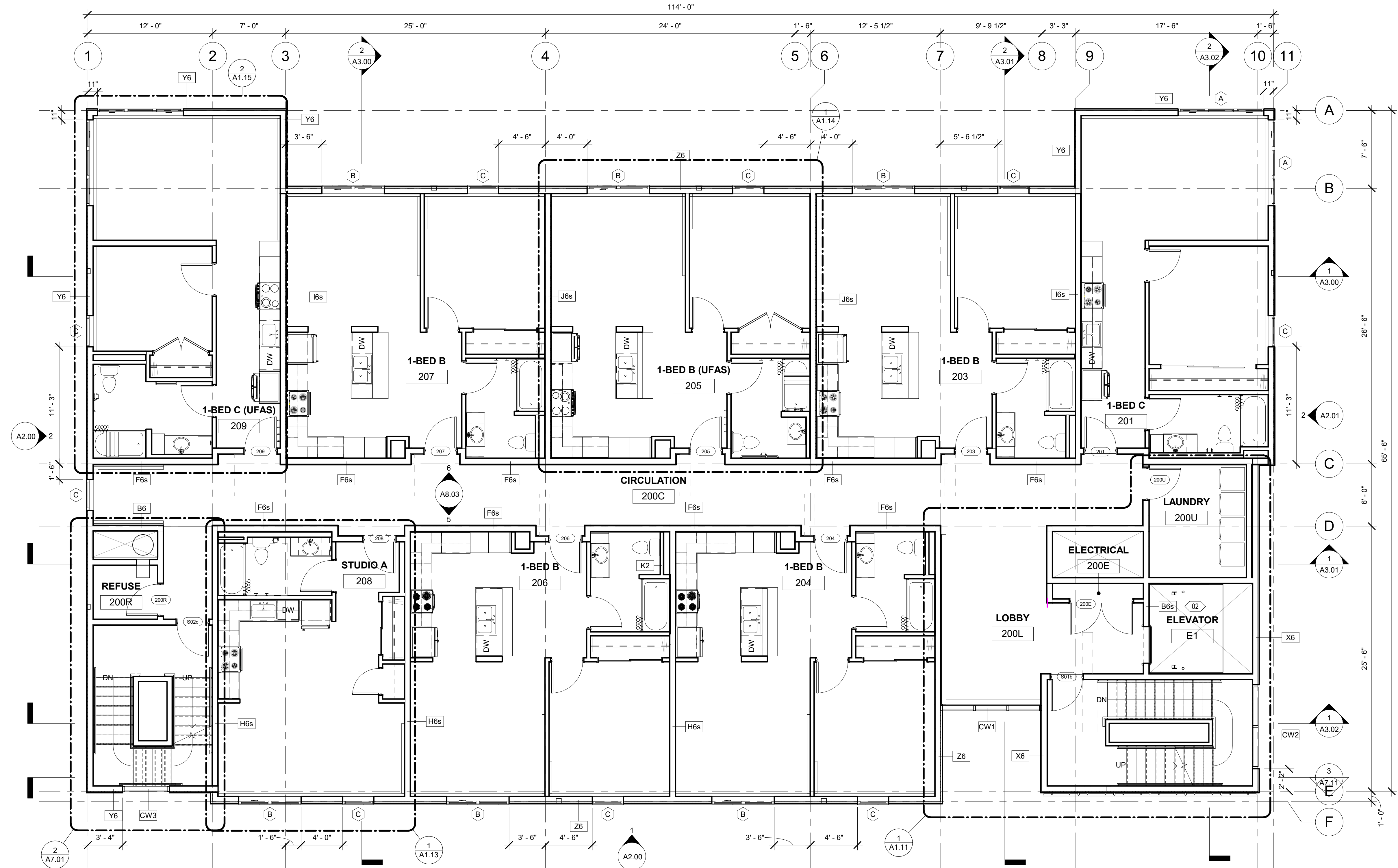
FLOOR PLAN: GENERAL NOTES

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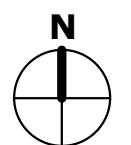
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FLOOR PLAN: SHEET NOTES

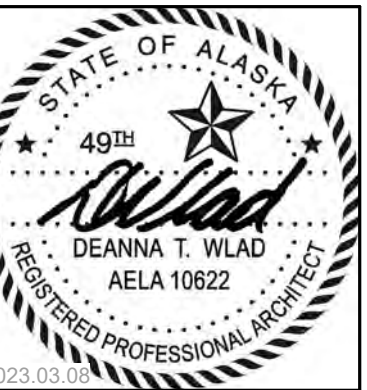
- 01 ALIGN FACE OF FINISH
- 02 ELEVATOR BASIS OF DESIGN: OTIS HYDROFIT 3510 PASSENGER ELEVATOR. ALL ELEVATOR DOORS PROVIDED BY ELEVATOR MANUFACTURER TO HAVE 1-HOUR RATING



1 LEVEL 2
3/16" = 1'-0"



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SHEET NAME
FLOOR PLAN - LEVEL 2

SHEET NO.
A1.02

HALF SCALE WHEN PRINTED AT 11x17

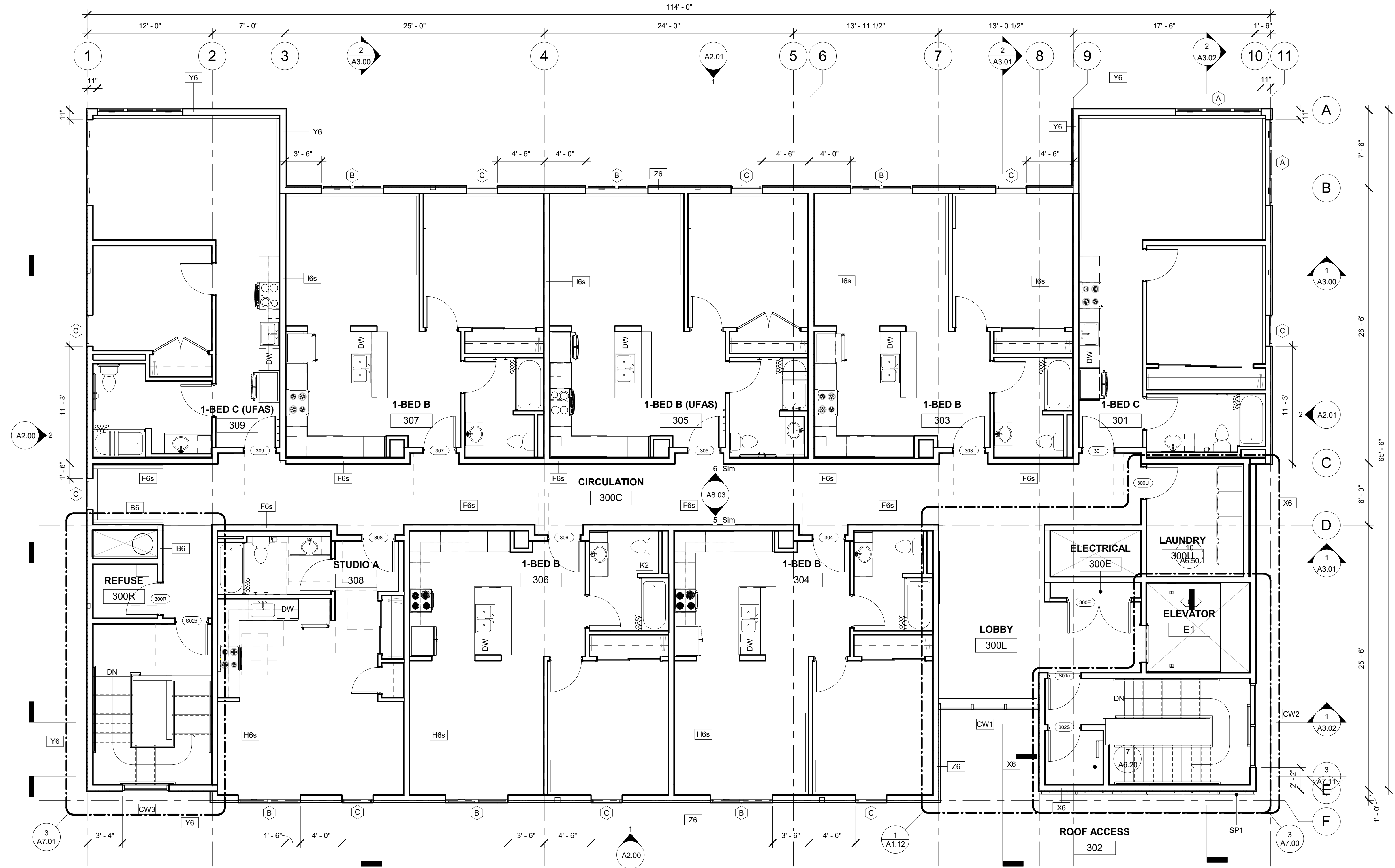
FLOOR PLAN: GENERAL NOTES

1. REFERENCE G1.01 FOR RATED WALLS AND/OR CEILINGS.
2. REFERENCE G3.00 FOR WALL ASSEMBLIES AND NOTES.
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FLOOR PLAN: SHEET NOTES

- 01 ALIGN FACE OF FINISH
- 02 ELEVATOR BASIS OF DESIGN: OTIS HYDROFIT 3510 PASSENGER ELEVATOR. ALL ELEVATOR DOORS PROVIDED BY ELEVATOR MANUFACTURER TO HAVE 1-HOUR RATING



1 LEVEL 3
3/16" = 1'-0"



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REVIEWED DTW

SHEET NAME
FLOOR PLAN - LEVEL 3

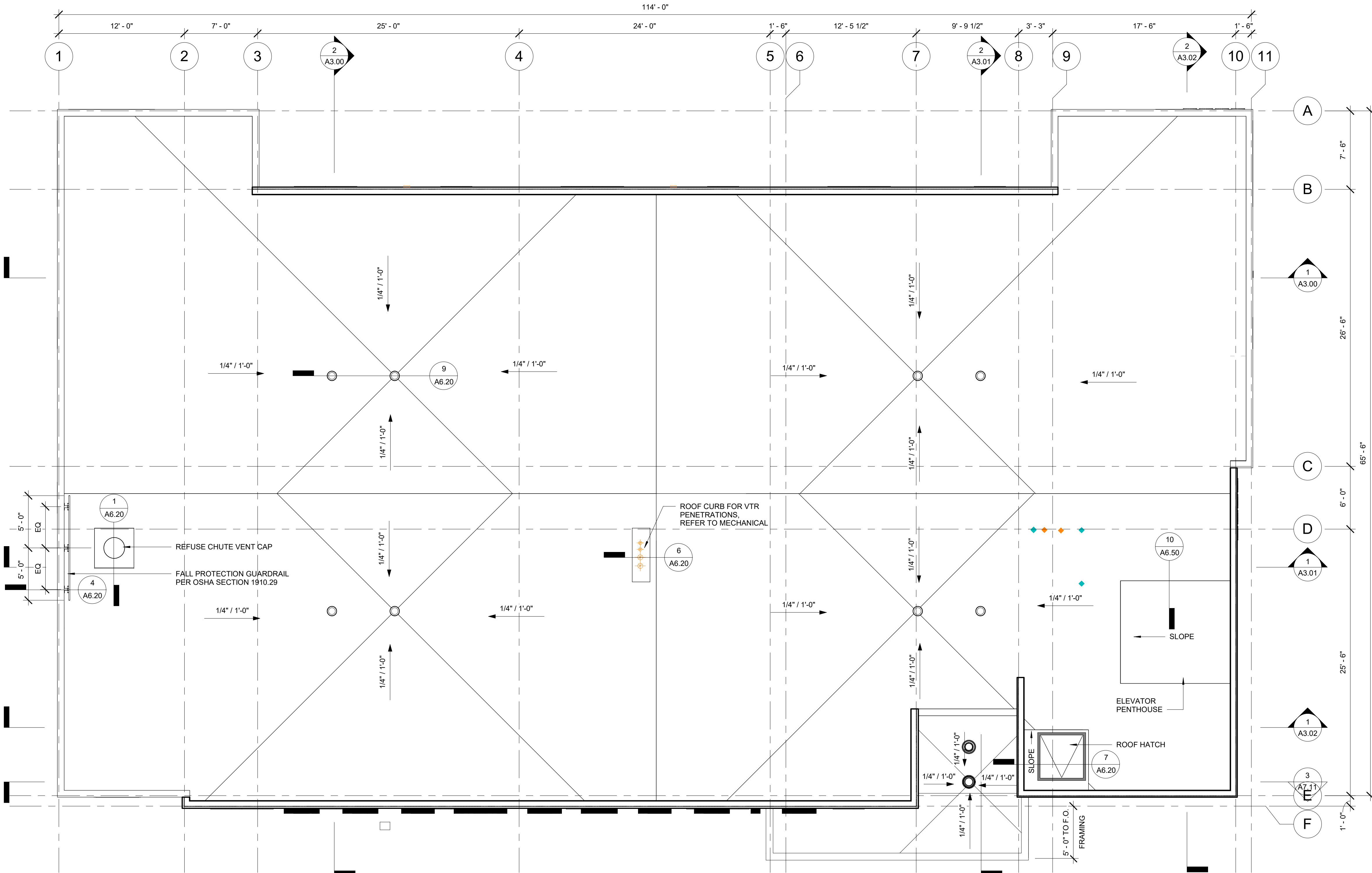
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ROOF PLAN: GENERAL NOTES

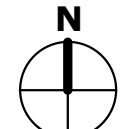
- ALL ROOFS SHALL SLOPE AT 1/4" PER FOOT MINIMUM UNLESS OTHERWISE NOTED.
- PROVIDE CRICKETS AT ROOF MOUNTED MECHANICAL EQUIPMENT AND ROOF HATCH WHERE NECESSARY. SLOPE AT 1/4" PER FOOT MINIMUM TOWARD ROOF DRAINS.
- ROOF MOUNTED EQUIPMENT SHALL BE LOCATED A MINIMUM OF 10'-0" FROM ALL ROOF EDGES, WHERE FEASIBLE. INSTALL OSHA REQUIRED FALL PROTECTION EQUIPMENT AS NEEDED.
- REFER TO MECHANICAL DRAWINGS FOR LOCATIONS OF ROOF DRAINS AND OVERFLOW DRAINS.
- REFER TO BUILDING ELEVATIONS AND SECTION FOR PARAPET HEIGHTS.

ROOF PLAN: GENERAL NOTES

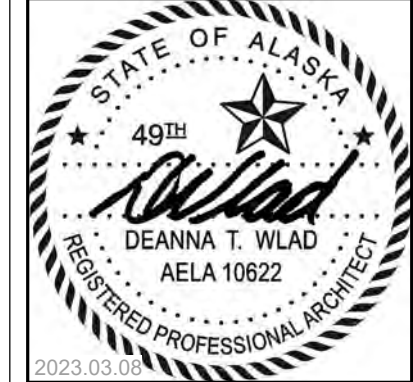
- ROOF DRAIN
- OVERFLOW DRAIN



1 ROOF
3/16" = 1'-0"



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SHEET NAME
ROOF PLAN

SHEET NO.
A1.04

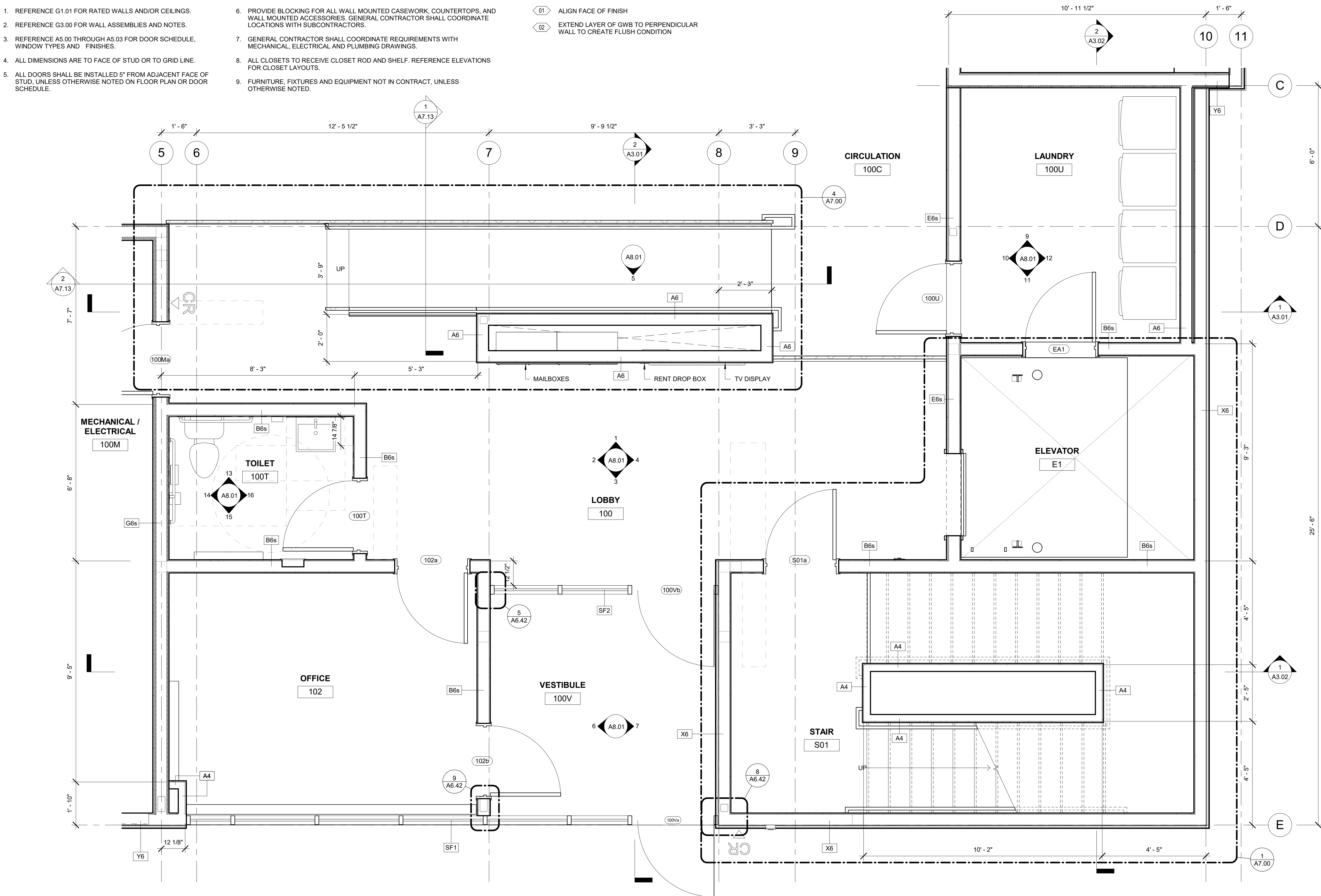
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ENLARGED FLOOR PLAN: GENERAL NOTES

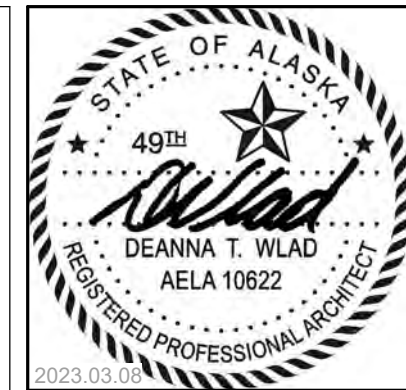
1. REFERENCE G1.01 FOR RATED WALLS AND/OR CEILINGS.
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3. REFERENCE A5.00 THROUGH A5.03 FOR DOOR SCHEDULE, WINDOW TYPES AND FINISHES.
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9. FURNITURE, FIXTURES AND EQUIPMENT NOT IN CONTRACT, UNLESS OTHERWISE NOTED.

ENLARGED FLOOR PLAN: SHEET NOTES

- 01 ALIGN FACE OF FINISH
- 02 EXTEND LAYER OF GWB TO PERPENDICULAR WALL TO CREATE FLUSH CONDITION



1 ENLARGED FLOOR PLAN - ENTRY
1/2" = 1'-0"



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SHEET NAME
ENLARGED PLANS

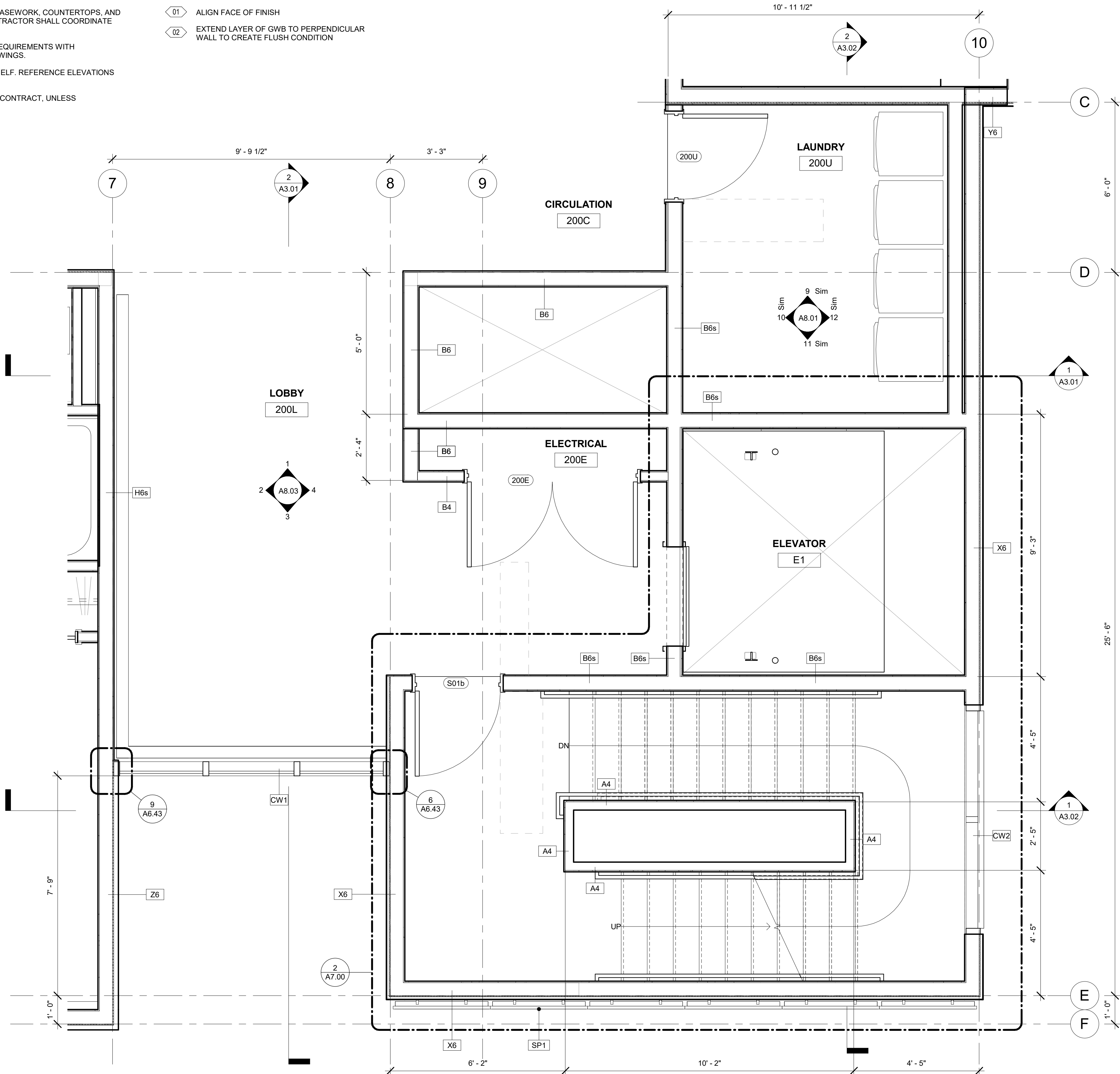
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ENLARGED FLOOR PLAN: SHEET NOTES

- 01 ALIGN FACE OF FINISH
- 02 EXTEND LAYER OF GWB TO PERPENDICULAR WALL TO CREATE FLUSH CONDITION



1 ENLARGED FLOOR PLAN - LEVEL 2 LOBBY
1/2" = 1'-0"



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SHEET NAME
ENLARGED PLANS

SHEET NO.
A1.11

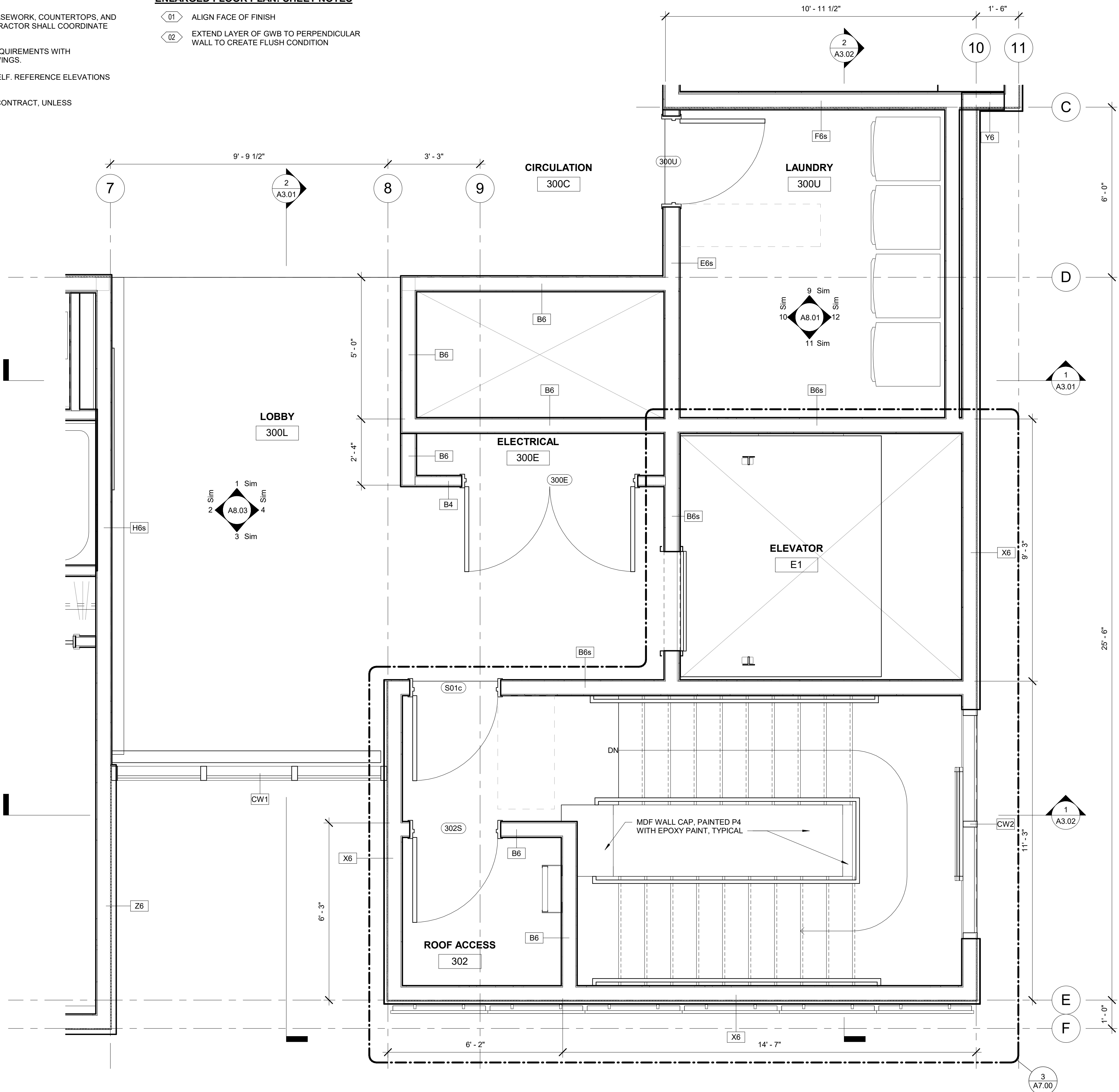
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ENLARGED FLOOR PLAN: SHEET NOTES

- 01 ALIGN FACE OF FINISH
- 02 EXTEND LAYER OF GWB TO PERPENDICULAR WALL TO CREATE FLUSH CONDITION



1 ENLARGED FLOOR PLAN - LEVEL 3 LOBBY
1/2" = 1'-0"



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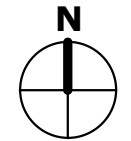
COOK INLET HOUSING AUTHORITY
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SHEET NAME
ENLARGED PLANS

SHEET NO.
A1.12

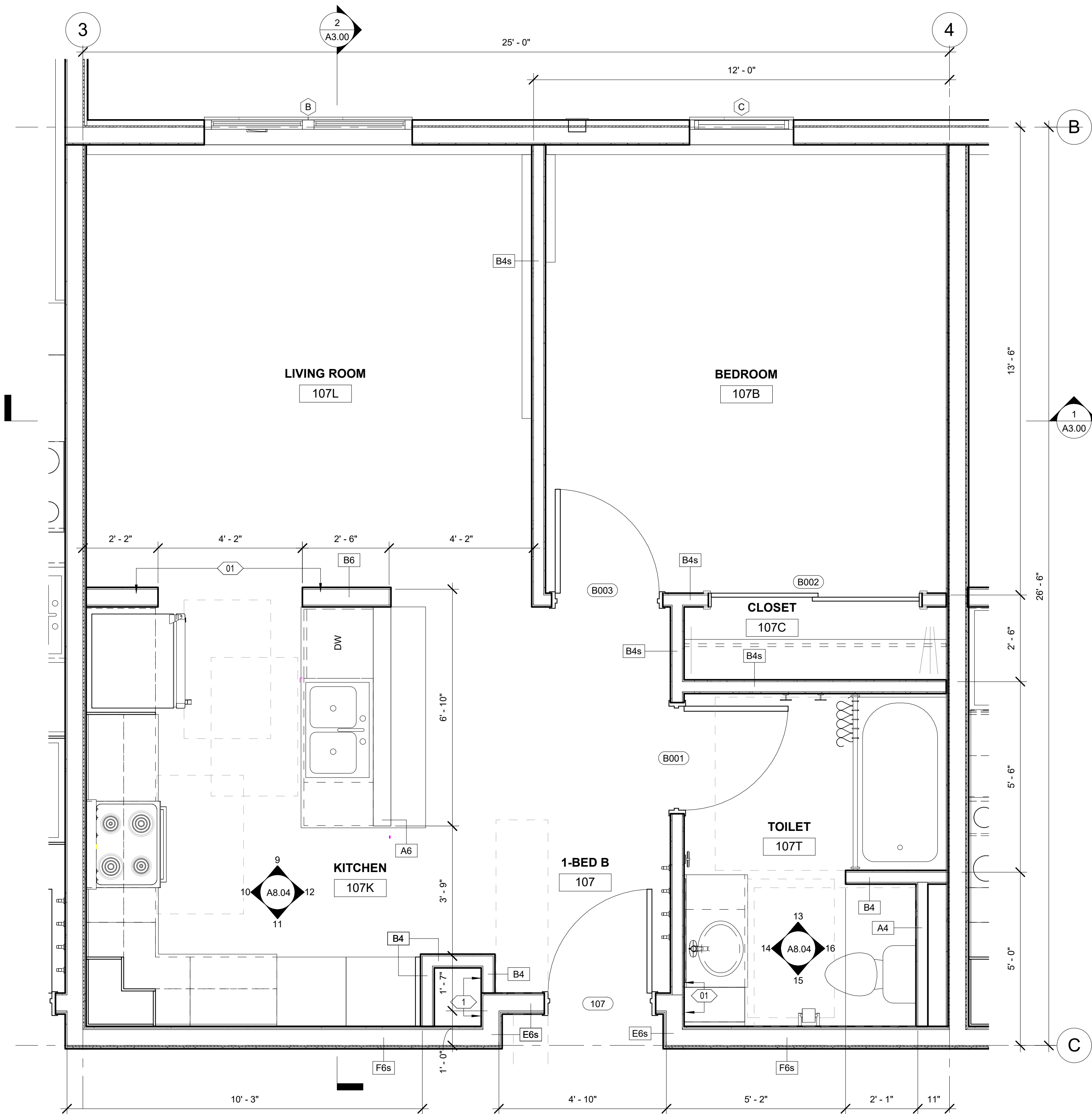


ENLARGED FLOOR PLAN: GENERAL NOTES

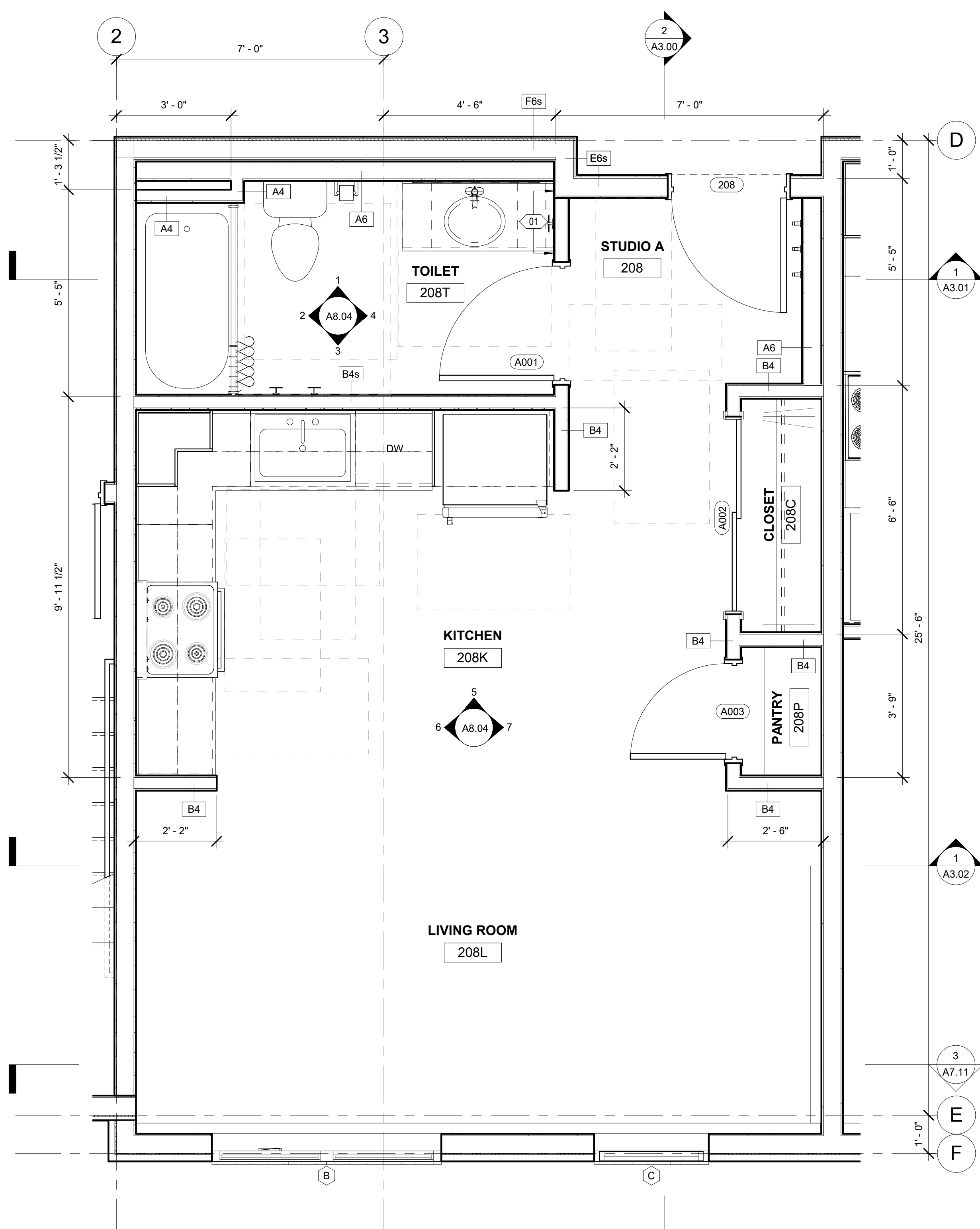
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ENLARGED FLOOR PLAN: SHEET NOTES

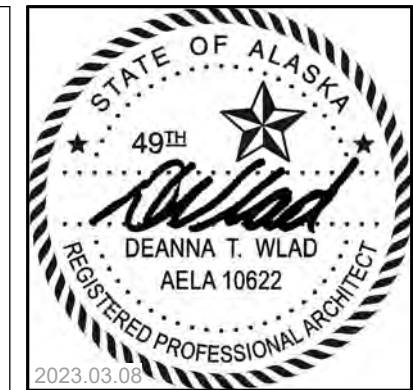
- 01 ALIGN FACE OF FINISH
- 02 EXTEND LAYER OF GWB TO PERPENDICULAR WALL TO CREATE FLUSH CONDITION



2 ENLARGED FLOOR PLAN - 1-BED B TYPICAL
1/2" = 1'-0"



1 ENLARGED FLOOR PLAN - STUDIO A TYPICAL
1/2" = 1'-0"



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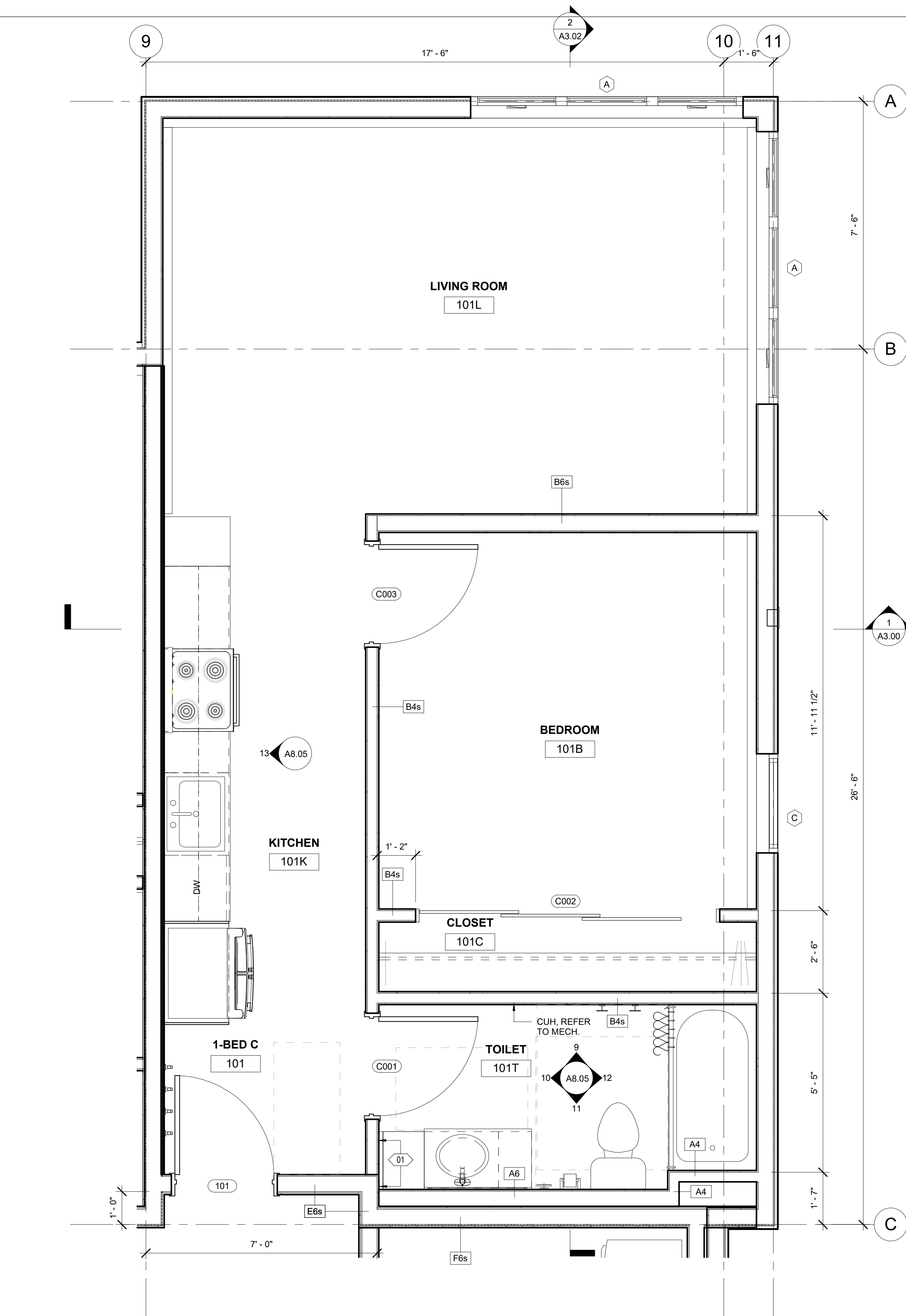
COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN DN
REVIEWED DTW

SHEET NAME
ENLARGED PLANS

SHEET NO.
A1.13



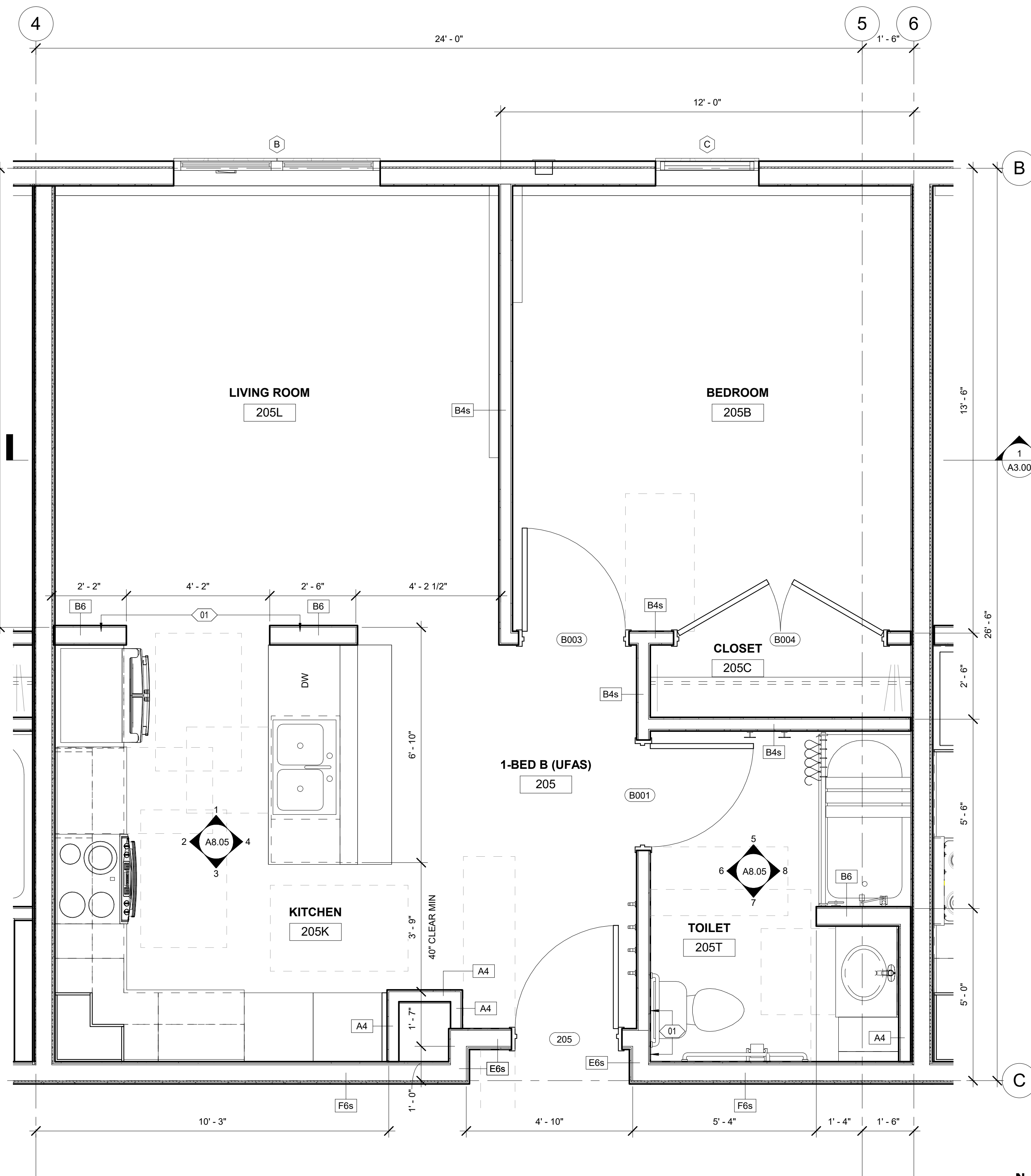
2 ENLARGED FLOOR PLAN - 1-BED C TYPICAL
1/2" = 1'-0"

ENLARGED FLOOR PLAN: GENERAL NOTES

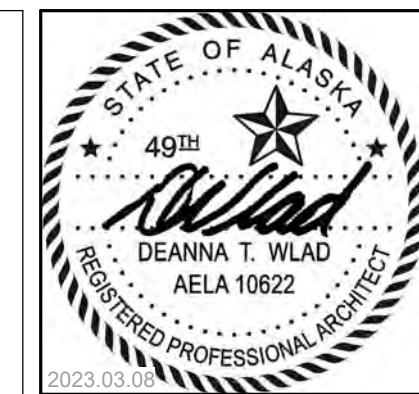
1. REFERENCE G1.01 FOR RATED WALLS AND/OR CEILINGS.
2. REFERENCE G3.00 FOR WALL ASSEMBLIES AND NOTES.
3. REFERENCE A5.00 THROUGH A5.03 FOR DOOR SCHEDULE, WINDOW TYPES AND FINISHES.
4. ALL DIMENSIONS ARE TO FACE OF STUD OR TO GRID LINE.
5. ALL DOORS SHALL BE INSTALLED 5" FROM ADJACENT FACE OF STUD, UNLESS OTHERWISE NOTED ON FLOOR PLAN OR DOOR SCHEDULE.
6. PROVIDE BLOCKING FOR ALL WALL MOUNTED CASEWORK, COUNTERTOPS, AND WALL MOUNTED ACCESSORIES. GENERAL CONTRACTOR SHALL COORDINATE LOCATIONS WITH SUBCONTRACTORS.
7. GENERAL CONTRACTOR SHALL COORDINATE REQUIREMENTS WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
8. ALL CLOSETS TO RECEIVE CLOSET ROD AND SHELF. REFERENCE ELEVATIONS FOR CLOSET LAYOUTS.
9. FURNITURE, FIXTURES AND EQUIPMENT NOT IN CONTRACT, UNLESS OTHERWISE NOTED.

ENLARGED FLOOR PLAN: SHEET NOTES

- 01 ALIGN FACE OF FINISH
- 02 EXTEND LAYER OF GWB TO PERPENDICULAR WALL TO CREATE FLUSH CONDITION



1 ENLARGED FLOOR PLAN - 1-BED B (UFAS) TYPICAL
1/2" = 1'-0"



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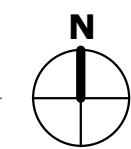
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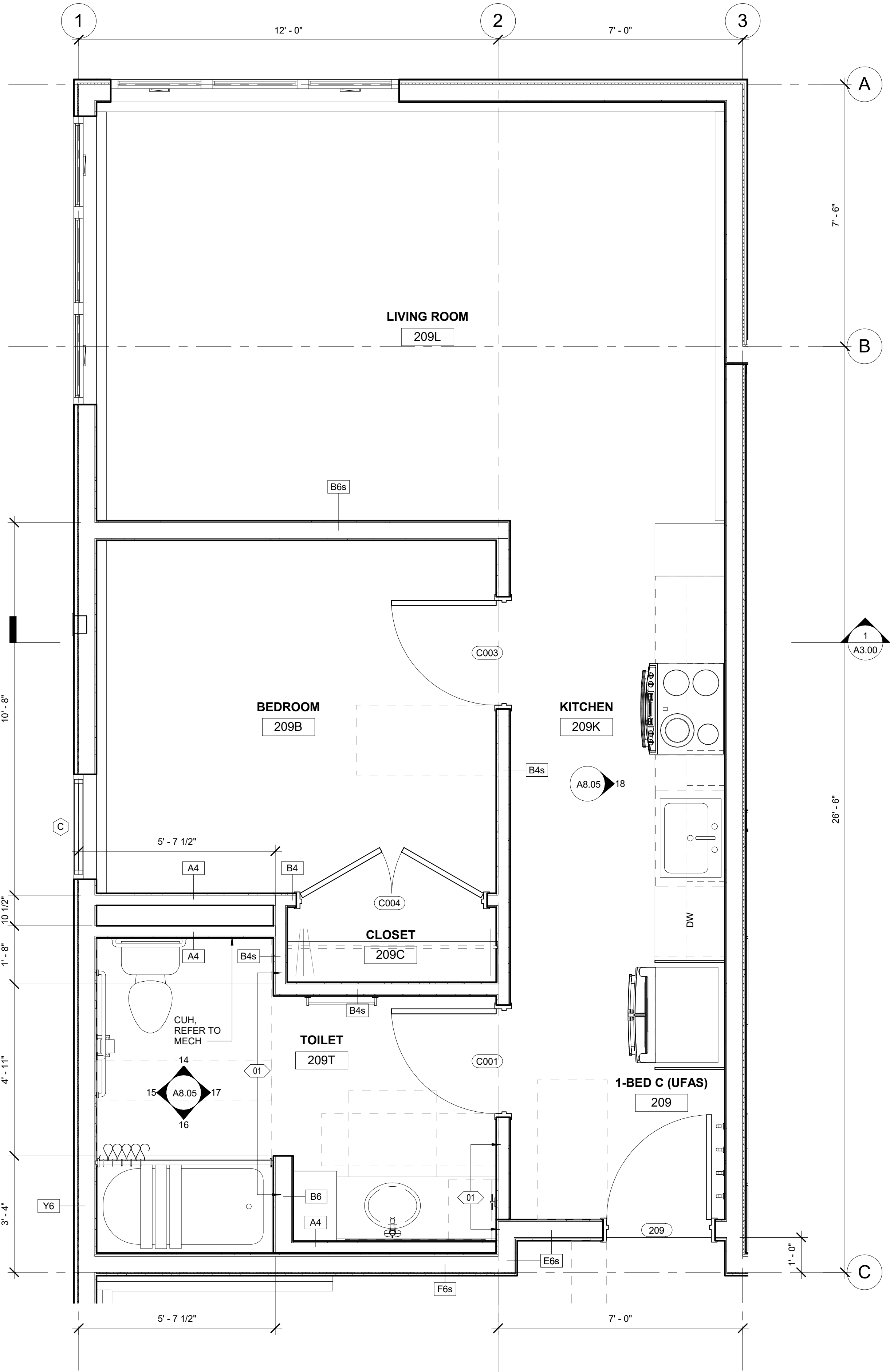
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SHEET NAME
ENLARGED PLANS

SHEET NO.
A1.14





ENLARGED FLOOR PLAN: GENERAL NOTES

1. REFERENCE G1.01 FOR RATED WALLS AND/OR CEILINGS.
2. REFERENCE G3.00 FOR WALL ASSEMBLIES AND NOTES.
3. REFERENCE A5.00 THROUGH A5.03 FOR DOOR SCHEDULE, WINDOW TYPES AND FINISHES.
4. ALL DIMENSIONS ARE TO FACE OF STUD OR TO GRID LINE.
5. ALL DOORS SHALL BE INSTALLED 5" FROM ADJACENT FACE OF STUD, UNLESS OTHERWISE NOTED ON FLOOR PLAN OR DOOR SCHEDULE.
6. PROVIDE BLOCKING FOR ALL WALL MOUNTED CASEWORK, COUNTERTOPS, AND WALL MOUNTED ACCESSORIES. GENERAL CONTRACTOR SHALL COORDINATE LOCATIONS WITH SUBCONTRACTORS.
7. GENERAL CONTRACTOR SHALL COORDINATE REQUIREMENTS WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
8. ALL CLOSETS TO RECEIVE CLOSET ROD AND SHELF. REFERENCE ELEVATIONS FOR CLOSET LAYOUTS.
9. FURNITURE, FIXTURES AND EQUIPMENT NOT IN CONTRACT, UNLESS OTHERWISE NOTED.

ENLARGED FLOOR PLAN: SHEET NOTES

- 01 ALIGN FACE OF FINISH
- 02 EXTEND LAYER OF GWB TO PERPENDICULAR WALL TO CREATE FLUSH CONDITION



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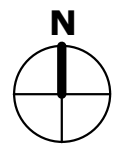
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SHEET NO.
A1.15



REFLECTED CEILING PLAN: GENERAL NOTES

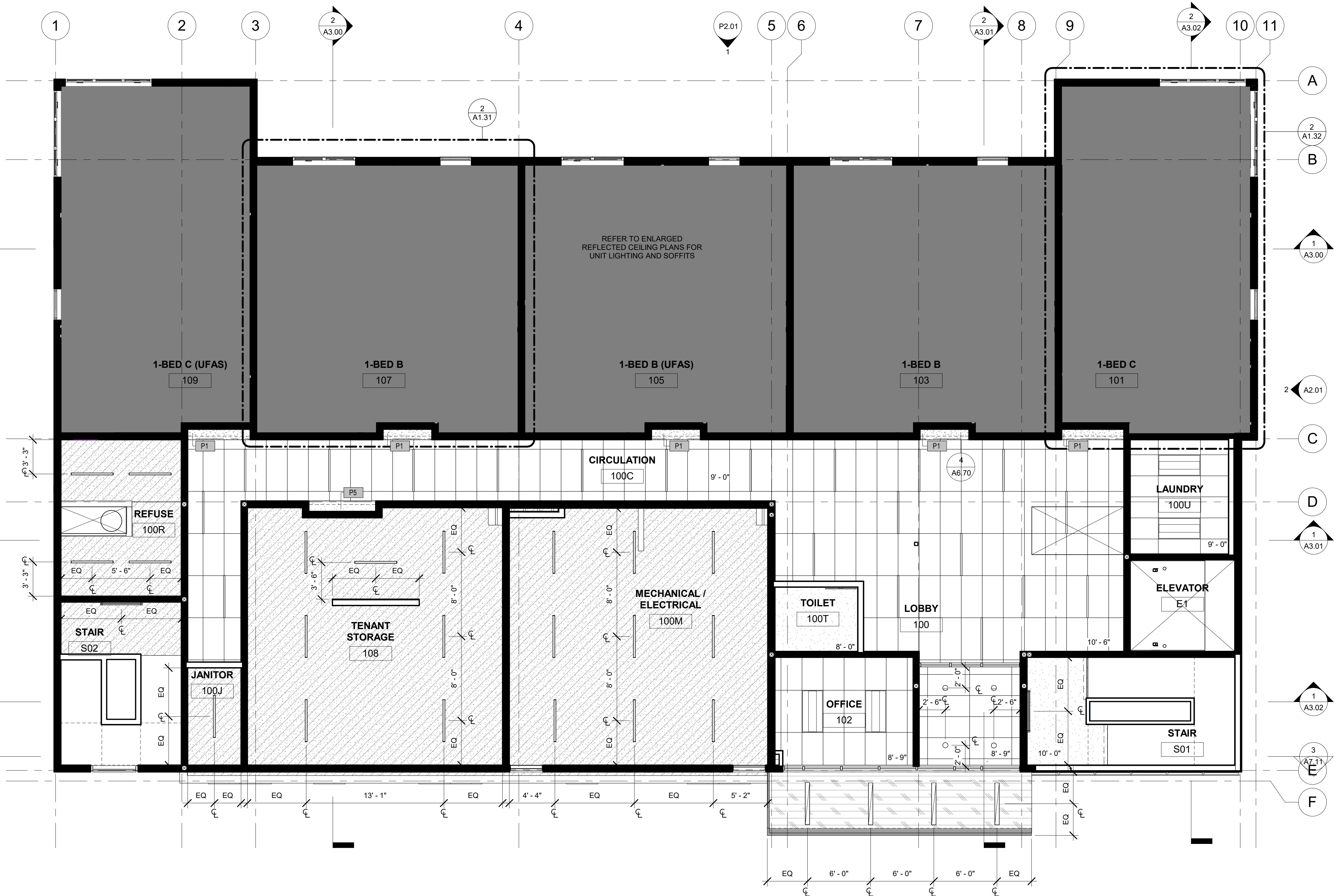
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- ALL CEILING MOUNTED ITEMS LOCATED IN A GWB CEILING SHALL BE PAINTED TO MATCH CEILING PAINT COLOR.
- REFERENCE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR CEILING MOUNTED DEVICES, LIGHT FIXTURES, AND DIFFUSERS/FANS.
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- CENTER VANITY LIGHT OVER MIRROR, UNO.

REFLECTED CEILING PLAN: LEGEND

- | | | | |
|---------|---|----|--|
| | NEW PARTITION, EXTEND GWB ABOVE CEILING 6" MINIMUM | | GYP CEILING/SOFFIT, PAINT P7 IN UNITS AND PAINT P4 IN COMMON AREAS, UNO. |
| | WALL ASSEMBLY TO EXTEND TO UNDERSIDE OF FLOOR SHEATHING IN RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY | | GYP CEILING AT UNDERSIDE OF STRUCTURE |
| | WALL ASSEMBLY TO EXTEND TO UNDERSIDE OF RATED FLOOR/CEILING ASSEMBLY | | ACT1 |
| X' - X" | CEILING HEIGHT | PX | CEILING/SOFFIT PAINT COLOR, REFERENCE A5.03 FOR PAINT SELECTION |

REFLECTED CEILING PLAN: SHEET NOTES

01 ALIGN FACE OF FINISH



1 REFLECTED CEILING PLAN - LEVEL 1
3/16" = 1'-0"



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SHEET NAME
REFLECTED CEILING PLAN -
LEVEL 1

SHEET NO.
A1.21

REFLECTED CEILING PLAN: GENERAL NOTES

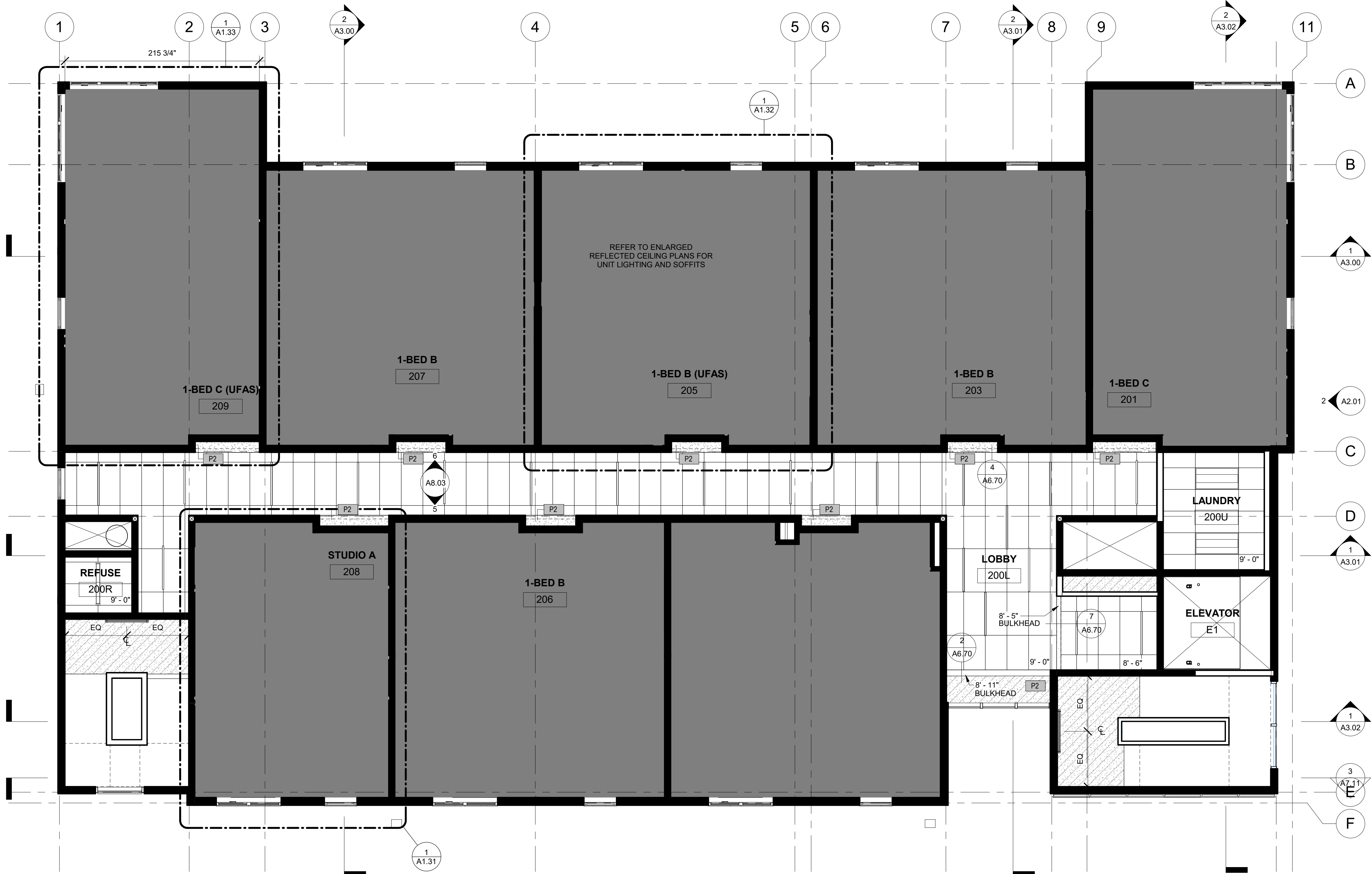
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- CENTER VANITY LIGHT OVER MIRROR, UNO.

REFLECTED CEILING PLAN: LEGEND

- | | | | |
|---------|---|----|--|
| | NEW PARTITION, EXTEND GWB ABOVE CEILING 6" MINIMUM | | GYP CEILING/SOFFIT, PAINT P7 IN UNITS AND PAINT P4 IN COMMON AREAS, UNO. |
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| | WALL ASSEMBLY TO EXTEND TO UNDERSIDE OF RATED FLOOR/CEILING ASSEMBLY | | ACT1 |
| X' - X' | CEILING HEIGHT | PX | CEILING/SOFFIT PAINT COLOR, REFERENCE A5.03 FOR PAINT SELECTION |

REFLECTED CEILING PLAN: SHEET NOTES

01 ALIGN FACE OF FINISH



1 REFLECTED CEILING PLAN - LEVEL 2
3/16" = 1'-0"



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SHEET NAME
REFLECTED CEILING PLAN -
LEVEL 2

SHEET NO.
A1.22

REFLECTED CEILING PLAN: GENERAL NOTES

- DIMENSIONS ON REFLECTED CEILING PLANS ARE FROM FACE-OF-FINISH TO FACE-OF-FINISH, UNLESS OTHERWISE NOTED.
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- CENTER VANITY LIGHT OVER MIRROR, UNO.

REFLECTED CEILING PLAN: LEGEND

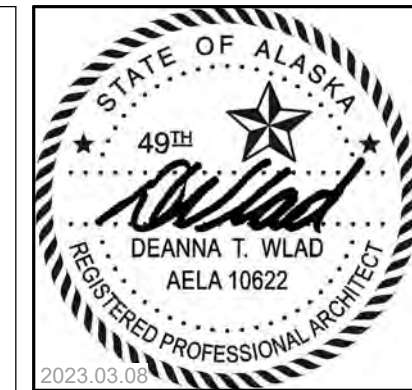
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|---------|---|----|--|
| | NEW PARTITION, EXTEND GWB ABOVE CEILING 6" MINIMUM | | GYP CEILING/SOFFIT, PAINT P7 IN UNITS AND PAINT P4 IN COMMON AREAS, UNO. |
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| | WALL ASSEMBLY TO EXTEND TO UNDERSIDE OF RATED FLOOR/CEILING ASSEMBLY | | ACT1 |
| X' - X" | CEILING HEIGHT | PX | CEILING/SOFFIT PAINT COLOR, REFERENCE A5.03 FOR PAINT SELECTION |

REFLECTED CEILING PLAN: SHEET NOTES

01 ALIGN FACE OF FINISH



1 REFLECTED CEILING PLAN - LEVEL 3
3/16" = 1'-0"



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SHEET NAME
REFLECTED CEILING PLAN -
LEVEL 3

SHEET NO.
A1.23

REFLECTED CEILING PLAN: GENERAL NOTES

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- CENTER VANITY LIGHT OVER MIRROR, UNO.

REFLECTED CEILING PLAN: LEGEND

- NEW PARTITION, EXTEND GWB ABOVE CEILING 6" MINIMUM

WALL ASSEMBLY TO EXTEND TO UNDERSIDE OF FLOOR SHEATHING IN RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY

WALL ASSEMBLY TO EXTEND TO UNDERSIDE OF RATED FLOOR/CEILING ASSEMBLY

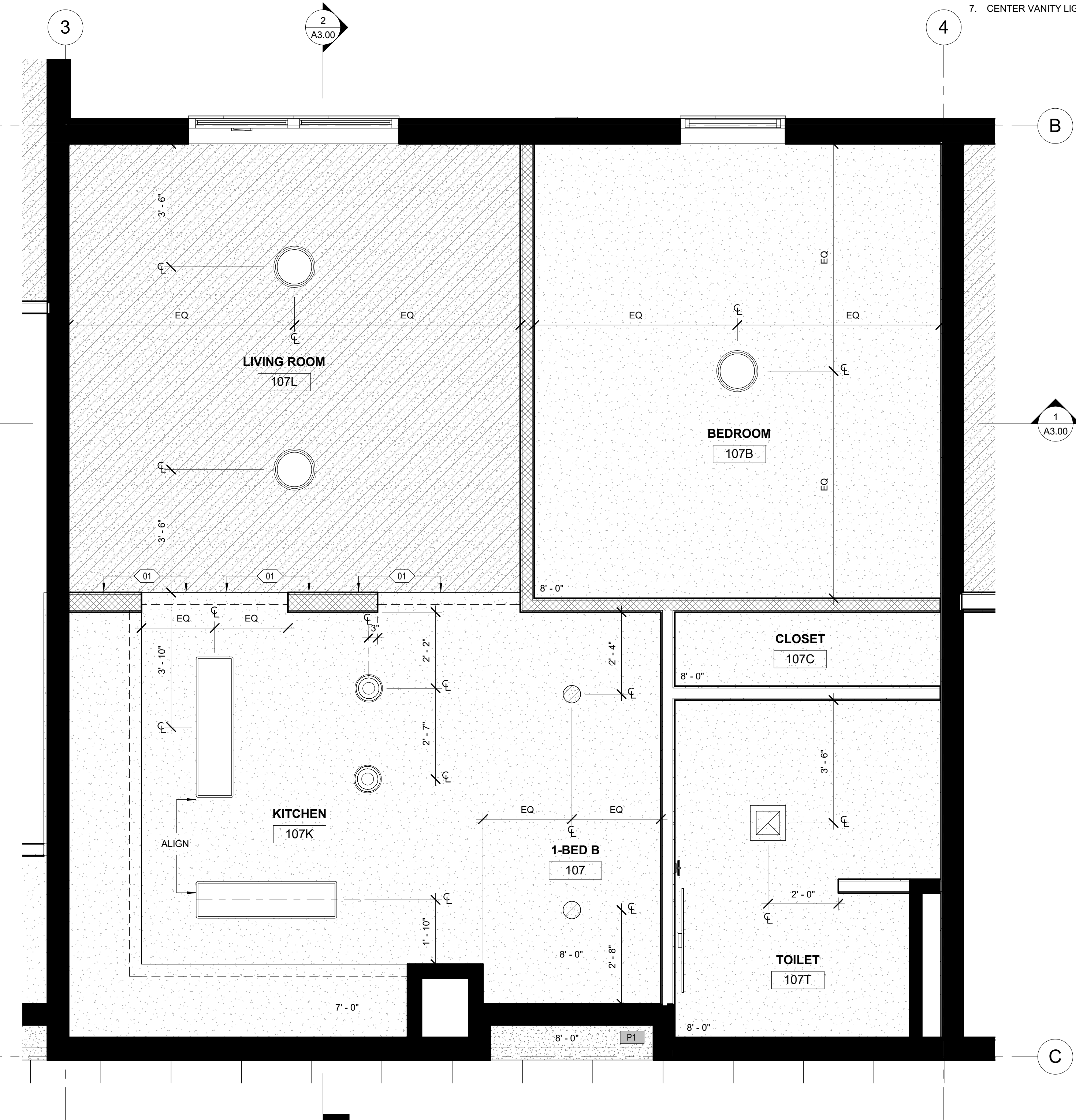
X' - X"

CEILING HEIGHT
- GYP CEILING/SOFFIT, PAINT P7 IN UNITS AND PAINT P4 IN COMMON AREAS, UNO.
- GYP CEILING AT UNDERSIDE OF STRUCTURE
- ACT1
- PX

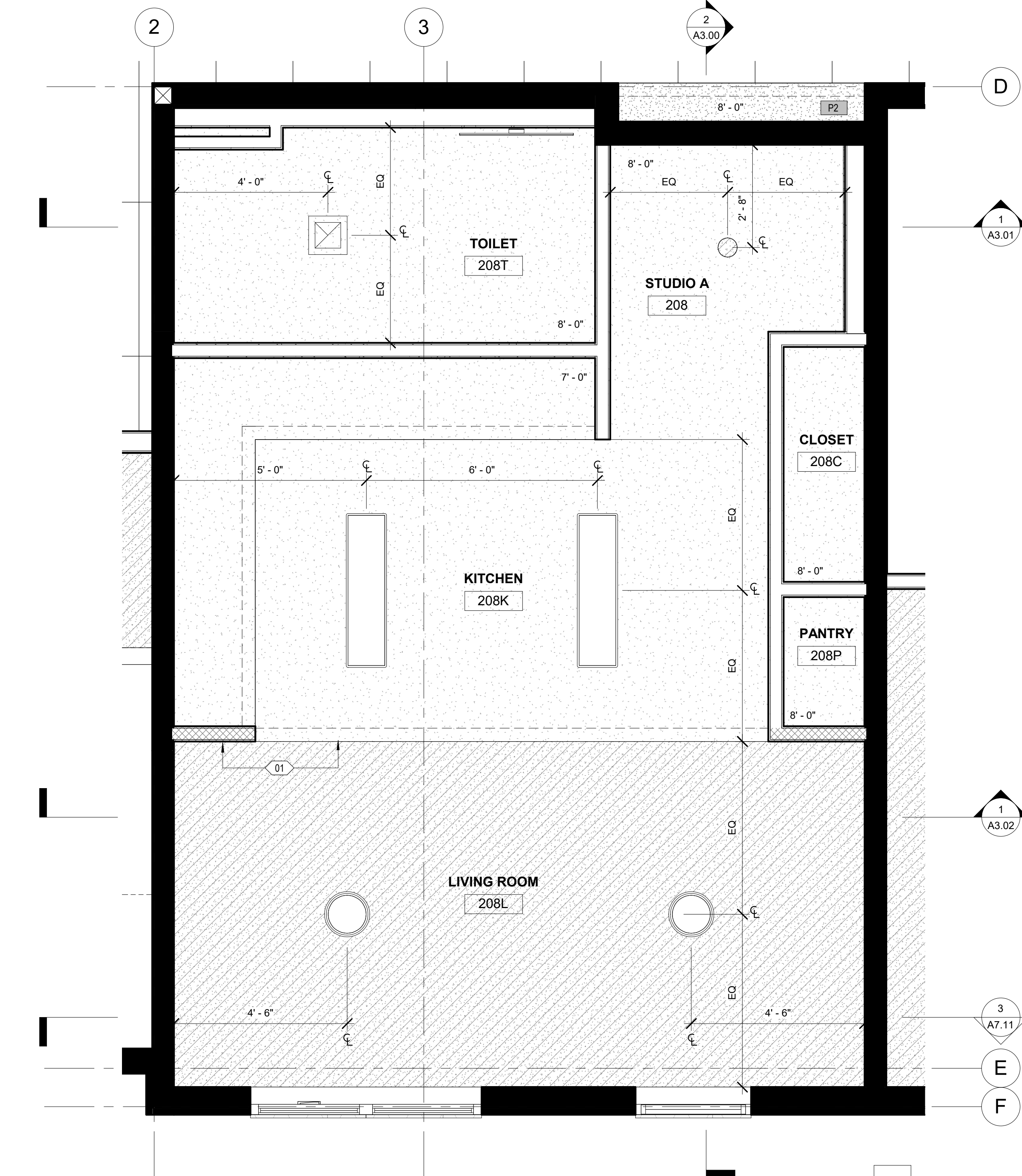
CEILING/SOFFIT PAINT COLOR, REFERENCE MATERIAL SCHEDULE FOR PAINT SELECTION

REFLECTED CEILING PLAN: SHEET NOTES

- 01
- ALIGN FACE OF FINISH



2 ENLARGED RCP - 1-BED B TYPICAL
1/2" = 1'-0"



1 ENLARGED RCP - STUDIO A TYPICAL
1/2" = 1'-0"



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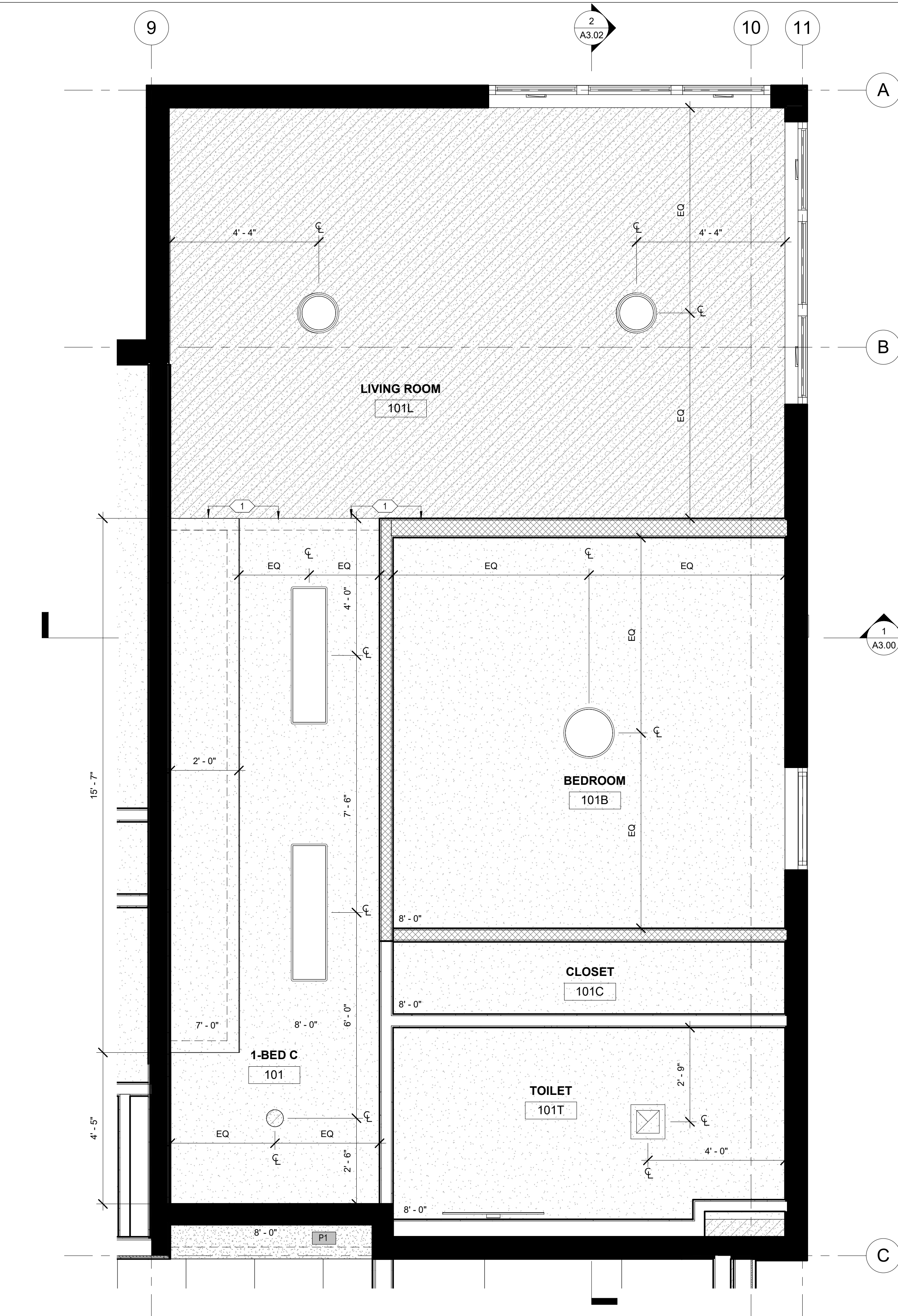
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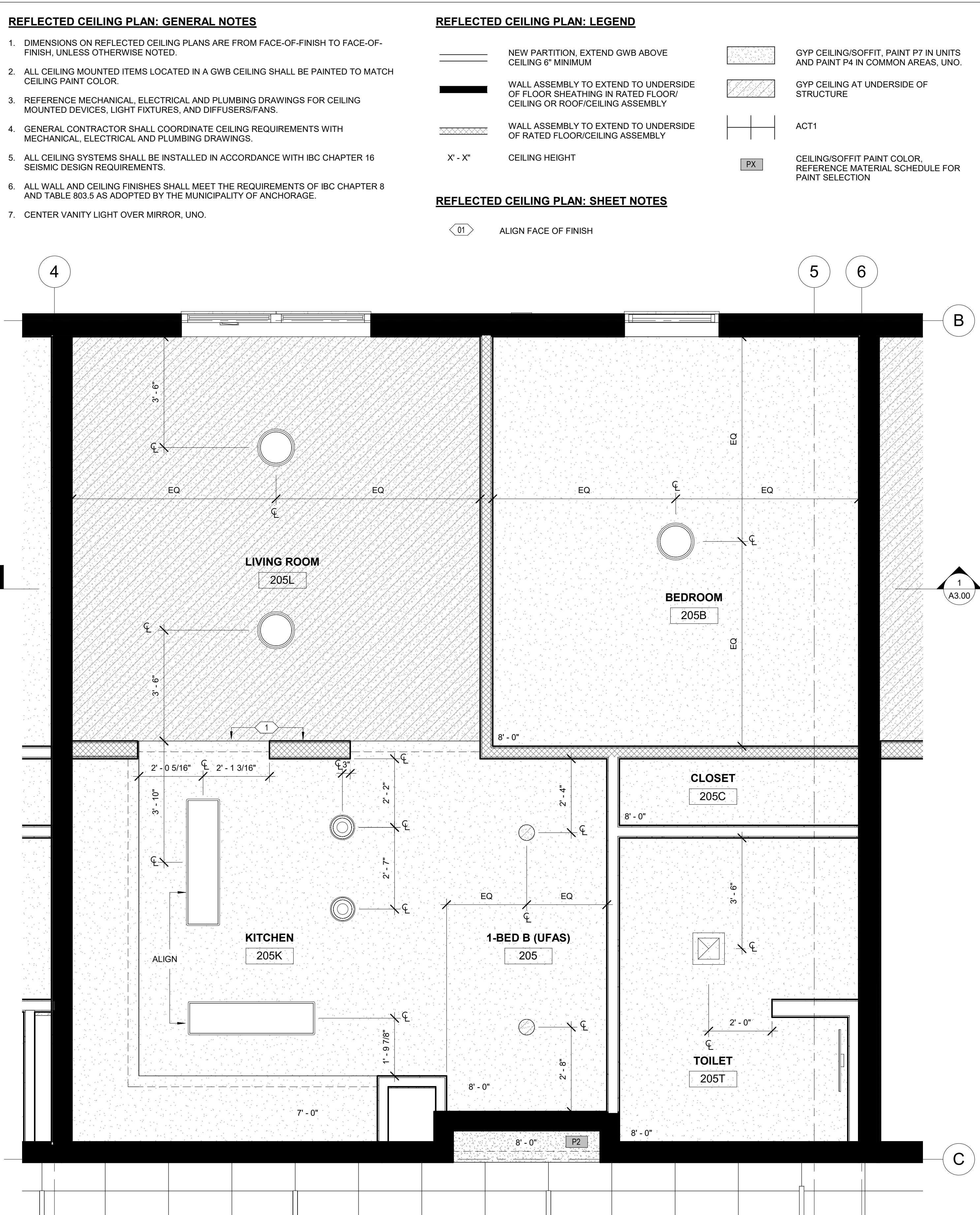
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ENLARGED RCP'S

SHEET NO.
A1.31



2 ENLARGED RCP - 1-BED C TYPICAL
1/2" = 1'-0"



1 ENLARGED RCP - 1-BED B (UFAS) TYPICAL
1/2" = 1'-0"

REFLECTED CEILING PLAN: GENERAL NOTES

1. DIMENSIONS ON REFLECTED CEILING PLANS ARE FROM FACE-OF-FINISH TO FACE-OF-FINISH, UNLESS OTHERWISE NOTED.
2. ALL CEILING MOUNTED ITEMS LOCATED IN A GWB CEILING SHALL BE PAINTED TO MATCH CEILING PAINT COLOR.
3. REFERENCE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR CEILING MOUNTED DEVICES, LIGHT FIXTURES, AND DIFFUSERS/FANS.
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6. ALL WALL AND CEILING FINISHES SHALL MEET THE REQUIREMENTS OF IBC CHAPTER 8 AND TABLE 803.5 AS ADOPTED BY THE MUNICIPALITY OF ANCHORAGE.
7. CENTER VANITY LIGHT OVER MIRROR, UNO.

REFLECTED CEILING PLAN: LEGEND

- | | |
|---|--|
| NEW PARTITION, EXTEND GWB ABOVE CEILING 6" MINIMUM | GYP CEILING/SOFFIT, PAINT P7 IN UNITS AND PAINT P4 IN COMMON AREAS, UNO. |
| WALL ASSEMBLY TO EXTEND TO UNDERSIDE OF FLOOR SHEATHING IN RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY | GYP CEILING AT UNDERSIDE OF STRUCTURE |
| WALL ASSEMBLY TO EXTEND TO UNDERSIDE OF RATED FLOOR/CEILING ASSEMBLY | ACT1 |
| X' - X" | CEILING HEIGHT |
| | PX CEILING/SOFFIT PAINT COLOR, REFERENCE MATERIAL SCHEDULE FOR PAINT SELECTION |

REFLECTED CEILING PLAN: SHEET NOTES

- 01 ALIGN FACE OF FINISH



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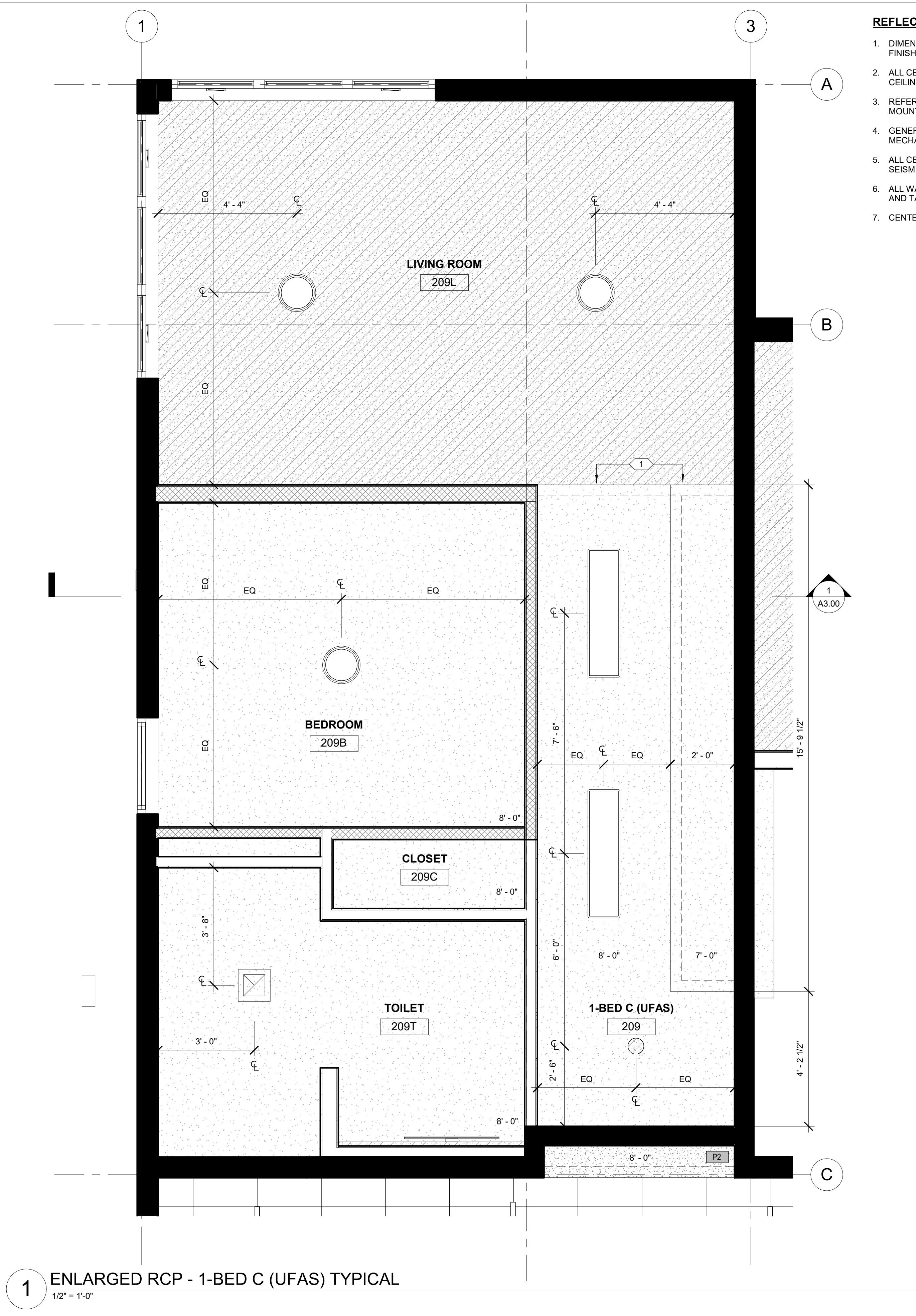
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SHEET NAME
ENLARGED RCP'S

SHEET NO.
A1.32



REFLECTED CEILING PLAN: GENERAL NOTES

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REFLECTED CEILING PLAN: LEGEND

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- WALL ASSEMBLY TO EXTEND TO UNDERSIDE OF RATED FLOOR/CEILING ASSEMBLY
- X' - X" CEILING HEIGHT
- GYP CEILING/SOFFIT, PAINT P7 IN UNITS AND PAINT P4 IN COMMON AREAS, UNO.
- GYP CEILING AT UNDERSIDE OF STRUCTURE
- ACT1
- CEILING/SOFFIT PAINT COLOR, REFERENCE MATERIAL SCHEDULE FOR PAINT SELECTION

REFLECTED CEILING PLAN: SHEET NOTES

- 01 ALIGN FACE OF FINISH



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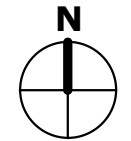
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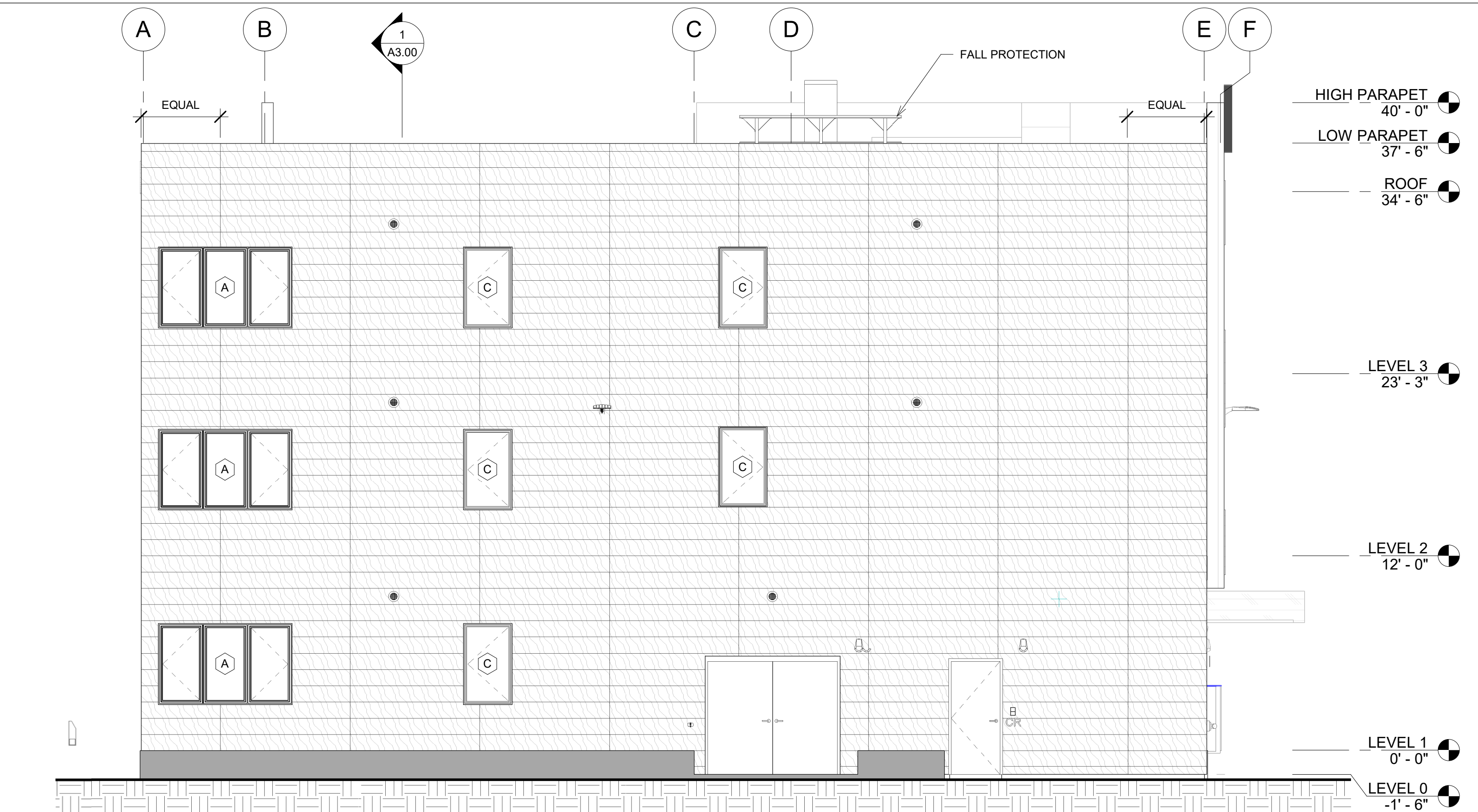
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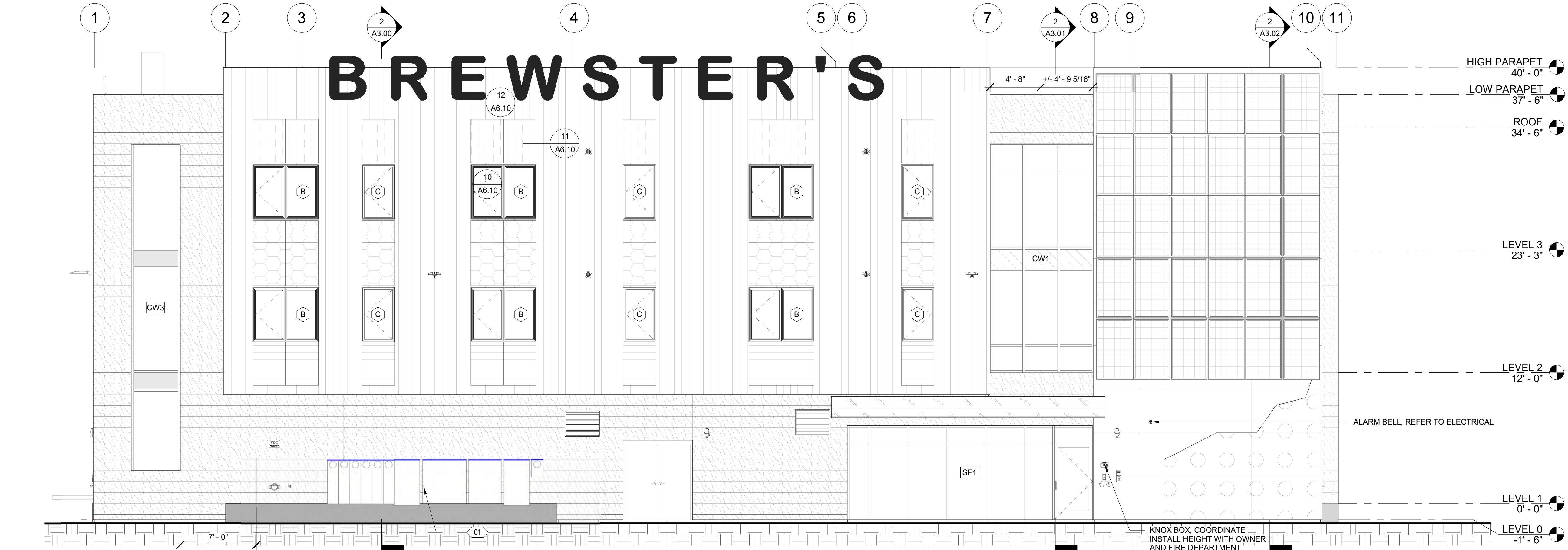
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ENLARGED RCP'S

SHEET NO.
A1.33





2 WEST ELEVATION
3/16" = 1'-0"



1 SOUTH ELEVATION
3/16" = 1'-0"

EXTERIOR ELEVATION: GENERAL NOTES

1. REFER TO A5.10 FOR EXTERIOR MATERIALS AND COORDINATING TRIM PAINT.
2. ALL EXHAUST LOCATIONS REQUIRE 3'-0" MINIMUM CLEARANCE FROM ANY OPERABLE OPENING PER IMC.
3. REFER TO MECHANICAL FOR ALL VENTS, LOUVER AND EXHAUST SIZES, LOCATIONS AND MOUNTING HEIGHTS.
4. ALL UNISTRUT SUPPORTING UTILITY EQUIPMENT SHALL BE PAINTED TO MATCH THE ADJACENT BUILDING FINISH.
5. ALL BLOCKING FOR HOSE BIBBS, WALL MOUNTED LIGHTS, RECEPTACLES, ETC. SHALL BE CLAD IN THE SAME SIDING MATERIAL AS THE BUILDING. REFER TO DETAILS.
6. GC IS TO CARRY A \$15,000 ALLOWANCE FOR THE RESTORATION OF THE ORIGINAL BREWSTER'S SIGNAGE. ALL OTHER SIGNAGE SHALL BE INCLUDED IN BID.

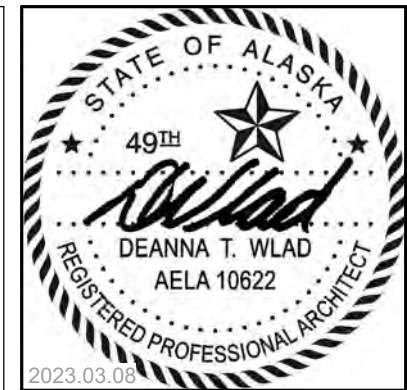
EXTERIOR ELEVATION: SHEET NOTES

- 01 PAINT ELECTRICAL EQUIPMENT ENCLOSURE TO MATCH ADJACENT SIDING. COORDINATE COLOR WITH ARCHITECT. COVER LABELS, STICKERS AND OTHER SAFETY NOTICES ON EQUIPMENT TO PREVENT OVER SPRAYING OR PAINTING.

EXTERIOR ELEVATION: LEGEND

- MP1
MP2
MP3
PLP1 JOINT LAYOUT PER EXTERIOR ELEVATIONS. PANEL BREAKS TO OCCUR EVERY 8' (HORIZONTALLY) U.O.N.
PLP2 JOINT LAYOUT PER EXTERIOR ELEVATIONS. USE FULL 4'X8' PANELS PER LAYOUT U.O.N.
PLP3 JOINT LAYOUT PER EXTERIOR ELEVATIONS
RP1
RP2
RP3
PV PANEL
REFER TO ELECTRICAL FOR BOD
B SALVAGED "BREWSTER'S" SIGNAGE TO BE REPAIRED AND REINSTALLED
EXTERIOR WALL MOUNTED LIGHTING, REFER TO ELECTRICAL FOR BASIS OF DESIGN
MECHANICAL WALL CAP, REFER TO MECHANICAL FOR BASIS OF DESIGN

ELEVATION AREA: 4130 SF
GLAZING AREA: 827 SF
TOTAL PERCENTAGE: 20.0%



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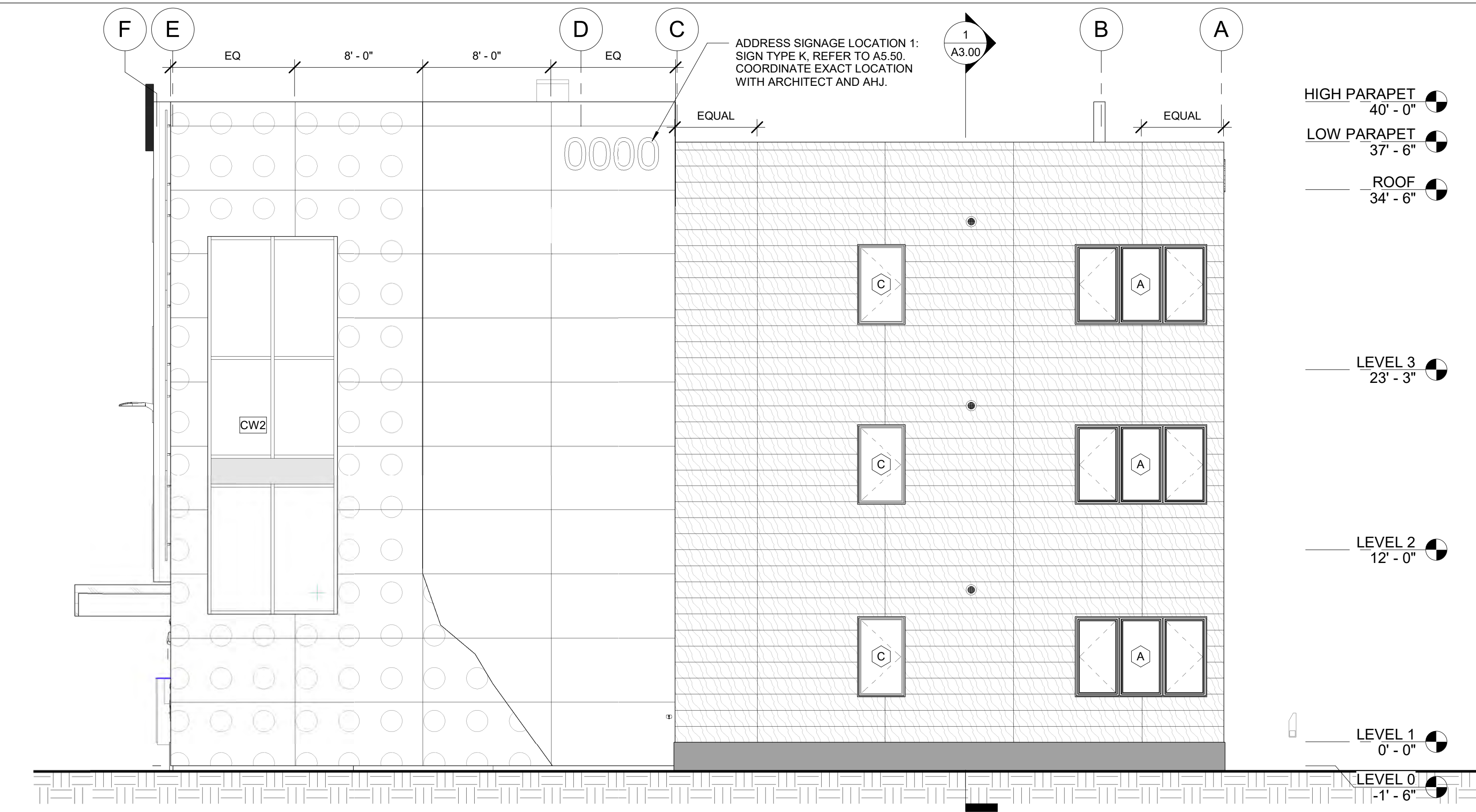
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ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

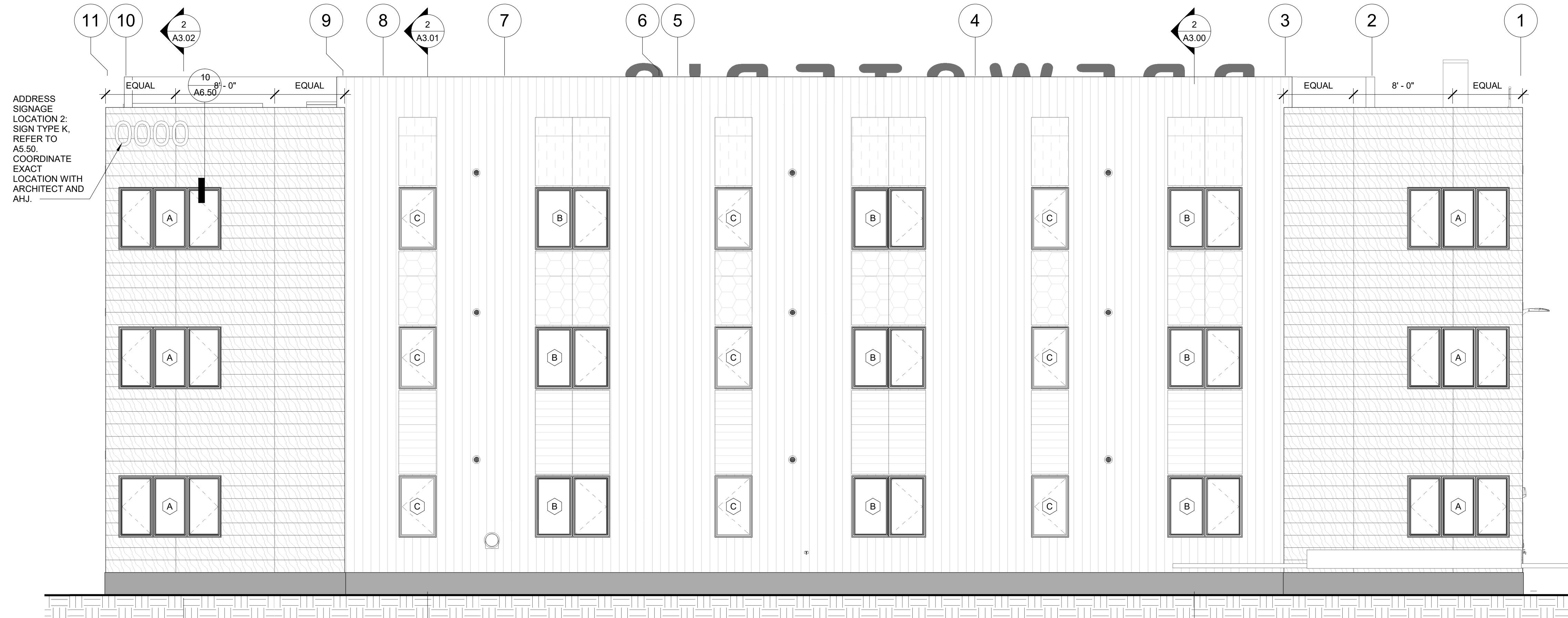
JOB NO. 22-018
DATE 2023.03.08
DRAWN DN
REVIEWED DTW

SHEET NAME
EXTERIOR ELEVATIONS

SHEET NO.
A2.00



2 EAST ELEVATION
3/16" = 1'-0"



1 NORTH ELEVATION
3/16" = 1'-0"

EXTERIOR ELEVATION: GENERAL NOTES

1. REFER TO A5.10 FOR EXTERIOR MATERIALS AND COORDINATING TRIM PAINT.
2. ALL EXHAUST LOCATIONS REQUIRE 3'-0" MINIMUM CLEARANCE FROM ANY OPERABLE OPENING PER IMC.
3. REFER TO MECHANICAL FOR ALL VENTS, LOUVER AND EXHAUST SIZES, LOCATIONS AND MOUNTING HEIGHTS.
4. ALL UNISTRUT SUPPORTING UTILITY EQUIPMENT SHALL BE PAINTED TO MATCH THE ADJACENT BUILDING FINISH.
5. ALL BLOCKING FOR HOSE BIBBS, WALL MOUNTED LIGHTS, RECEPTACLES, ETC. SHALL BE CLAD IN THE SAME SIDING MATERIAL AS THE BUILDING. REFER TO DETAILS.
6. GC IS TO CARRY A \$15,000 ALLOWANCE FOR THE RESTORATION OF THE ORIGINAL BREWSTER'S SIGNAGE. ALL OTHER SIGNAGE SHALL BE INCLUDED IN BID.

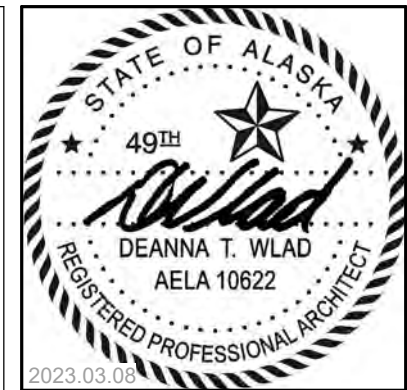
EXTERIOR ELEVATION: SHEET NOTES

- 01 PAINT ELECTRICAL EQUIPMENT ENCLOSURE TO MATCH ADJACENT SIDING. COORDINATE COLOR WITH ARCHITECT. COVER LABELS, STICKERS AND OTHER SAFETY NOTICES ON EQUIPMENT TO PREVENT OVER SPRAYING OR PAINTING.

EXTERIOR ELEVATION: LEGEND

- MP1
MP2
MP3
PLP1 JOINT LAYOUT PER EXTERIOR ELEVATIONS. PANEL BREAKS TO OCCUR EVERY 8' (HORIZONTALLY) U.O.N.
PLP2 JOINT LAYOUT PER EXTERIOR ELEVATIONS. USE FULL 4'X8' PANELS PER LAYOUT U.O.N.
PLP3 JOINT LAYOUT PER EXTERIOR ELEVATIONS
RP1
RP2
RP3
PV PANEL REFER TO ELECTRICAL FOR BOD
B SALVAGED "BREWSTER'S" SIGNAGE TO BE REPAIRED AND REINSTALLED
EXTERIOR WALL MOUNTED LIGHTING, REFER TO ELECTRICAL FOR BASIS OF DESIGN
MECHANICAL WALL CAP, REFER TO MECHANICAL FOR BASIS OF DESIGN

ELEVATION AREA: 4059 SF
GLAZING AREA: 718 SF
TOTAL PERCENTAGE: 19.0%



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COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
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SHEET NAME
EXTERIOR ELEVATIONS

SHEET NO.
A2.01



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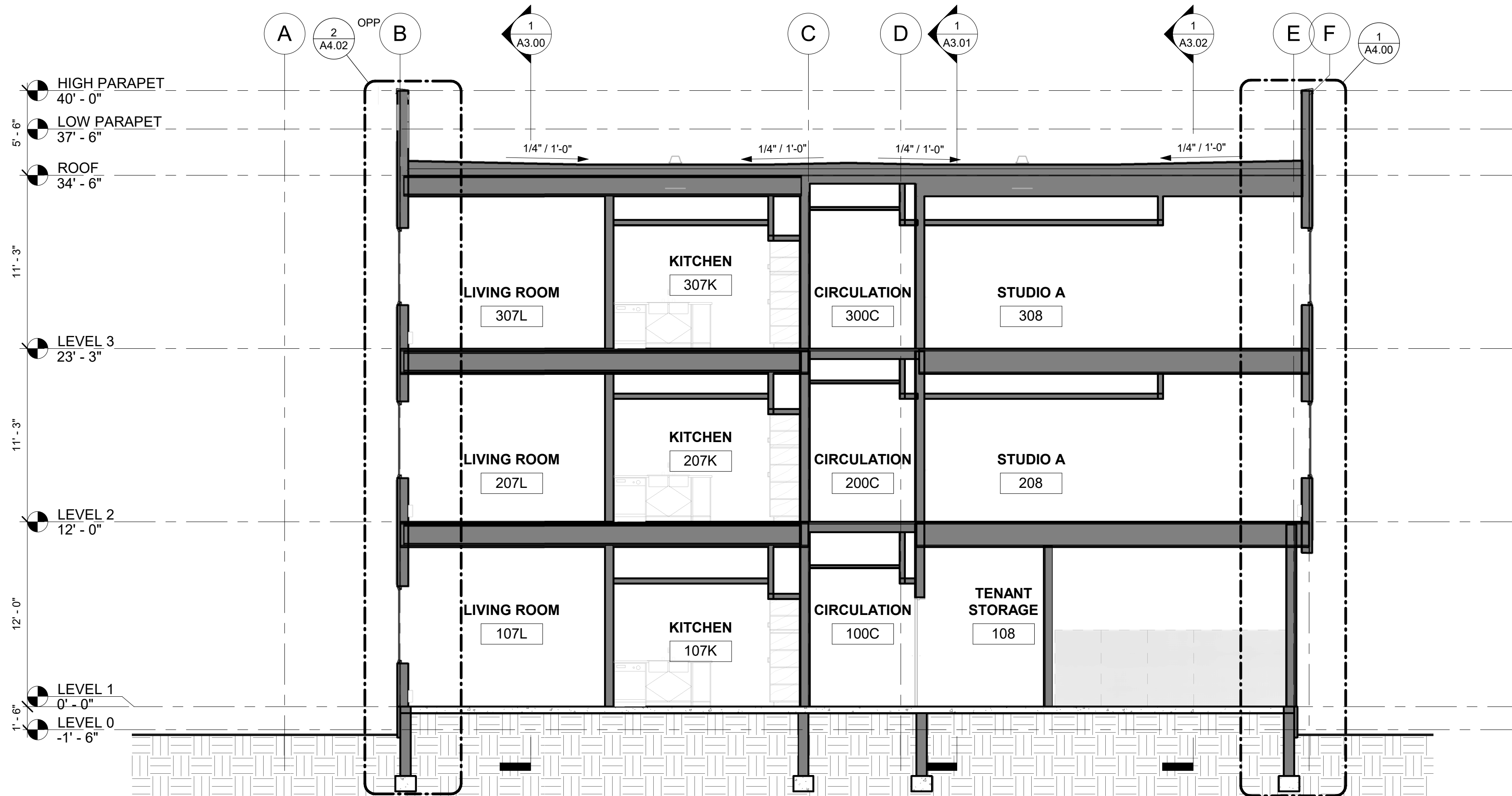
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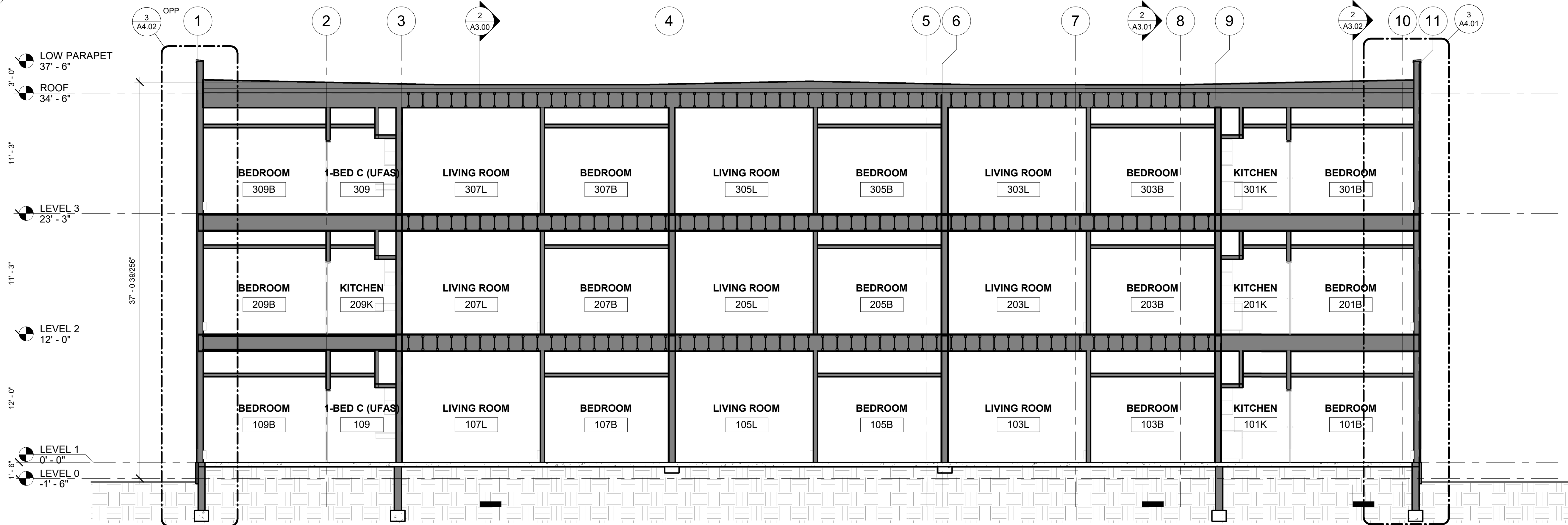
SHEET NAME
BUILDING SECTIONS

SHEET NO.
A3.00

HALF SCALE WHEN PRINTED AT 11x17



2 BUILDING SECTION 3.3
3/16" = 1'-0"



1 BUILDING SECTION B.4
3/16" = 1'-0"



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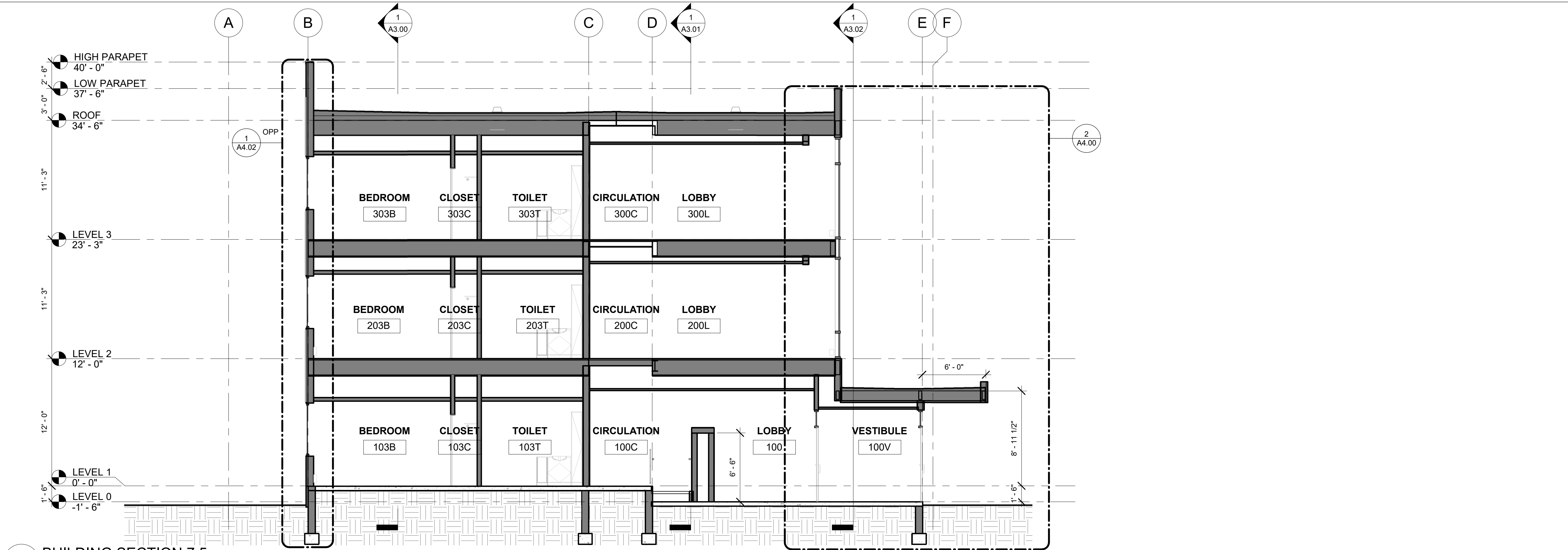
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BREWSTERS MULTI-FAMILY HOUSING
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REVISION SCHEDULE		
#	DESCRIPTION	DATE

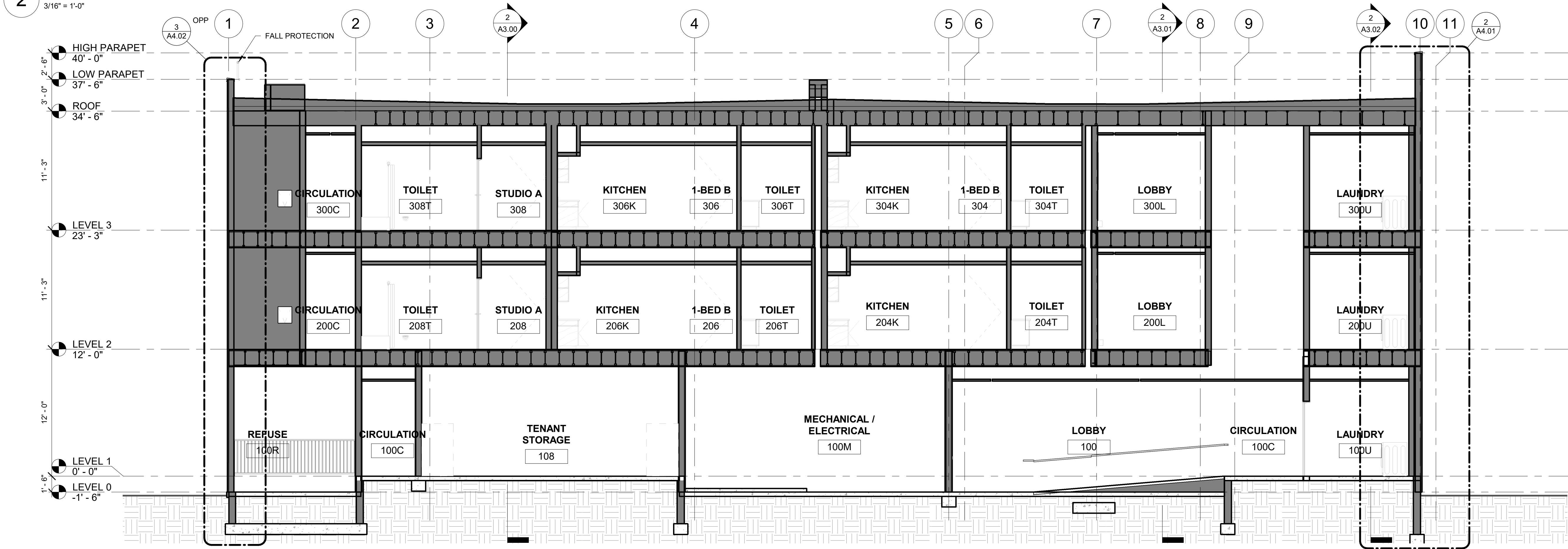
JOB NO. 22-018
DATE 2023.03.08
DRAWN DN
REVIEWED DTW

SHEET NAME
BUILDING SECTIONS

SHEET NO.
A3.01



2 BUILDING SECTION 7.5
3/16" = 1'-0"



1 BUILDING SECTION D.2
3/16" = 1'-0"



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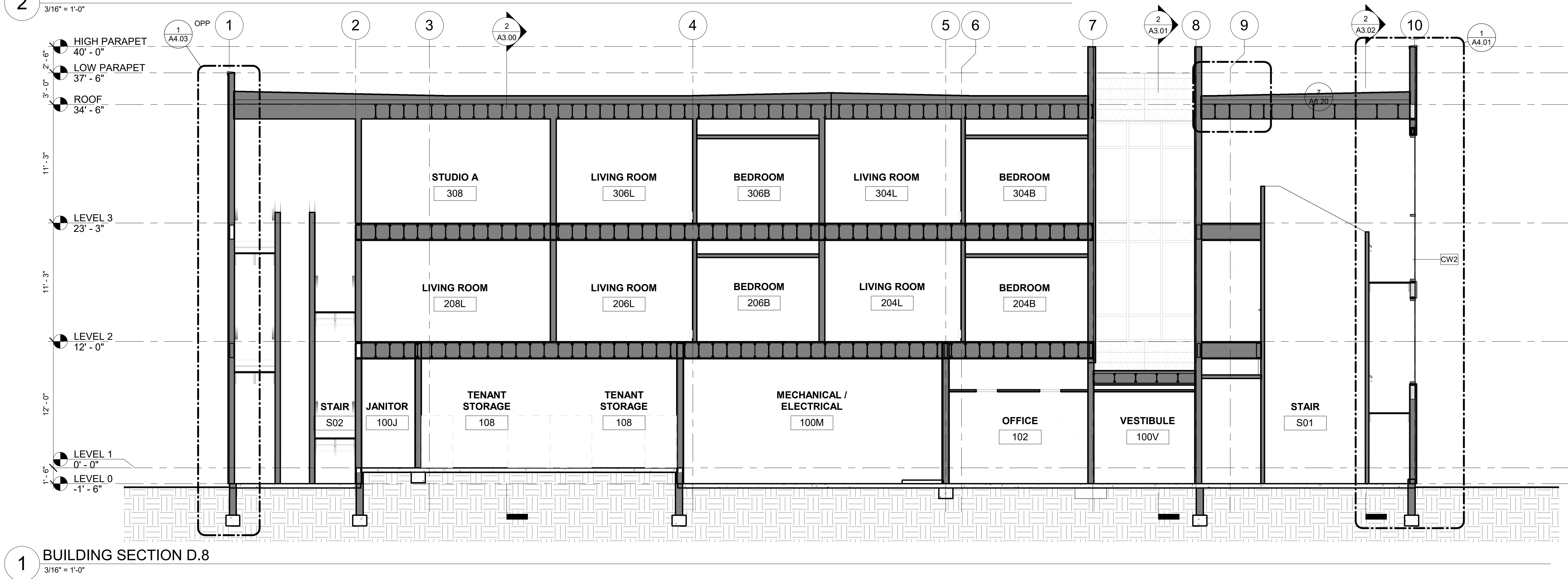
COOK INLET HOUSING AUTHORITY
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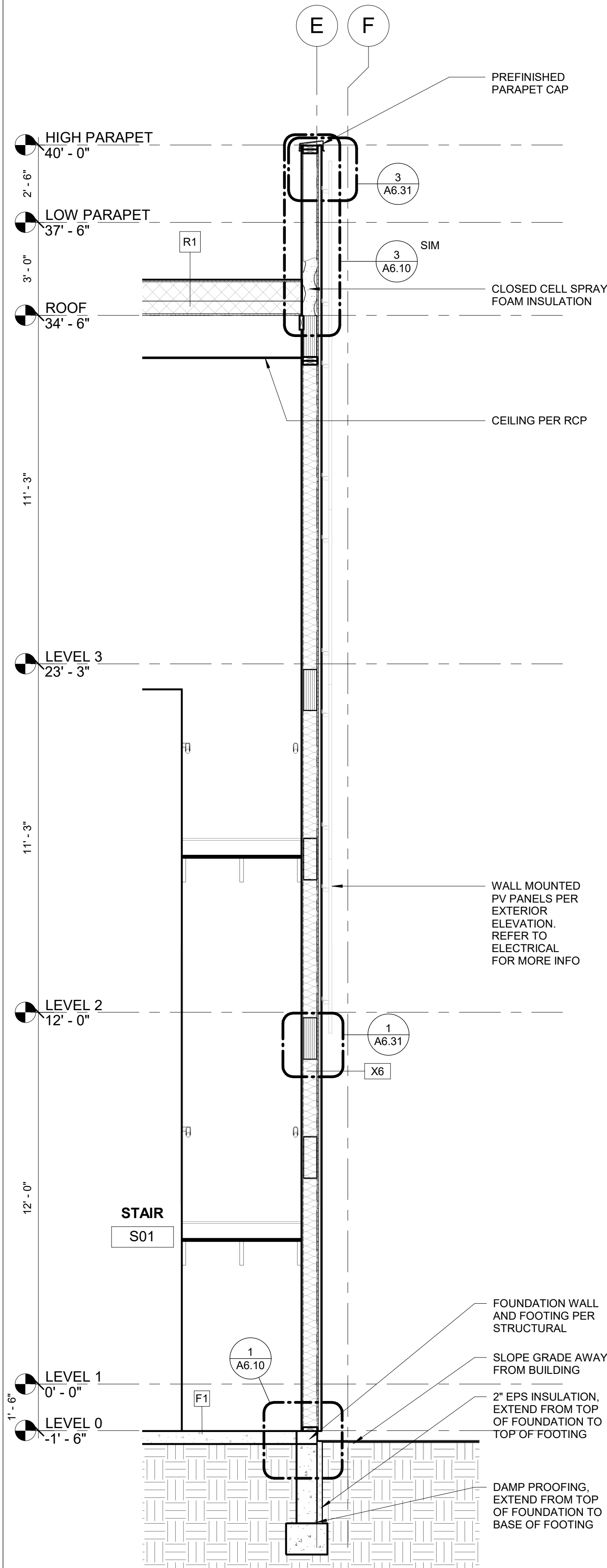
REVISION SCHEDULE		
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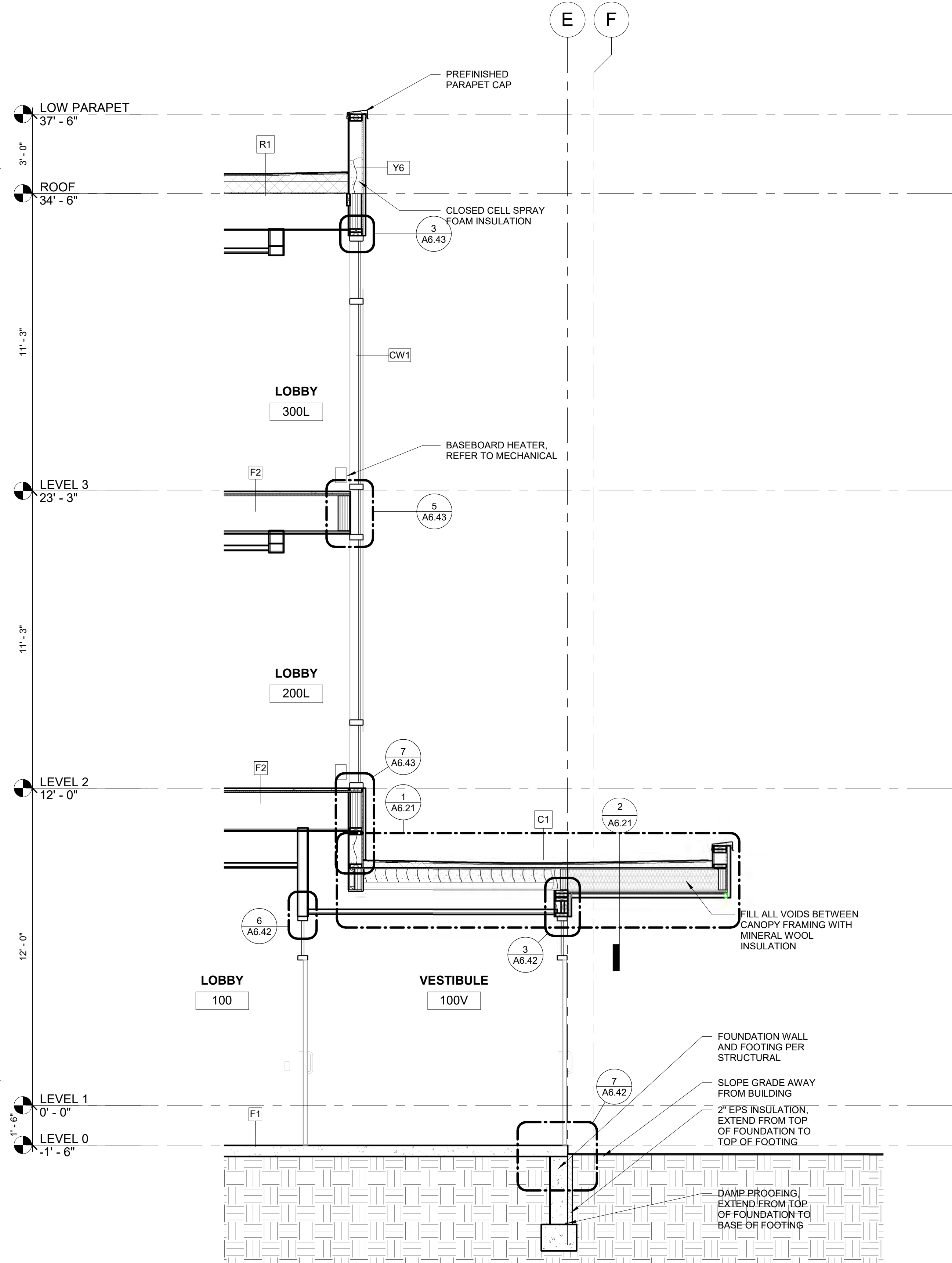
SHEET NAME
BUILDING SECTIONS

SHEET NO.
A3.02

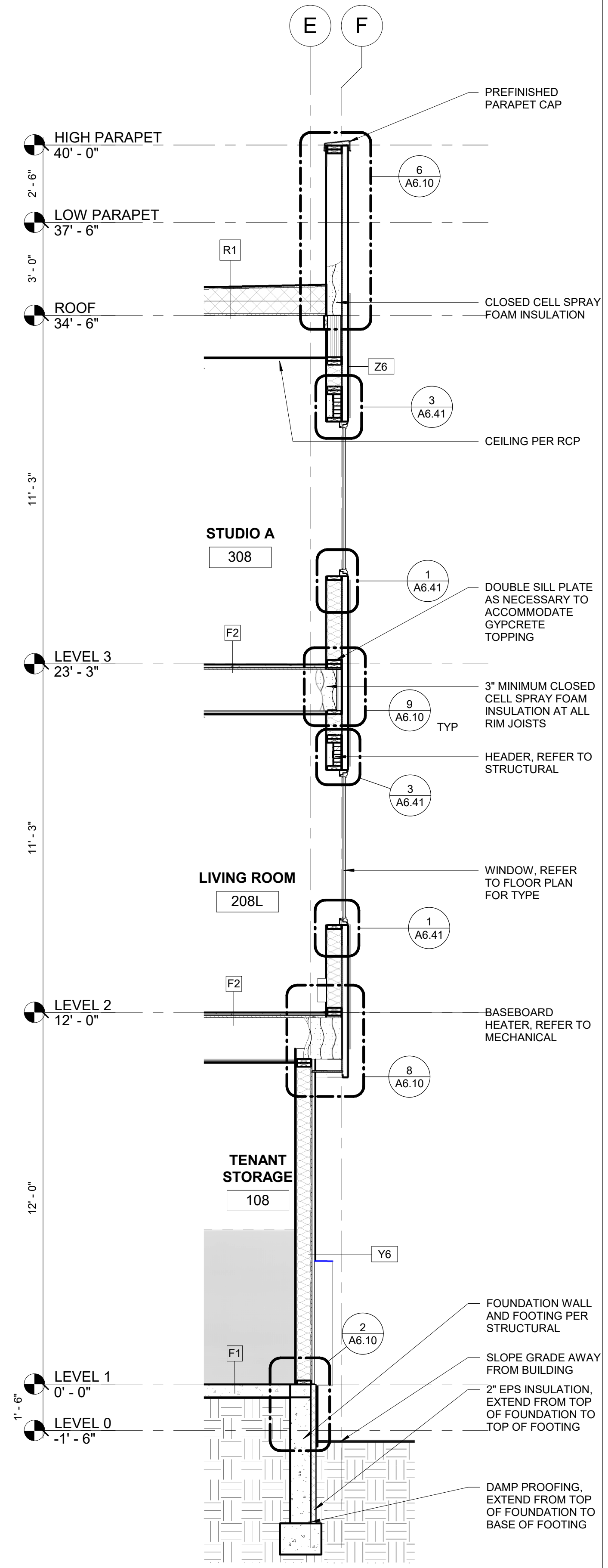




3 WALL SECTION
3/8" = 1'-0"



2 WALL SECTION
3/8" = 1'-0"



1 WALL SECTION
3/8" = 1'-0"



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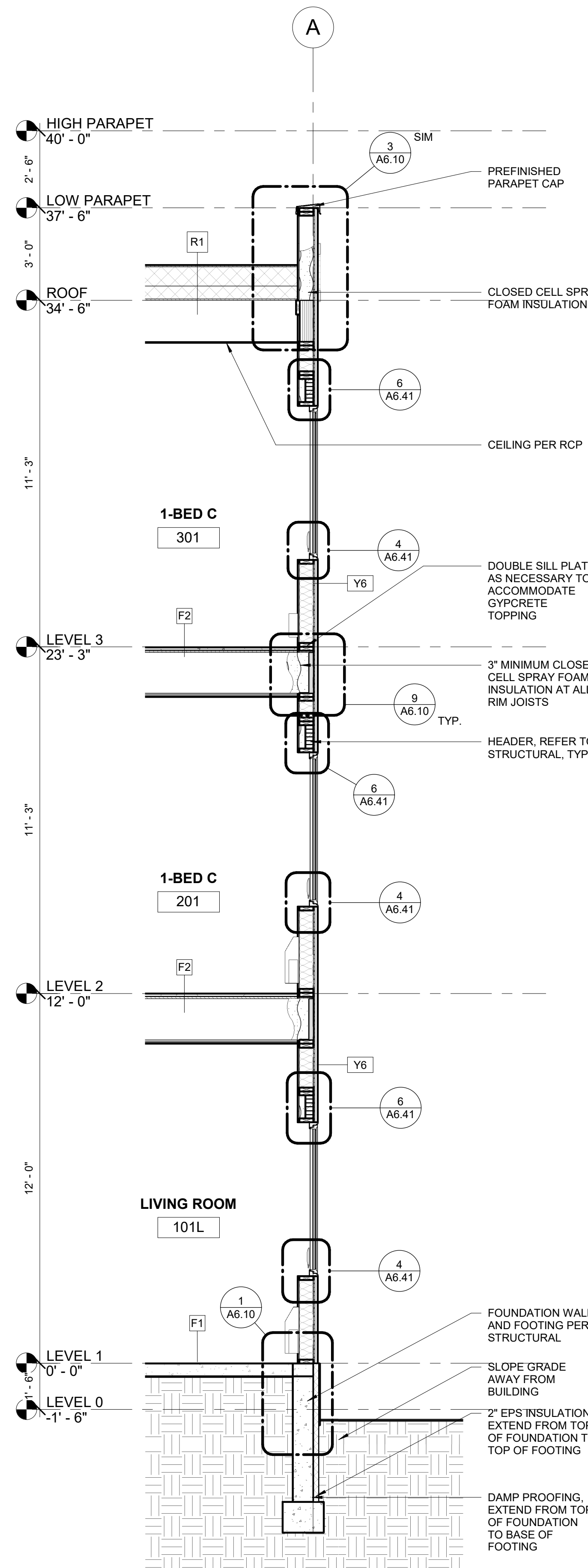
**COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA**

REVISION SCHEDULE		
#	DESCRIPTION	DATE

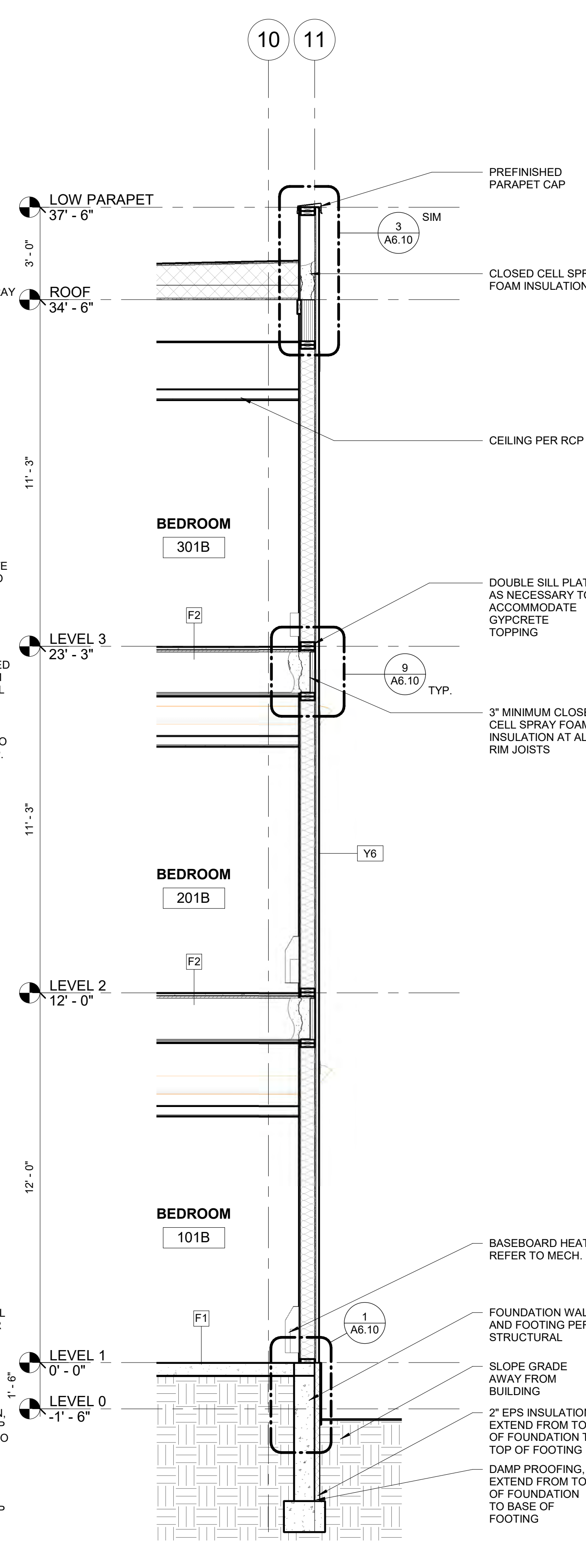
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DATE 2023.03.08
DRAWN AKG
REVIEWED DTW

SHEET NAME
WALL SECTIONS

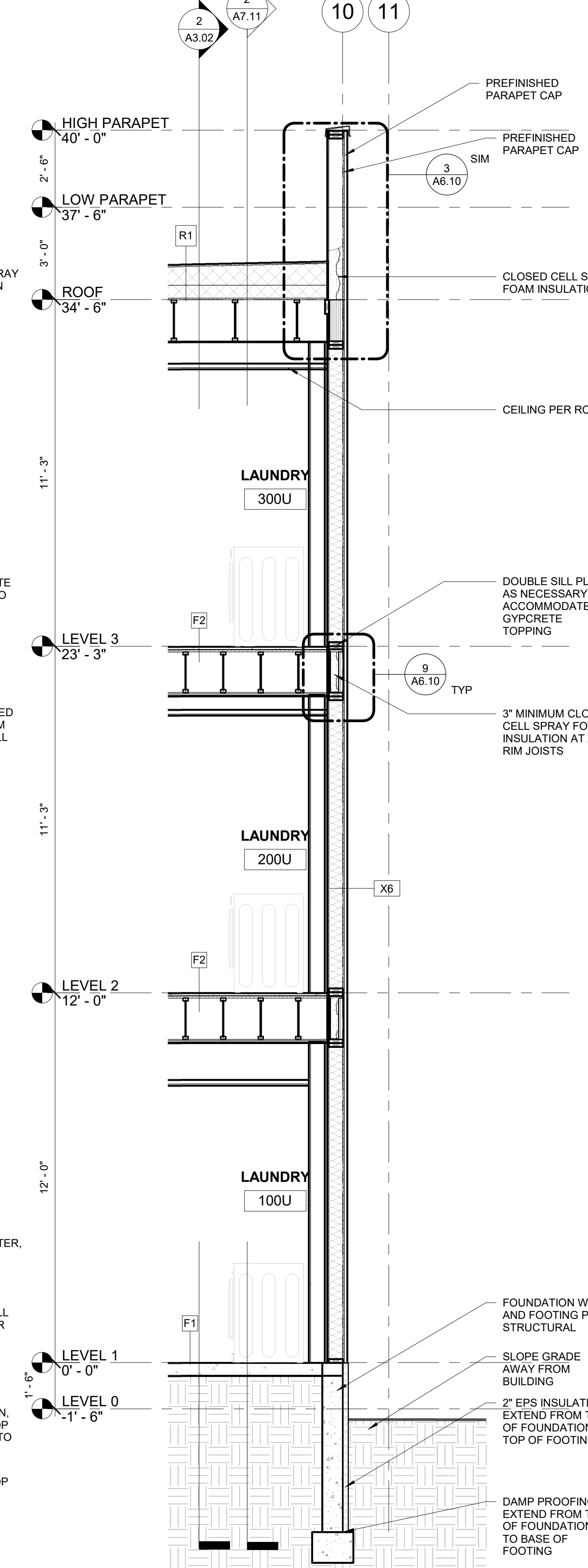
SHEET NO.
A4.00



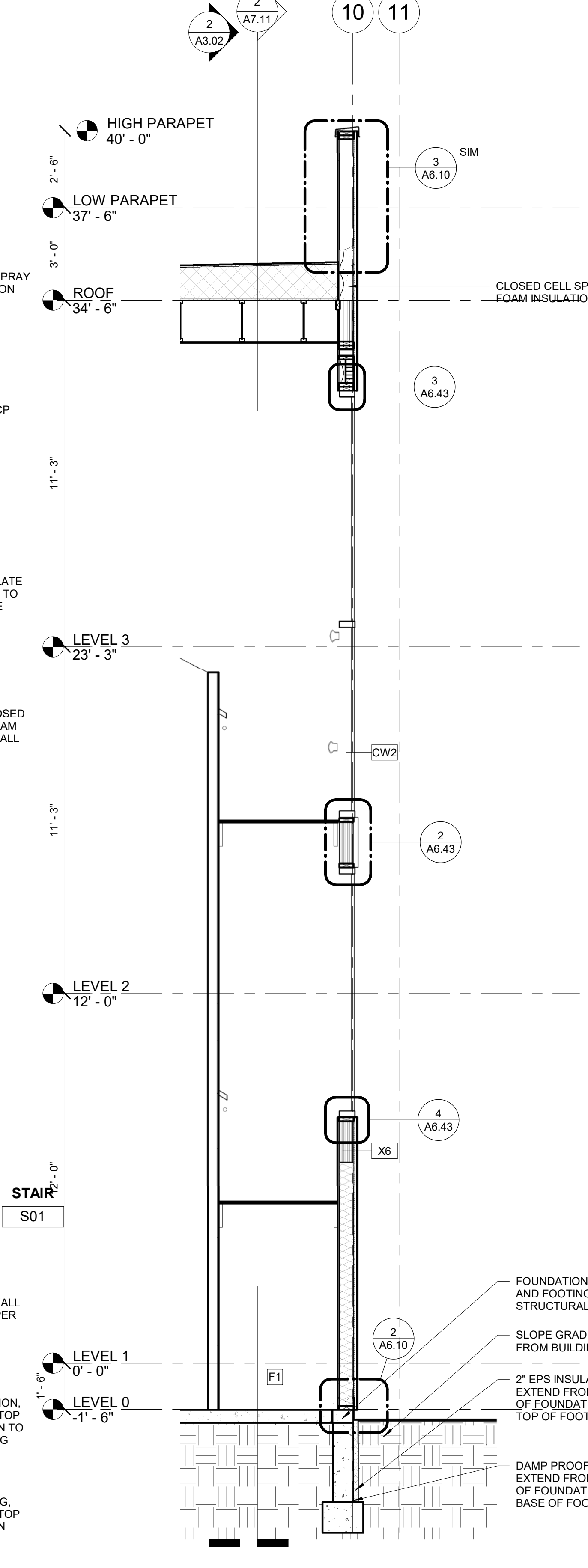
4 WALL SECTION
3/8" = 1'-0"



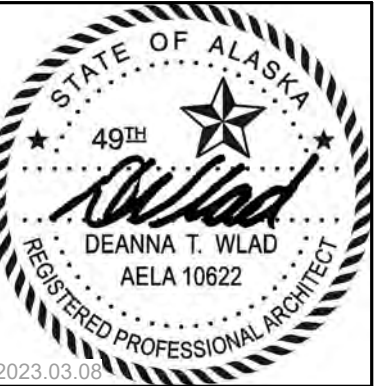
3 WALL SECTION
3/8" = 1'-0"



2 WALL SECTION
3/8" = 1'-0"



1 WALL SECTION
3/8" = 1'-0"



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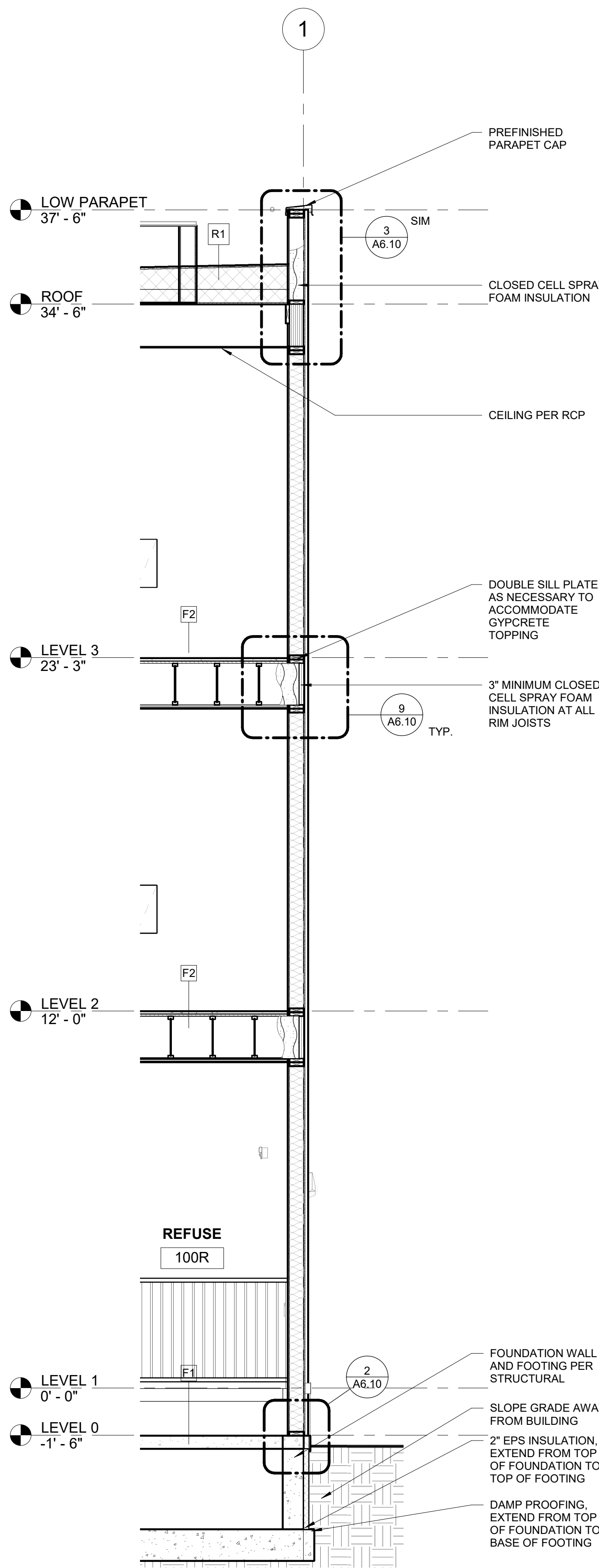
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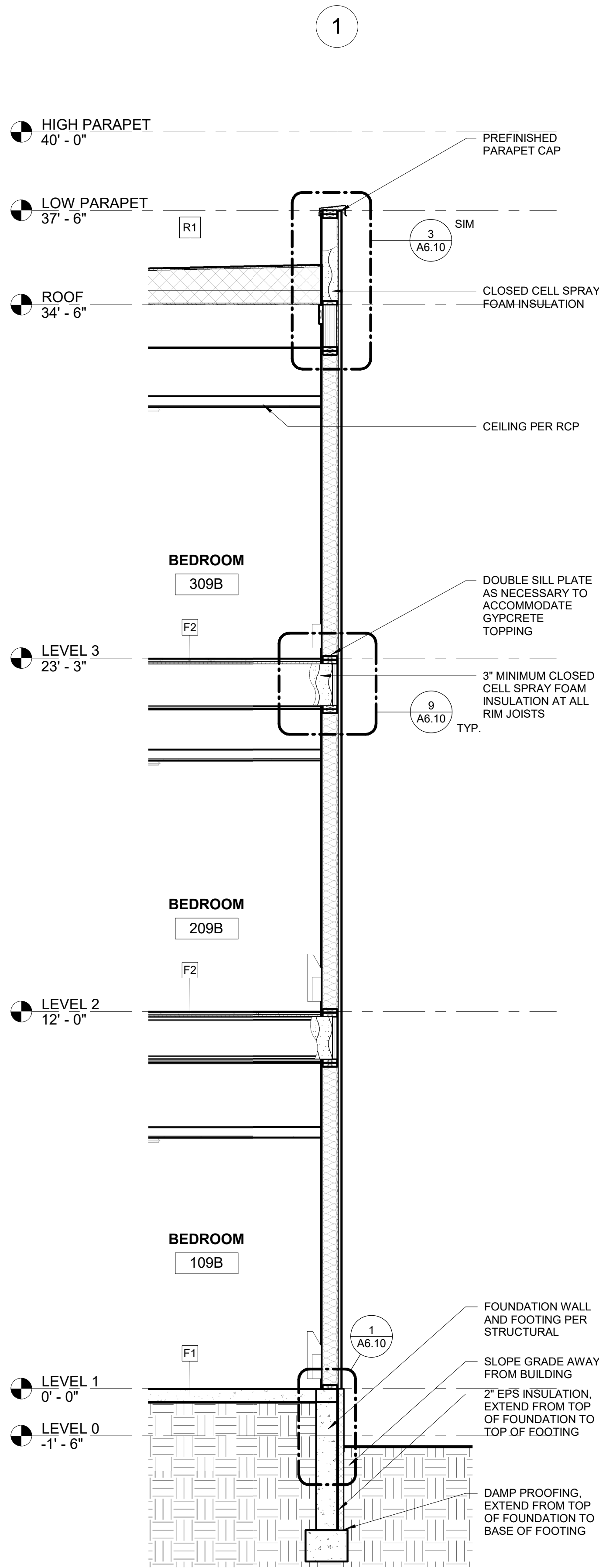
JOB NO. 22-018
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SHEET NAME
WALL SECTIONS

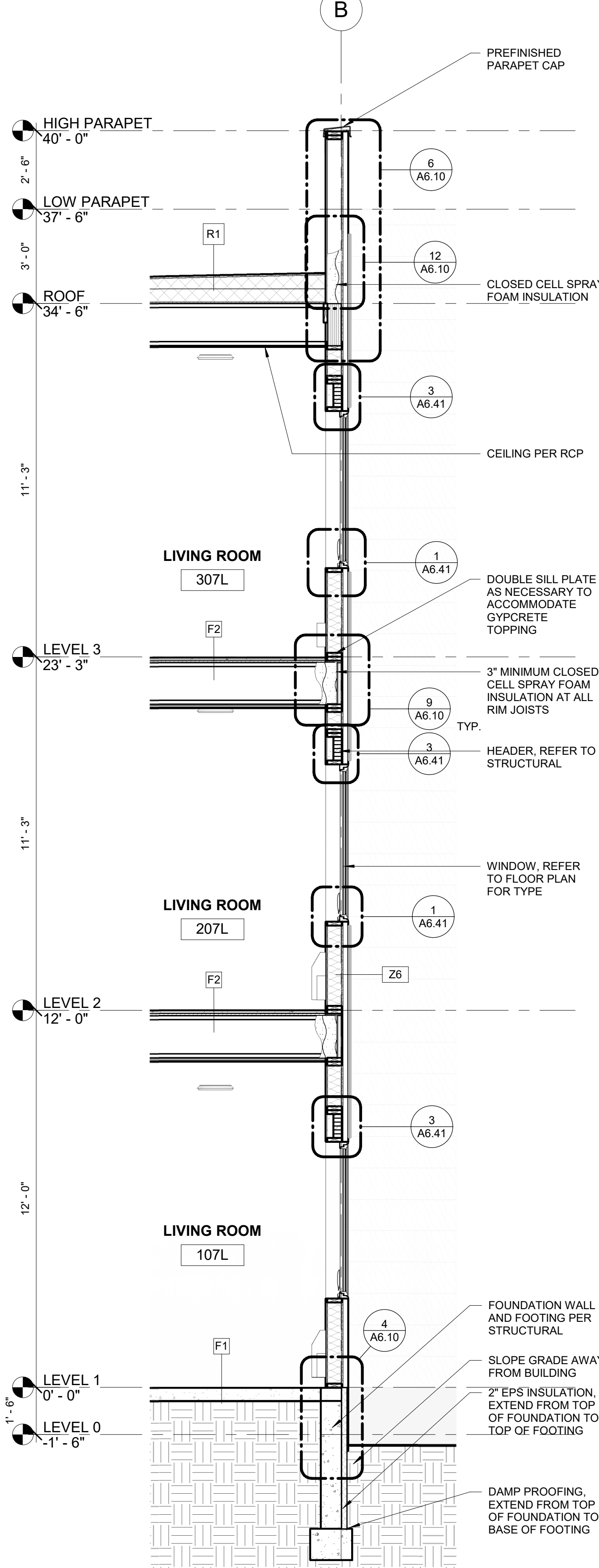
SHEET NO.
A4.01



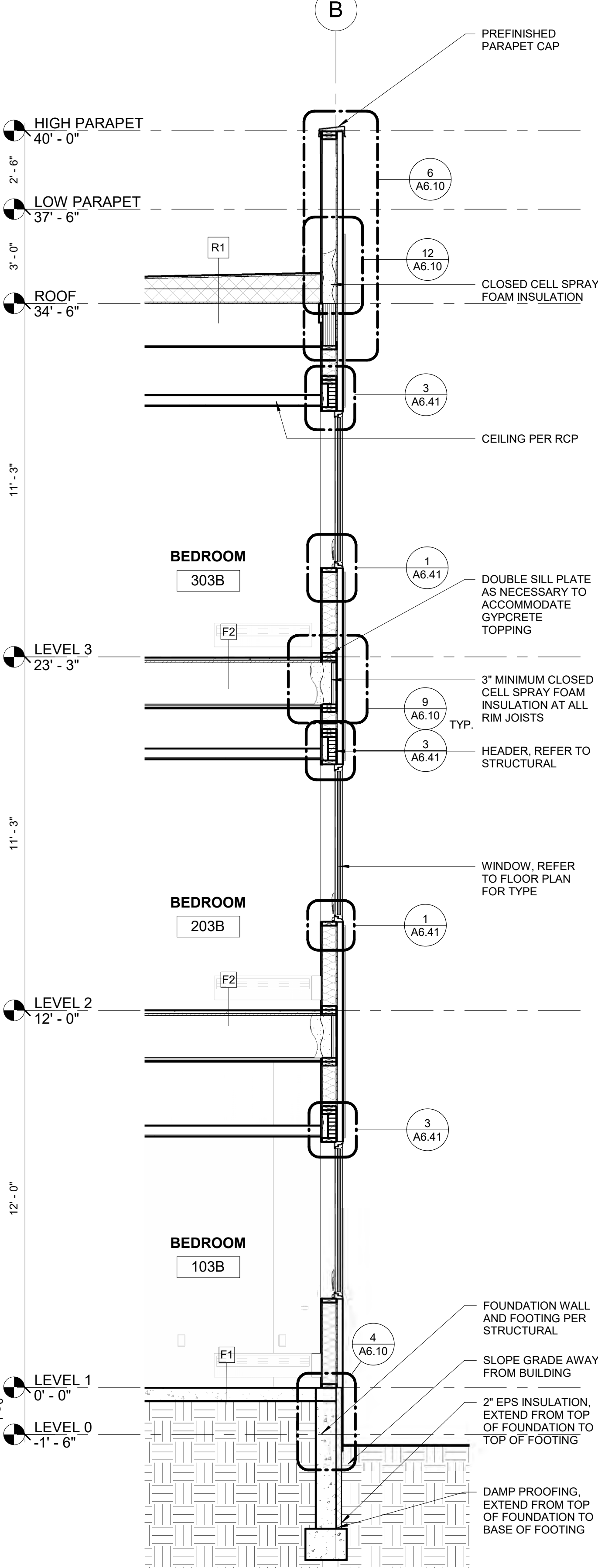
4 WALL SECTION
3/8" = 1'-0"



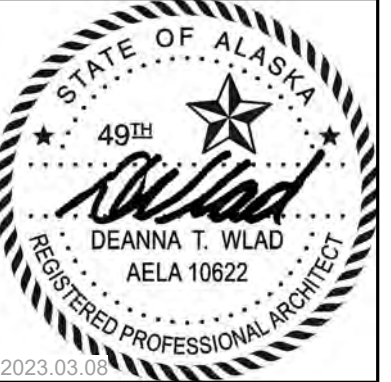
3 WALL SECTION
3/8" = 1'-0"



2 WALL SECTION
3/8" = 1'-0"



1 WALL SECTION
3/8" = 1'-0"



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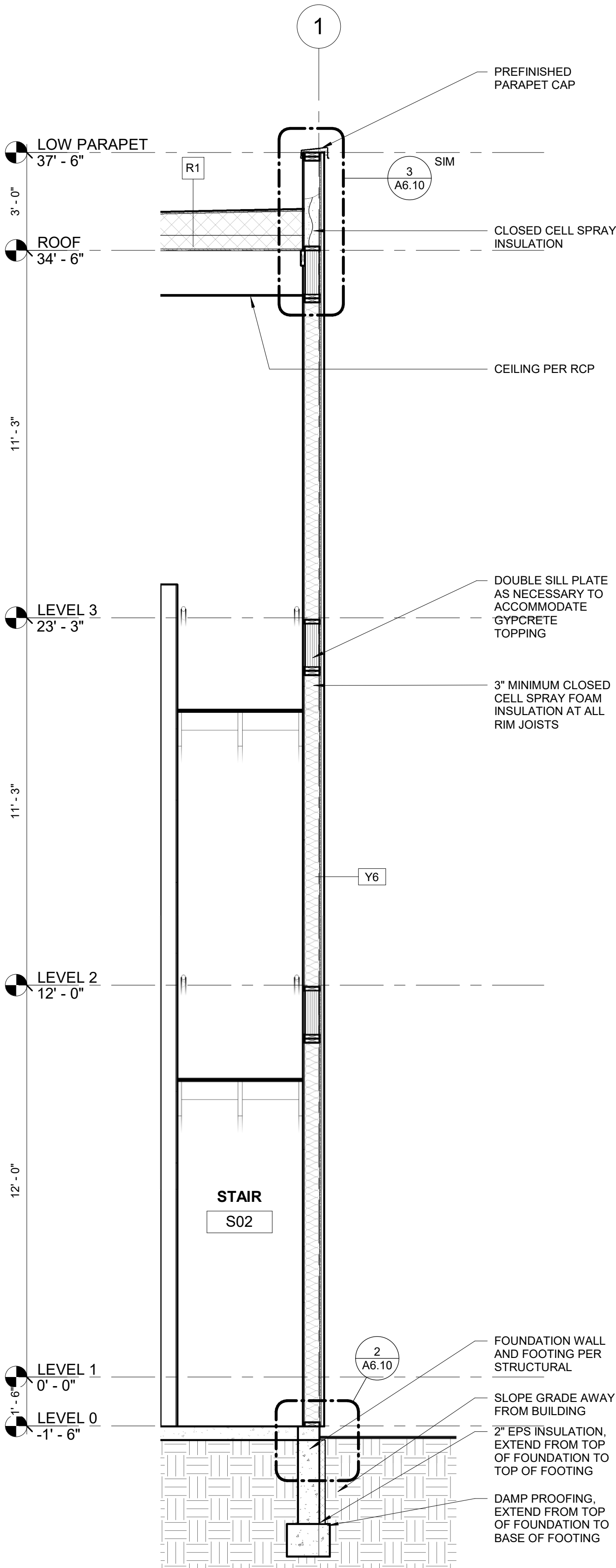
**COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA**

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
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SHEET NAME
WALL SECTIONS

SHEET NO.
A4.02



1 WALL SECTION
3/8" = 1'-0"



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REVIEWED	DTW

SHEET NAME
WALL SECTIONS

SHEET NO.
A4.03

DOOR BASIS OF DESIGN

TYPE A: MFG: KAWNEER STYLE: FULL LITE ALUMINUM STOREFRONT SWING DOOR GLASS: REFER TO STOREFRONT LEGEND ON SHEET A5.02 FINISH: PER SCHEDULE	STOREFRONT SWINGING DOOR	TYPE D: MFG: CURRIES STYLE: 707 SERIES HEAVY DUTY SEAMLESS WITH WELDED EDGE 18 GAUGE, POLYSTYRENE CORE FINISH: PRIMED / READY TO PAINT, PAINT PER SCHEDULE GLASS: REFER TO DOOR LEGEND ON SHEET A5.02 FIRE RATING: PER DOOR SCHEDULE	HOLLOW METAL DOOR (HM)
TYPE B: MFG: CURRIES STYLE: 707 SERIES HEAVY DUTY SEAMLESS WITH WELDED EDGE 18 GAUGE, POLYSTYRENE CORE FINISH: PRIMED / READY TO PAINT, PAINT PER SCHEDULE U-VALUE: 0.20 MAXIMUM	INSULATED HOLLOW METAL (IMH)	TYPE E: MFG: LYNDEN DOOR STYLE: STANDARD CONSTRUCTION, WOOD VENEER (FLUSH PANEL) WITH LOUVERS (120 SQ IN OF OPENING) P8 PARTICLEBOARD CORE AT NON-RATED DOORS ROTARY CUT NATURAL BIRCH, BOOK MATCHED CLEARLINE FACTORY FINISH IN 00-CLEAR FIRE RATING: PER DOOR SCHEDULE	WOOD SWINGING DOOR (WD)
TYPE B: MFG: CURRIES STYLE: 707 SERIES HEAVY DUTY SEAMLESS WITH WELDED EDGE 18 GAUGE, POLYSTYRENE CORE FINISH: PRIMED / READY TO PAINT, PAINT PER SCHEDULE GLASS: REFER TO DOOR LEGEND ON SHEET A5.02 FIRE RATING: PER DOOR SCHEDULE	HOLLOW METAL DOOR (HM)	TYPE F: MFG: LYNDEN DOOR STYLE: STANDARD CONSTRUCTION, WOOD VENEER (FLUSH PANEL) P8 PARTICLEBOARD CORE AT NON-RATED DOORS ROTARY CUT NATURAL BIRCH, BOOK MATCHED CLEARLINE FACTORY FINISH IN 00-CLEAR	WOOD BY-PASS DOOR
TYPE B: MFG: LYNDEN DOOR STYLE: STANDARD CONSTRUCTION, WOOD VENEER (FLUSH PANEL) & COMMERCIAL SERIES (CD), WOOD VENEER (FLUSH PANEL) MODEL: P8 PARTICLEBOARD CORE AT NON-RATED DOORS CD200 PARTICLEBOARD CORE AT 20-MIN DOORS CD450 MINERAL CORE AT 45-MIN RATED DOORS CD600 MINERAL CORE AT 60-MIN RATED DOORS CD900 MINERAL CORE AT 90-MIN RATED DOORS ROTARY CUT NATURAL BIRCH, BOOK MATCHED CLEARLINE FACTORY FINISH IN 00-CLEAR FIRE RATING: PER DOOR SCHEDULE	WOOD SWINGING DOOR (WD)		
TYPE C: MFG: CURRIES STYLE: 707 SERIES HEAVY DUTY SEAMLESS WITH WELDED EDGE 18 GAUGE, POLYSTYRENE CORE FINISH: PRIMED / READY TO PAINT, PAINT PER SCHEDULE GLASS: REFER TO DOOR LEGEND ON SHEET A5.02 FIRE RATING: PER DOOR SCHEDULE	HOLLOW METAL DOOR (HM)		

FRAME BASIS OF DESIGN

INSULATED HOLLOW METAL FRAME (IHM)
MFG: CURRIES
STYLE: THERMAL-BREAK HEAVY DUTY (16 GAUGE)
PRIMED, READY FOR PAINT
FINISH: PAINT PER SCHEDULE

HOLLOW METAL FRAME (HM)
MFG: TIMELY
PRODUCT: KERFED (CK SERIES) FRAME (18 GAUGE)
GASKET: TA-46 INTEGRAL GASKET IN WHITE
CASING: TA-8 STEEL
FINISH: PRIMED AND FACTORY FINISH (GRAY OR SIMILAR, ARCHITECT TO SELECT COLOR)
RATING: PER DOOR SCHEDULE

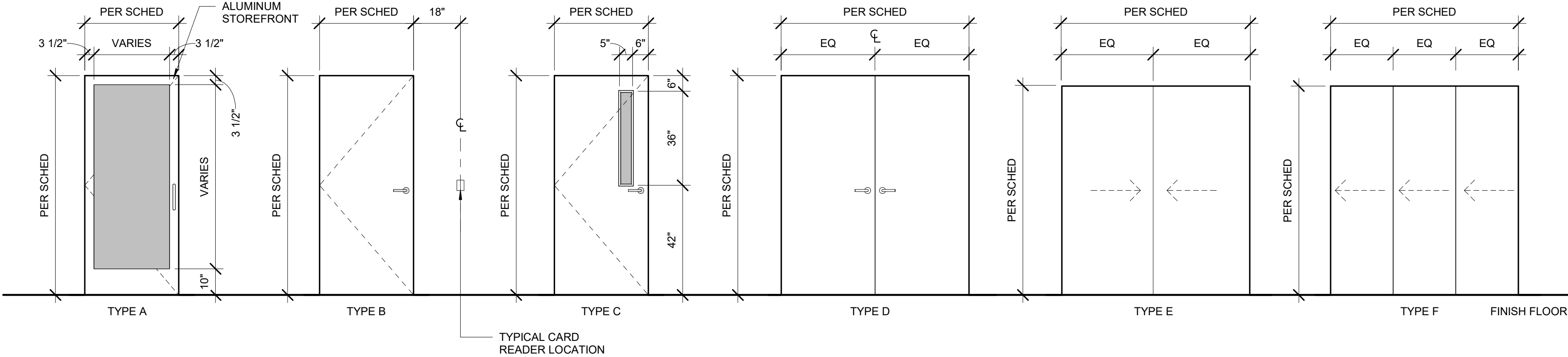
WOOD DOOR FRAME (WD)
CASING: WD3
FINISH: PRIMED, READY TO PAINT

DOOR & FRAME NOTES

- ANSI 11.1-2009 404.2.10 VISION LITES. DOORS AND SIDELIGHTS ADJACENT TO DOORS CONTAINING ONE OR MORE GLAZING PANELS THAT PERMIT VIEWING THROUGH THE PANELS SHALL HAVE THE BOTTOM OF AT LEAST ONE PANEL ON EITHER THE DOOR OR AN ADJACENT SIDELITE 43" MAXIMUM ABOVE THE FLOOR.
- ALL GLAZING FRAMES IN DOORS SHALL BE FINISHED TO MATCH THE DOOR FINISH.
- ALL GLAZING SHALL COMPLY WITH CHAPTER 24.
- SAFETY GLAZING SHALL BE PROVIDED PER CHAPTER 24.

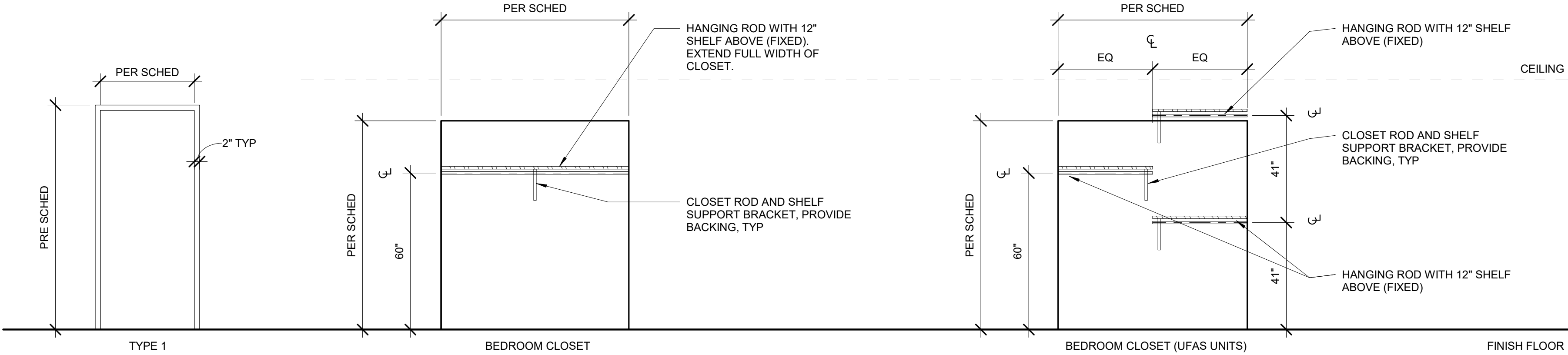
DOOR & FRAME TYPES

DOOR TYPES



FRAME TYPES

CLOSET TYPES



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COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	22-018
DATE	2023.03.08
DRAWN	AKG
REVIEWED	DTW

SHEET NAME
DOOR AND FRAME TYPES

SHEET NO.
A5.00

DOOR AND FRAME SCHEDULE - RESIDENTIAL UNITS															
DOOR NO.	DOORS				FRAMES								FIRE RATING	HARDWARE SET	REMARKS
	TYPE	MATL	FINISH	GLASS TYPE	SIZE		TYPE	MATL	FINISH	HEAD	JAMB	SILL			
A001	B	WD	FF	N/A	36"	80"	1	WD	P7	8/A6.40	8/A6.40	7/A6.40	N/A		-
A002	E	WD	FF	N/A	60"	80"	1	WD	P7	12/A6.40	11/A6.40	--	N/A		
A003	B	WD	FF	N/A	30"	80"	1	WD	P7	8/A6.40	8/A6.40	7/A6.40	N/A		
B001	B	WD	FF	N/A	36"	80"	1	WD	P7	8/A6.40	8/A6.40	7/A6.40	N/A	-	
B002	E	WD	FF	N/A	72"	80"	1	WD	P7	12/A6.40	11/A6.40	--	N/A		
B003	B	WD	FF	N/A	36"	80"	1	WD	P7	8/A6.40	8/A6.40	7/A6.40	N/A	-	
B004	D	WD	FF	N/A	72"	84"	1	WD	P7	8/A6.40	8/A6.40	7/A6.40	N/A		
C001	B	WD	FF	N/A	36"	80"	1	WD	P7	8/A6.40	8/A6.40	7/A6.40	N/A	-	
C002	F	WD	FF		108"	80"		WD	P7	12/A6.40 (SIM)	11/A6.40 (SIM)	--			
C003	B	WD	FF	N/A	36"	80"	1	WD	P7	8/A6.40	8/A6.40	7/A6.40	N/A		-
C004	D	WD	FF	N/A	63"	84"	1	WD	P7	8/A6.40	8/A6.40	7/A6.40	N/A		

DOOR AND FRAME SCHEDULE - COMMON AREAS															
DOOR NO.	DOORS				SIZE		FRAMES						FIRE RATING	HARDWARE SET	REMARKS
	TYPE	MATL	FINISH	GLASS TYPE			TYPE	MATL	FINISH	HEAD	JAMB	SILL			
LEVEL 0															
100Ma	B	HM	P5	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		
100Mb	D	IHM	EP2	N/A	72"	84"	1	IHM	EP2	6 / A6.40	5 / A6.40	4 / A6.40	N/A		HARDWARE TO BE DEADBOLT WITH PASSAGE LEVER
100Rb	D	IHM	EP2	N/A	96"	84"	1	IHM	EP2	6 / A6.40	5 / A6.40	4 / A6.40	N/A		HARDWARE TO BE DEADBOLT WITH PASSAGE LEVER
100T	B	HM	P1 / P4	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	N/A		
100Va	A	ALUM	CLR ANOD	IG2	42"	84"	SF1	ALUM	CLR ANOD	3 / A6.42	2 / A6.42	1 / A6.40	N/A		
100Vb	A	ALUM	CLR ANOD	G2	42"	84"	SF2	ALUM	CLR ANOD	2 / A6.42	5 / A6.42	1 / A6.40 SIM	N/A		
102a	B	HM	P4	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		
102b	C	HM	P4	G2	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		
S01a	C	HM	P5	G2	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		
S02a	B	IHM	EP2	N/A	36"	84"	1	IHM	EP2	6 / A6.40	5 / A6.40	4 / A6.40	N/A		
LEVEL 1															
100J	B	HM	P5	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	N/A		
100Ra	C	WD	P1 / P4	G2	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		
100U	B	HM	P1	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		
101	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
103	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
105	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
107	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
108	B	WD	FF	N/A	36"	84"	1	HM	FF	8 / A6.60	8 / A6.60	7 / A6.60	60 MIN		DOOR CLOSER
109	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		
EA1	B	HM	P5	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		DOOR CLOSER AND GASKET
S02b	C	HM	P1	G2	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		
LEVEL 2															
200E	D	HM	P4	N/A	72"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	N/A		
200R	C	HM	P5	G2	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		
200U	B	HM	P2	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		
201	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
203	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
204	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
205	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
206	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
207	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
208	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
209	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		
S01b	C	HM	P5	G2	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		
S02c	C	HM	P2	G2	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		
LEVEL 3															
300E	D	HM	P4	N/A	72"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	N/A		
300R	C	HM	P5	G2	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		
300U	B	HM	P3	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		
301	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
302S	B	HM	P3		36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	N/A		
303	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
304	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
305	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
306	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
307	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
308	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		DOOR CLOSER
309	B	WD	FF	N/A	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	20 MIN		
S01c	C	HM	P5	G2	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		
S02d	C	HM	P3	G2	36"	84"	1	HM	FF	9 / A6.40	9 / A6.40	10 / A6.40	60 MIN		
ROOF															
R01					48"	48"									



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COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

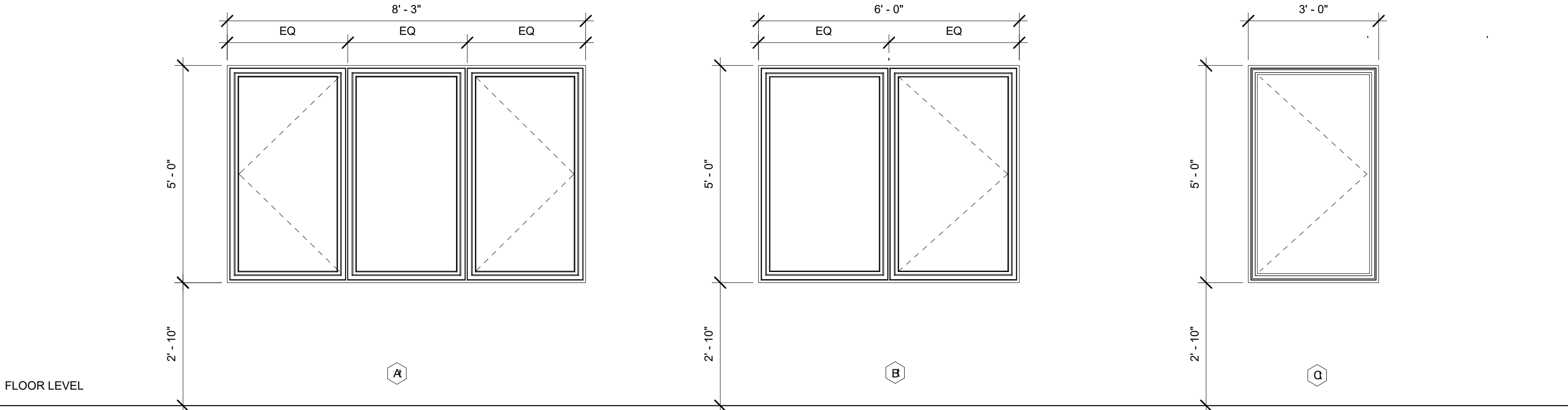
REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	22-018
DATE	2023.03.08
DRAWN	AKG
REVIEWED	DTW

SHEET NAME
DOOR SCHEDULES

SHEET NO.
A5.01

WINDOW TYPES



VINYL WINDOW GENERAL NOTES

1. ALL GLAZING SHALL COMPLY WITH CHAPTER 24.
2. SAFETY GLAZING SHALL BE PROVIDED PER CHAPTER 24.
3. REFER TO EXTERIOR ELEVATIONS FOR LOCATION AND DIRECTION OF ALL CASEMENT SWINGS.
4. EXTERIOR VINYL COLOR TO BE WHITE.
5. INTERIOR VINYL COLOR TO BE WHITE.
6. ALL OPERABLE WINDOWS ON LEVEL 2 AND LEVEL 3 SHALL BE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2090.
7. ALL WINDOWS IN UNITS SHALL RECEIVE WDC1.
8. ALL WINDOW SILLS TO BE WS1.
9. INTERIOR OF WINDOW JAMBS AND HEAD SHALL BE WRAPPED WITH GWB, PAINTED TO MATCH ADJACENT WALL.
10. BASIS OF DESIGN: TRIPLE PANE, LOW-E, ARGON FILLED, MAXIMUM U-FACTOR OF 0.20 (OR AS SPECIFIED TO ACHIEVE BEES RATING).

VINYL WINDOW DETAILS

- 6/A6.41: TYPICAL VINYL WINDOW AT PLP HEAD
5/A6.41: TYPICAL VINYL WINDOW AT PLP JAMB
4/A6.41: TYPICAL VINYL WINDOW AT PLP SILL
- 3/A6.41: TYPICAL VINYL WINDOW AT MP HEAD
2/A6.41: TYPICAL VINYL WINDOW AT MP JAMB
1/A6.41: TYPICAL VINYL WINDOW AT MP SILL

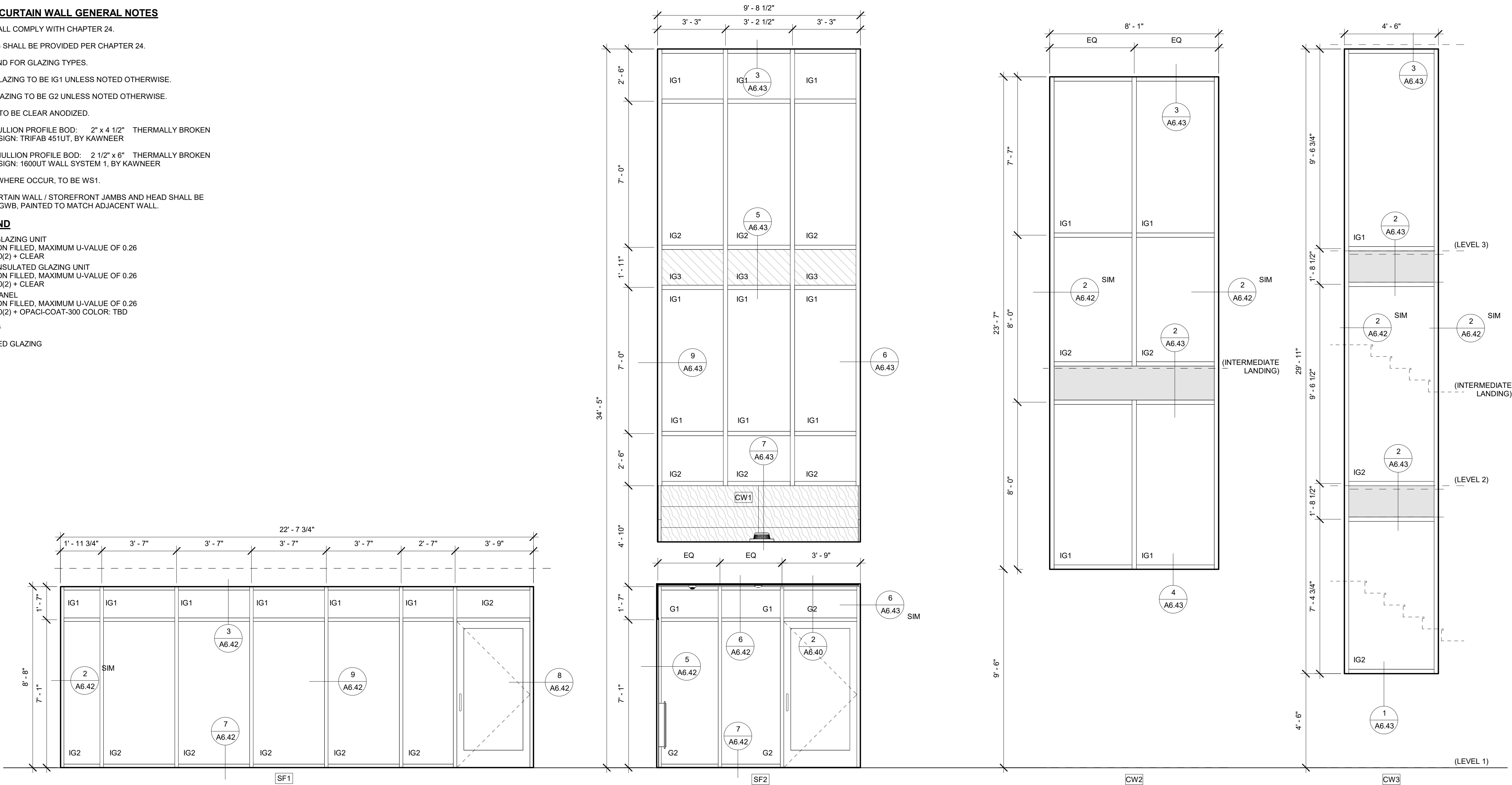
STOREFRONT / CURTAIN WALL TYPES

STOREFRONT / CURTAIN WALL GENERAL NOTES

1. ALL GLAZING SHALL COMPLY WITH CHAPTER 24.
2. SAFETY GLAZING SHALL BE PROVIDED PER CHAPTER 24.
3. REFER TO LEGEND FOR GLAZING TYPES.
4. ALL EXTERIOR GLAZING TO BE IG1 UNLESS NOTED OTHERWISE.
5. ALL INTERIOR GLAZING TO BE G2 UNLESS NOTED OTHERWISE.
6. MULLION FINISH TO BE CLEAR ANODIZED.
7. STOREFRONT MULLION PROFILE BOD: 2" x 4 1/2" THERMALLY BROKEN
A. BASIS OF DESIGN: TRIFAB 451UT, BY KAWNEER
8. CURTAIN WALL MULLION PROFILE BOD: 2 1/2" x 6" THERMALLY BROKEN
A. BASIS OF DESIGN: 1600UT WALL SYSTEM 1, BY KAWNEER
9. WINDOW SILLS, WHERE OCCUR, TO BE WS1.
10. INTERIOR OF CURTAIN WALL / STOREFRONT JAMBS AND HEAD SHALL BE WRAPPED WITH GWB, PAINTED TO MATCH ADJACENT WALL.

GLAZING LEGEND

- IG1: INSULATED GLAZING UNIT
LOW-E, ARGON FILLED, MAXIMUM U-VALUE OF 0.26
SOLARBAN 60(2) + CLEAR
- IG2: TEMPERED INSULATED GLAZING UNIT
LOW-E, ARGON FILLED, MAXIMUM U-VALUE OF 0.26
SOLARBAN 60(2) + CLEAR
- IG3: SPANDREL PANEL
LOW-E, ARGON FILLED, MAXIMUM U-VALUE OF 0.26
SOLARBAN 60(2) + OPACI-COAT-300 COLOR: TBD
- G1: 1/4" GLAZING
- G2: 1/4" TEMPERED GLAZING



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COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN AKG
REVIEWED DTW

SHEET NAME
WINDOW & STOREFRONT TYPES

SHEET NO.
A5.02

APPLIANCES / TOILET ROOM ACCESSORIES / SPECIALTY EQUIPMENT					
CODE	DESCRIPTION	MANUFACTURER	MODEL	FINISH	COMMENTS
PUBLIC TOILET ACCESSORIES					
BCS	BABY CHANGING STATION	KOALA KARE	KB200-SS	GREY AND STAINLESS STEEL	--
GB	GRAB BAR	BOBRICK	B-6806 SERIES	SATIN-FINISH STAINLESS STEEL	--
MR2	MIRROR	-	36X36 POLISHED EDGES	SATIN NICKEL	TO WALL WITH MASTIC AND ALUMINUM J-MOLD AT TOP AND BOTTOM.
PTDR	PAPER TOWEL DISPENSER / RECEPTACLE	BOBRICK	B-38032	SATIN-FINISH STAINLESS STEEL	--
SD	SOAP DISPENSER	BOBRICK	B-26627	SATIN-FINISH STAINLESS STEEL	--
SND	SANITARY NAPKIN DISPOSAL	BOBRICK	B-270	SATIN-FINISH STAINLESS STEEL	--
TPD2	TOILET PAPER DISPENSER	BOBRICK	B-4288	SATIN-FINISH STAINLESS STEEL	--
TSCD	TOILET SEAT COVER DISPENSER	BOBRICK	B-4221	SATIN-FINISH STAINLESS STEEL	--
SPECIALTY EQUIPMENT - JANITOR					
MBH	MOP AND BROOM HOLDER	BOBRICK	B-223	SATIN-FINISH STAINLESS STEEL	--
SPECIALTY EQUIPMENT - LOBBY					
MB1	MAILBOX / PARCEL BOX	FLORENCE CORPORATION	4C12D-10	ANODIZED ALUMINUM	PROVIDE (3) KEYS, (1) CLEAR PLASTIC CARD HOLDER PER BOX, FRONT LOAD UNITS. USPS ACCESS, ADA COMPLIANT
MB2	MAILBOX / PARCEL BOX	FLORENCE CORPORATION	4C12D-11	ANODIZED ALUMINUM	PROVIDE (3) KEYS, (1) CLEAR PLASTIC CARD HOLDER PER BOX, FRONT LOAD UNITS. USPS ACCESS, ADA COMPLIANT
RD	RENT DROP BOX	FLORENCE CORPORATION	120RA	ANODIZED ALUMINUM	'RENT DROP' TO BE ON FRONT OF UNIT. RECESSED UNIT.
SPECIALTY EQUIPMENT - STORAGE					
STCG	STORAGE CUBE	FOLDING GUARD CORPORATION	ST134GALV	GALVANIZED STEEL	3'X 4' X 90"H
UNIT					
CH	COAT HOOKS	BRADLEY CORP	9134 HAT & COAT HOOK	SATIN-FINISH STAINLESS STEEL	--
UNIT APPLIANCES					
DW1	DISHWASHER	GE APPLIANCES	GDP630PGRWW	WHITE	24" WIDE DISHWASHER, ENERGY STAR QUALIFIED, PLASTIC INTERIOR
REF1	REFRIGERATOR	GE APPLIANCES	GIE22JTNRWW	WHITE	ENERGY STAR QUALIFIED, 21.9 CU. FT. TOP-FREEZER REFRIGERATOR
RG1	RANGE	GE APPLIANCES	JB258DMWW	WHITE	ENERGY STAR QUALIFIED 30" FREE STANDING ELECTRIC RANGE WITH ELECTRIC COILS
RH1	RANGE HOOD	PER MECHANICAL	PER MECHANICAL	WHITE	30" UNDERCABINET HOOD, REFER TO INTERIOR ELEVATIONS FOR UFAS COMPLIANT SWITCH AT UFAS UNITS.
UNIT APPLIANCES (UFAS)					
DW2	DISHWASHER (UFAS)	GE APPLIANCES	GDT225SGLWW	WHITE	24" WIDE DISHWASHER, ENERGY STAR QUALIFIED, ADA COMPLIANT, STAINLESS STEEL INTERIOR
REF2	REFRIGERATOR (UFAS)	GE APPLIANCES	GWE19JGL	WHITE	ENERGY STAR QUALIFIED, ADA COMPLIANT, 18.6 CU. FT. COUNTER-DEPTH FRENCH DOOR REFRIGERATOR WITH BOTTOM FREEZER
RG2	DROP-IN RANGE (UFAS)	GE APPLIANCES	JD630DTWW	WHITE	ENERGY STAR QUALIFIED 30" DROP IN ELECTRIC RANGE, GLASS TOP, ELECTRIC OVEN WITH GLASS DOOR FRONT, ADA COMPLIANT
RH1	RANGE HOOD	PER MECHANICAL	PER MECHANICAL	WHITE	30" UNDERCABINET HOOD, REFER TO INTERIOR ELEVATIONS FOR UFAS COMPLIANT SWITCH AT UFAS UNITS.
UNIT BATH TOILET ACCESSORIES					
BTS	BATHTUB SEAT (UFAS)	PRECISION-FIT BATH	FOLDING TUB SEAT	WHITE	--
GB	GRAB BAR (UFAS)	BOBRICK	B-6806 SERIES	SATIN-FINISH STAINLESS STEEL	--
MR1	MIRROR	-	40X36 POLISHED EDGES	SATIN NICKEL	MOUNT TO WALL WITH MASTIC AND ALUMINUM J-MOLD AT TOP AND BOTTOM.
MR2	MIRROR	-	48X36 POLISHED EDGES	SATIN NICKEL	MOUNT TO WALL WITH MASTIC AND ALUMINUM J-MOLD AT TOP AND BOTTOM.
MR3	MIRROR	-	36X36 POLISHED EDGES	SATIN NICKEL	MOUNT TO WALL WITH MASTIC AND ALUMINUM J-MOLD AT TOP AND BOTTOM.
MR4	MIRROR	-	30X36 POLISHED EDGE	SATIN NICKEL	MOUNT TO WALL WITH MASTIC AND ALUMINUM J-MOLD AT TOP AND BOTTOM.
SCR	SHOWER CURTAIN ROD	BOBRICK	B-207	SATIN-FINISH STAINLESS STEEL	HEAVY DUTY, COORDINATE EXACT LOCATION WITH OWNER PRIOR TO INSTALLATION
SGB	SHOWER GRAB BARS	BOBRICK	B-6806 SERIES	SATIN-FINISH STAINLESS STEEL	--
TH	TOWEL HOOK	MOEN / METHOD	YB2403CH	SATIN NICKEL	--
TPD1	TOILET PAPER DISPENSER	MOEN / METHOD	YB2408CH	SATIN NICKEL	--
TR	TOWEL RING	MOEN / METHOD	YB2486CH	SATIN NICKEL	--
UNIT ELECTRICAL					
DP	DATA PANEL	REFER TO ELECTRICAL			--
EP	ELECTRICAL PANEL	REFER TO ELECTRICAL			--

APPLIANCE GENERAL NOTES

- CONTRACTOR TO TEST RUN APPLIANCES AFTER INSTALLATION.
- WASHERS AND DRYERS TO BE OWNER FURNISHED, OWNER INSTALLED.

MATERIAL LEGEND: GENERAL NOTES

- CASEWORK DOOR / DRAWER PULL BASIS OF DESIGN: LIBERTY CABINET BAR PULL, SATIN NICKEL, ADA COMPLIANT.
- MILLWORK PAINT AND TEXTURE:
 - FIRST COAT: BENJAMIN MOORE ADVANCE WATER BORNE INTERIOR ALKYD PAINT - PRIMER (790) OR EQUAL.
 - SECOND COAT: PRODUCT AS SPECIFIED IN COLOR AND MATERIAL LEGEND.
 - THIRD COAT: PRODUCT AS SPECIFIED IN COLOR AND MATERIAL LEGEND.
- WALL / CEILING PAINT AND TEXTURE:
 - TEXTURE: LIGHT ORANGE PEEL
 - FIRST COAT: BENJAMIN MOORE ULTRA SPEC 500 (N34) INTERIOR PRIMER OR EQUAL.
 - SECOND COAT: PRODUCT AS SPECIFIED IN COLOR AND MATERIAL LEGEND.
 - THIRD COAT: PRODUCT AS SPECIFIED IN COLOR AND MATERIAL LEGEND.

COLOR AND MATERIAL LEGEND							
MARK	MATERIAL	MANUFACTURER	STYLE / PRODUCT	COLOR	SIZE	FINISH	NOTES
01 - EXTERIOR							
EP1	EXTERIOR PAINT	SHERWIN WILLIAMS	ALL SURFACE ENAMEL	MARCH WIND SW 7668	--	ENAMEL	COLOR TO MATCH MP1
EP2	EXTERIOR PAINT	SHERWIN WILLIAMS	ALL SURFACE ENAMEL	TAMARIND SW 7538	--	ENAMEL	COLOR TO MATCH PLP1
EP3	EXTERIOR PAINT	SHERWIN WILLIAMS	ALL SURFACE ENAMEL	CAVIAR SW 6990	--	ENAMEL	COLOR TO MATCH PLP2
MP1	METAL PANEL	MORIN	EXPOSED VB-31 PROFILE B	CHROMIUM GRAY	20 GA	FLUROPON PVDF - KYNAR 500	COLOR MATCHED EXPOSED FASTENERS
MP2	METAL PANEL	MORIN	CONCEALED F-12-0	BRITTLEBUSH SW 6684	20 GA	CUSTOM COLOR	SOLID PANEL AT CANOPY FASCIA, PERFORATED PANEL AT SOFFIT. COLOR MATCH EXPOSED FASTENERS.
MP3	METAL PANEL	MORIN	METAL FLASHING	SPARTAN BRONZE / CHROMIUM GRAY	20 GA	FLUROPON PVDF - KYNAR 500	FIRST COLOR TO BE INSTALLED ADJACENT TO PLP LOCATIONS, SECOND COLOR TO BE INSTALLED ADJACENT TO MP1. EXPOSED FASTENERS ARE TO BE COLOR MATCHED
PLP1	PHENOLIC LAMINATE PANEL	FIBERRESIN INDUSTRIES	STONEWOOD SELECT EXTERIOR PANELS	HILLSGROVE HICKORY (8330-AA)	8 MM 12" PLANKS	CLASS A	COLOR MATCHED EXPOSED FASTENERS
PLP2	PHENOLIC LAMINATE PANEL	FIBERRESIN INDUSTRIES	STONEWOOD STANDARD EXTERIOR PANELS	BLACK (6905-CB)	8MM	CLASS A	COLOR MATCHED EXPOSED FASTENERS
PLP3	PHENOLIC LAMINATE PANEL	FIBERRESIN INDUSTRIES	STONEWOOD STANDARD EXTERIOR PANELS WITH CUSTOM ART	BLACK (6905-CB) / (PER ARTIST)	8MM	CLASS A	COLOR MATCHED EXPOSED FASTENERS
RP1	RESIN PANEL	3FORM	CHROMA XT	GOLDEN Y13	1/2" THICK	-	INSTALL WITH 6" STANDOFFS. REFER TO DETAIL DRAWINGS
RP2	RESIN PANEL	3FORM	CHROMA XT	JELLO R19	1/2" THICK	--	INSTALL WITH 6" STANDOFFS. REFER TO DETAIL DRAWINGS
RP3	RESIN PANEL	3FORM	CHROMA XT	CHARMER 014	1/2" THICK	--	INSTALL WITH 6" STANDOFFS. REFER TO DETAIL DRAWINGS
02 - CEILINGS							
ACT1	ACOUSTICAL CEILING TILE	ARMSTRONG	DUNE, SQUARE LAY-IN	WHITE	24" X 48"		15/16" GRID
03 - WALLS							
P1	PAINT (LEVEL1 ACCENT)	SHERWIN WILLIAMS	HARMONY INTERIOR LATEX PAINT / ALL SURFACE ENAMEL / HIGH PERFORMANCE EPOXY	CUT THE MUSTARD SW 6384	--	EG-SHEL ON WALLS / ENAMEL AT DOORS, FRAMES AND TRIM / EPOXY AT WALLS IN TOILET 100T.	REFER TO FINISH PLANS FOR ACCENT PAINT LOCATIONS.
P2	PAINT (LEVEL 2 ACCENT)	SHERWIN WILLIAMS	HARMONY INTERIOR LATEX PAINT / ALL SURFACE ENAMEL	HUSKY ORANGE SW 6636	--	EG-SHEL ON WALLS / ENAMEL AT DOORS, FRAMES AND TRIM	REFER TO FINISH PLANS FOR ACCENT PAINT LOCATIONS.
P3	PAINT (LEVEL 3 ACCENT)	SHERWIN WILLIAMS	HARMONY INTERIOR LATEX PAINT / ALL SURFACE ENAMEL	FORWARD FUCHIA SW 6842	--	EG-SHEL ON WALLS / ENAMEL AT DOORS, FRAMES AND TRIM	REFER TO FINISH PLANS FOR ACCENT PAINT LOCATIONS.
P4	PAINT (GENERAL COMMON AREA PAINT)	SHERWIN WILLIAMS	HARMONY INTERIOR LATEX PAINT / ALL SURFACE ENAMEL	SNOWBOUND SW 7004	--	EG-SHEL ON WALLS / ENAMEL AT DOORS, FRAMES AND TRIM	--
P5	PAINT (NEUTRAL ACCENT)	SHERWIN WILLIAMS	HARMONY INTERIOR LATEX PAINT / ALL SURFACE ENAMEL	SW 7019 GAUNTLET GRAY	--	EG-SHEL ON WALLS / ENAMEL AT DOORS, FRAMES AND TRIM AND RAILING	REFER TO FINISH PLANS FOR ACCENT PAINT LOCATIONS.
WC1	WALL COVERING	MOMENTUM	CUSTOM ARTWORK / GRAPHIC TBD	CROSSING DIGITAL WALL COVERING GROUND	--	--	--
WP1	WALL PROTECTION	INPRO	PALLADIUM RIGID SHEET	FEATHER 0238	0.040" THICK	--	FULL HEIGHT
WP2	WALL PROTECTION	INPRO	PALLADIUM RIGID SHEET	SHIPROCK 0580	0.040" THICK	--	4' AFF. REFER TO FINISH PLANSAND INTERIOR ELEVATIONS FOR PAINT OR WALL COVERING ABOVE.
WT1	WALL TILE	ARCHITECTURAL SURFACES	METALLICA	WHITE LUX	2 3/8 X 8 7/16	--	STACKED VERTICAL INSTALLATION.
04 - FLOORS							
CONC1	SEALED CONCRETE	--	--	--	--	--	--
CPT1	CARPET TILE	MILLIKEN CARPET	TWEETER TWE256	HARVEST CHROMA	25CM X 1M (9.84" X 39.4")	-	STAGGERED INSTALLATION, REFER TO FINISH PLAN FOR INSTALLATION PATTERN.
CPT2	CARPET TILE	MILLIKEN CARPET	MID-RANGE MDR256-190	HARVEST BLEND	25CM X 1M (9.84" X 39.4")	-	STAGGERED INSTALLATION, REFER TO FINISH PLAN FOR INSTALLATION PATTERN.
CPT3	CARPET TILE	MILLIKEN CARPET	WOOFER WOF256-254	HARVEST DETAIL	25CM X 1M (9.84" X 39.4")	-	STAGGERED INSTALLATION, REFER TO FINISH PLAN FOR INSTALLATION PATTERN.
CPT4	CARPET TILE	MILLIKEN CARPET	SUBWOOFER SUB254	HICKORY GREY	25CM X 1M (9.84" X 39.4")	-	STAGGERED INSTALLATION, REFER TO FINISH PLAN FOR INSTALLATION PATTERN.
RB1	RUBBER BASE	TARKETT	TRADITIONAL TOE	BURNT UMBER 63	4" HIGH X 1/8" THICK	--	--
RF1	RESILIENT FLOORING	PATCRAFT	ITERATE I638V	INTENTION 00700	9" X 36"	--	GLUE DOWN, STAGGERED INSTALLATION. NO TRANSITION NEEDED BETWEEN RF2 AND CARPET/WOM.
RF2	RESILIENT FLOORING	SHAW CONTRACT	INNATE 4219V	MINERAL 95760	SHEETGOOD	--	--
RSTR1	RUBBER STAIR TREAD/RISER	TARKETT	COLOR SPLASH RUBBER TREAD / RISER - HNTRSP-VF5-XX	GORGE AREA	REFER TO PLANS	HAMMERED	USE WITH RT1 AT STAIR LANDINGS
RT1	RUBBER TILE	TARKETT	COLOR SPLASH RUBBER TILE - HRTSP-VF5	GORGE AREA	24" X 24"	HAMMERED	USE WITH RSTR1 AT STAIRS
WOM1	WALK OFF MAT	BENTLEY MILLS	ROUGH IDEA 8RN24	OUTLINE 800115	24" X 24"	--	ASHLAR
05 - TRANSITION							
TR1	FLOOR TRANSITION	TARKETT	JOHNSONITE SLIM LINE TRANSITIONS, SLT-63-C	BURNT UMBER 63			USE BETWEEN COMMON AREA CARPET (CPT1 / CPT2 / CPT3 / CPT4) AND RESILIENT FLOORING RF2 OR RF3.
TR2	FLOOR TRANSITION	TARKETT	JOHNSONITE SLIM LINE TRANSITIONS, SLT-55-C	SILVER GREY 55			USE BETWEEN UNIT CARPET (CPT5) AND UNIT RESILIENT FLOORING (RF3)
07 - MISC							
CG1	CORNER GUARDS	--	STAINLESS STEEL	--	48" HIGH W/ 2" LEGS	--	ALL OUTSIDE COERNERS
TB1	TACKBOARD	FORBO	BULLETIN BOARD	MUSHROOM MEDLEY 2208	--	--	--
WDW1	WINDOW COVERING	MECHOSHADES	THERMOVEIL 1600 SERIES	1603 BROOME (LIGHT GREY)	--	--	3% OPEN. PROVIDE AT OFFICE 102, LOBBY 200L AND LOBBY 300L.
08 - ELEVATOR							
EC1	ELEVATOR CAB WALLS	OTIS	5WL PATTERNED STAINLESS STEEL	SATIN STAINLESS STEEL	--	--	PROVIDE PROTECTIVE BLANKETS
EC2	ELEVATOR CAB CEILING	OTIS	--	PAINTED WHITE	--	--	4 LED FLUSH CEILING (FC-4)
EC3	ELEVATOR CAB HANDRAILS	OTIS	--	SATIN STAINLESS STEEL	2"	--	FLAT HANDRAIL (DH-155)
EC4	ELEVATOR CAB DOORS	OTIS	--	SATIN STAINLESS STEEL	--	--	1 HOUR RATED
EC5	ELEVATOR CAB BUMPERS / BASE	OTIS	--	SATIN STAINLESS STEEL	6"	--	FLAT BUMPERS / BASE ON 3 SIDES
10 - UNITS							
CPT5	BROADLOOM CARPET	SHAW CONTRACT	STATEMENT CLASSICBAC 5A257	GALLERY 00512	ROLLGOOD	-	USE WITH PAD1
P7	PAINT (UNIT)	SHERWIN WILLIAMS	HARMONY INTERIOR LATEX PAINT / ALL SURFACE ENAMEL	COLOR MATCH FULLER O'BRIEN (1W18 WHISPER WHITE)	--	EG-SHEL ON WALLS / ENAMEL AT DOORS, FRAMES AND TRIM	--
PAD1	CARPET PAD	--	6LB REBOND	--			USE WITH CPT5
PL1	PLASTIC LAMINATE COUNTERTOPS	FORMICA	HIGH PRESSURE LAMINATE	NEO-CLOUD 6314	--	MATTE 58	DED ALT#1: REMOVE PLAM COUNTERTOPS
RB2	RUBBER BASE	TARKETT	TRADITIONAL TOE	SILVER GREY 55	4" HIGH X 1/8" THICK	--	USE IN UNIT BATHROOMS ONLY.
RF3	RESILIENT FLOORING	SHAW CONTRACT	TERRAIN II 0453V	SUMAC 07004	6" X 48", 12 MIL	--	GLUE DOWN, STAGGERED INSTALLATION
SS1	SOLID SURFACE COUNTERTOPS	LG HAUSYS	HI-MACS	GEYSER	--	--	ADD ALT #1: REPLACE ALL COUNTERTOPS WITH SS1
WD1	WOOD CABINETS	SMART CABINETS	FREEMPORT DOOR STYLE / MAPLE	SILVERGRASS STAIN ON MAPLE	--	--	--
WD2	WOOD BASE	--	MDF	PAINT P7	1" X 3"	ENAMEL	BOD: METRIE M0666D
WD3	WOOD CASING	--	MDF	PAINT P7	1" X 2"	ENAMEL	BOD: METRIE M0472O
WD4	WOOD SILL	--	MDF	PAINT P7	1" X DEPTH AS REQD	ENAMEL	--
WDW2	WINDOW COVERING	SWF CONTRACT	8 GAUGE ALUMINUM HORIZONTAL SLATS	NAVAJO WHITE / 376	--	--	CORD LIFT AND ADJUSTABLE SLAT OPENING



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COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE

#	DESCRIPTION	DATE

JOB NO.	22-018
DATE	2023.03.08
DRAWN	AKG
REVIEWED	DTW

SHEET NAME
MATERIAL LEGEND, APPLIANCE
AND TOILET ACCESSORY
SCHEDULES

SHEET NO.
A5.03

ROOM FINISH SCHEDULE - LEVEL 0									
RM NUM	ROOM NAME	FLOOR	BASE	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CEILING FINISH	COMMENTS / NOTES
LEVEL 0									
100	LOBBY	RF1 / CPT4 ON RAMP	RB1	P1	WP2 / WC1	P4 / P5 / WP2	P4 / P5	ACT1	REFER TO FINISH PLAN FOR WALL FINISH LOCATIONS.
100M	MECHANICAL / ELECTRICAL	CONC	RB1	P4	P4	P4	P4	P4	
100R	REFUSE	CONC	RB1	P4	P4	WP2 / P4	WP2 / P4	P4	
100T	TOILET	RF1	RB1	WT1	P1	P1	P1	P4	ON NORTH WALL, RUN WT1 TO FLOOR (NO RB1).
100V	VESTIBULE	WOM1	RB1	P4	P5	P4	P4	P4	
102	OFFICE	CPT4	RB1	P4	P4	P4	P4	ACT1	
E1	ELEVATOR	RF1	RB1	EC1	EC1	EC1	EC1	EC2	
S01	STAIR	RSRT1 / RT1	RB1	P4	P4	P4	P1	P4	
S02	STAIR	RSRT1 / RT1	RB1	P1	P4	P4	P4	P4	

*REFER TO ENLARGED FINISH PLANS FOR UNIT FINISHES.

FINISH PLAN: GENERAL NOTES

- REFER TO A5.03 FOR MATERIAL, APPLIANCE AND TOILET ACCESSORIES.
- PUBLIC AREAS: ALL WALLS AND CEILINGS TO RECEIVE P4 UNLESS OTHERWISE NOTED.
- UNITS: ALL WALLS AND CEILINGS TO RECEIVE P7 UNLESS OTHERWISE NOTED.
- REFER TO RCP FOR SOFFIT PAINT SELECTIONS.
- THE FLOOR FINISH PATTERNS SHOWN ON THE FINISH PLANS MAY NOT BE DEPICTED UNDER WALL HUNG ITEMS, UNDER COUNTERTOPS WHERE FIXED BASE CABINETS ARE NOT PROVIDED, UNDER COUNTERTOPS WHERE APPLIANCES ARE LOCATED, ETC. ALL FLOORING SHALL EXTEND UNDER THESE ELEMENTS TO PROVIDE A CONTINUOUS FINISHED FLOOR. THE CONTRACTOR IS RESPONSIBLE FOR USING THESE PLANS IN CONJUNCTION WITH INTERIOR ELEVATIONS AND DETAILS TO DETERMINE THE EXTENT OF FLOOR FINISHES.
- NO RUBBER BASE SEAM SHALL OCCUR WITHIN 12" OF A WALL CORNER.
- ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT THE CENTER LINE OF DOOR WHEN IN THE CLOSED POSITION, UNLESS OTHERWISE NOTED.
- ALL ACCESS AND ELECTRICAL PANELS SHALL BE PAINTED TO MATCH ADJACENT PAINT COLOR.
- WHERE PAINT TERMINATES ON AN OUTSIDE CORNER, CONTRACTOR SHALL ENSURE CRISP PAINT TRANSITION.
- ALL EXPOSED STEEL COMPONENTS SHALL BE PAINTED P5 (ENAMEL).
- ALL ACCESS PANELS TO MATCH ADJACENT SURFACE PAINT COLOR.
- ALL CEILING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH IBC CHAPTER 16 SEISMIC DESIGN REQUIREMENTS AND STANDARDS FOR THE APPROPRIATE ZONE.
- ALL WALL AND CEILING FINISHES SHALL MEET THE REQUIREMENTS OF CHAPTER 8 AND TABLE 803.5 OF THE INTERNATIONAL BUILDING CODE THAT IS ADOPTED WITHIN THE MUNICIPALITY OF ANCHORAGE.

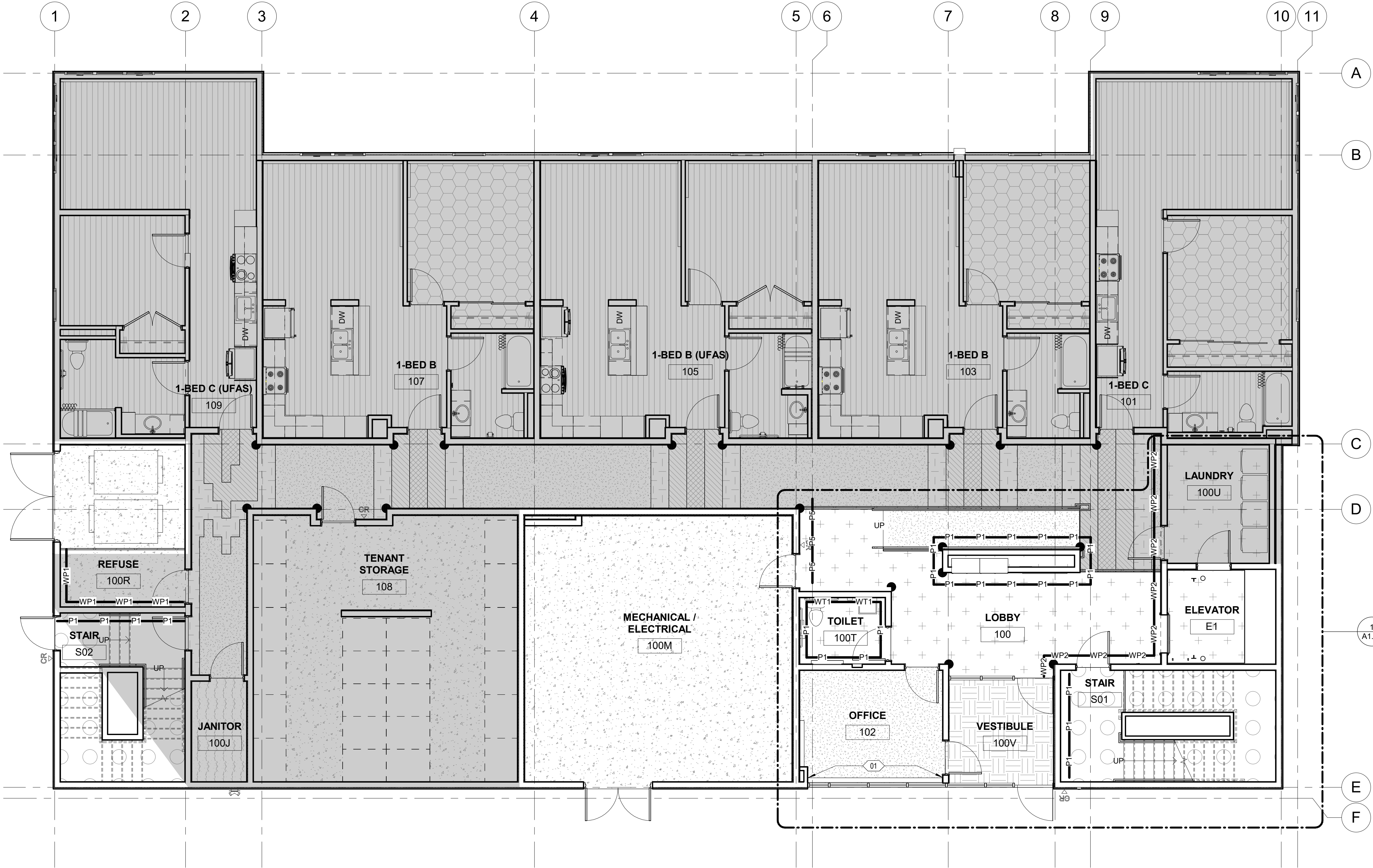
FINISH PLAN: SHEET NOTES

- 01 WDW1 WINDOW COVERINGS

FINISH PLAN: LEGEND

- CONC
CPT1
CPT2
CPT3
CPT4
CPT5
RF1
RF2
RF3
RSRT1 / RT1
WOM1

- P1 P1 P1
P2 P2 P2
P3 P3 P3
P5 P5 P5
WP1 WP1 WP1
WP2 WP2 WP2
WT1 WT1 WT1
CORNER GUARD
- WP1 TO 4' AFF* WITH P4 ABOVE.
*FULL HEIGHT IN JANITOR 100J.
WP2 WITH PAINT** ABOVE. REFER TO INTERIOR ELEVATIONS FOR HEIGHT OF WP2.
***P4 IN LAUNDRY AND REFUSE ROOMS.
P5 IN LEVEL 2 AND 3 LOBBIES.
WC1 AT LEVEL 0/1 LOBBY.
- WT1, FULL HEIGHT
CORNER GUARD



1 FINISH PLAN - LEVEL 0
3/16" = 1'-0"



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COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN JACS
REVIEWED DTW

SHEET NAME
LEVEL 0 FINISH PLAN

SHEET NO.
A5.10

ROOM FINISH SCHEDULE - LEVEL 1									
RM NUM	ROOM NAME	FLOOR	BASE	WALLS				CEILING FINISH	COMMENTS / NOTES
				NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL		
LEVEL 1									
100C	CIRCULATION	CPT1 / CPT2 / CPT3 / CPT4	RB1	P1 / P4	WP2 / WC1	P5	P1	ACT1	REFER TO FINISH PLAN FOR WALL FINISH LOCATIONS.
100J	JANITOR	RF2	RB1	WP1	WP1	WP1	WP1	P4	WP1 FULL HEIGHT ALL WALLS.
100U	LAUNDRY	RF1	RB1	WP2 / P4	WP2 / P4	WP2 / P4	WP2 / P4	ACT1	
108	TENANT STORAGE	CONC	RB1	P4	P4	P4	P4	P4	

*REFER TO ENLARGED FINISH PLANS FOR UNIT FINISHES.

FINISH PLAN: GENERAL NOTES

1. REFER TO A5.03 FOR MATERIAL, APPLIANCE AND TOILET ACCESSORIES.

2. PUBLIC AREAS: ALL WALLS AND CEILINGS TO RECEIVE P4 UNLESS OTHERWISE NOTED.

3. UNITS: ALL WALLS AND CEILINGS TO RECEIVE P7 UNLESS OTHERWISE NOTED.

4. REFER TO RCP FOR SOFFIT PAINT SELECTIONS.

5. THE FLOOR FINISH PATTERNS SHOWN ON THE FINISH PLANS MAY NOT BE DEPICTED UNDER WALL HUNG ITEMS, UNDER COUNTERTOPS WHERE FIXED BASE CABINETS ARE NOT PROVIDED, UNDER COUNTERTOPS WHERE APPLIANCES ARE LOCATED, ETC. ALL FLOORING SHALL EXTEND UNDER THESE ELEMENTS TO PROVIDE A CONTINUOUS FINISHED FLOOR. THE CONTRACTOR IS RESPONSIBLE FOR USING THESE PLANS IN CONJUNCTION WITH INTERIOR ELEVATIONS AND DETAILS TO DETERMINE THE EXTENT OF FLOOR FINISHES.

6. NO RUBBER BASE SEAM SHALL OCCUR WITHIN 12" OF A WALL CORNER.

7. ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT THE CENTER LINE OF DOOR WHEN IN THE CLOSED POSITION, UNLESS OTHERWISE NOTED.

8. ALL ACCESS AND ELECTRICAL PANELS SHALL BE PAINTED TO MATCH ADJACENT PAINT COLOR.
8. WHERE PAINT TERMINATES ON AN OUTSIDE CORNER, CONTRACTOR SHALL ENSURE CRISP PAINT TRANSITION.

9. ALL EXPOSED STEEL COMPONENTS SHALL BE PAINTED P5 (ENAMEL).

10. ALL ACCESS PANELS TO MATCH ADJACENT SURFACE PAINT COLOR.

11. ALL CEILING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH IBC CHAPTER 16 SEISMIC DESIGN REQUIREMENTS AND STANDARDS FOR THE APPROPRIATE ZONE.

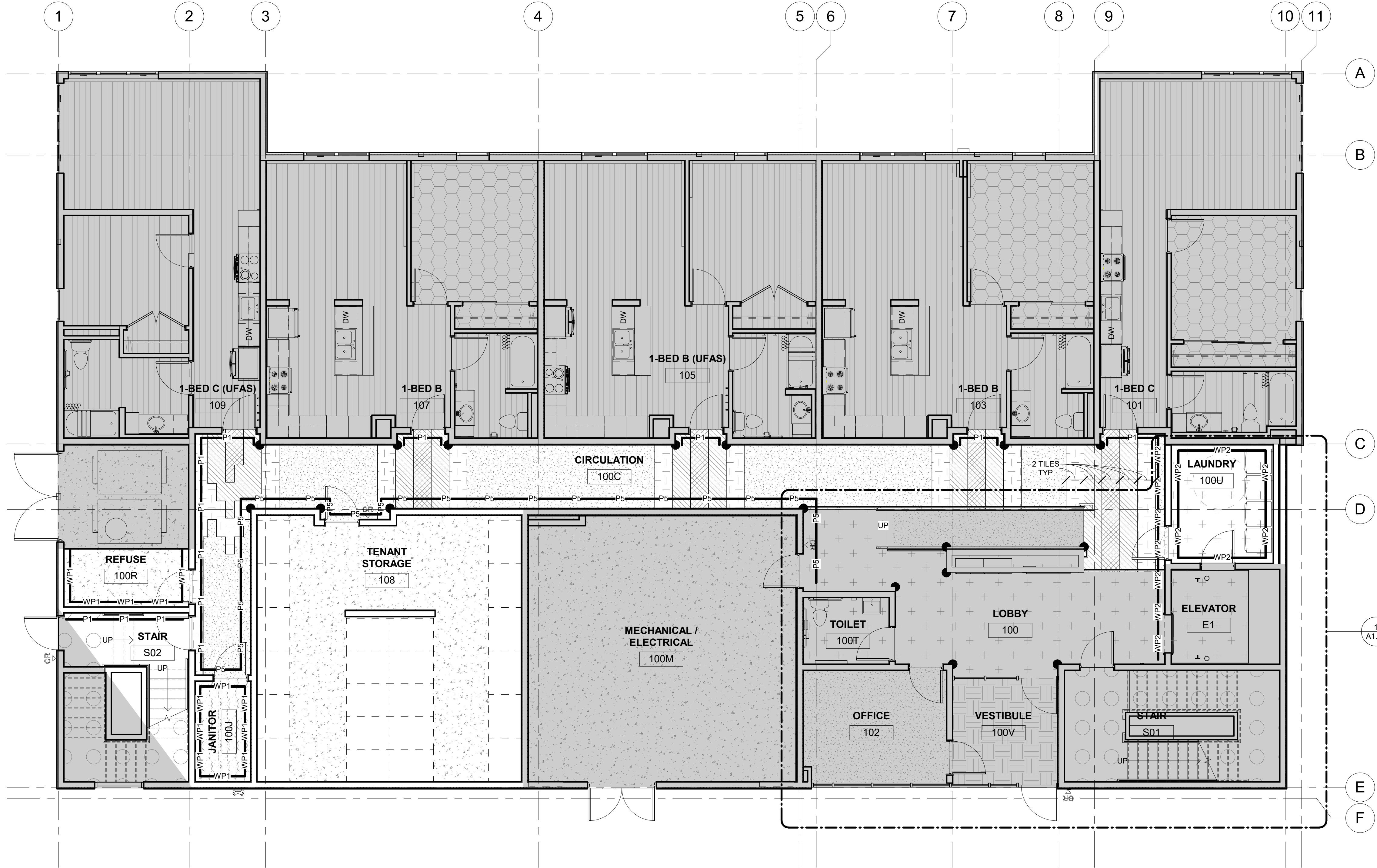
12. ALL WALL AND CEILING FINISHES SHALL MEET THE REQUIREMENTS OF CHAPTER 8 AND TABLE 803.5 OF THE INTERNATIONAL BUILDING CODE THAT IS ADOPTED WITHIN THE MUNICIPALITY OF ANCHORAGE.

FINISH PLAN: SHEET NOTES

- 01 WDW1 WINDOW COVERINGS

FINISH PLAN: LEGEND

- CONC
- CPT1
- CPT2
- CPT3
- CPT4
- CPT5
- RF1
- RF2
- RF3
- RSRT1 / RT1
- WOM1

P1P2P3P5WP1WP2WT1CORNER GUARDWP1 TO 4' AFF" WITH P4 ABOVE.
*FULL HEIGHT IN JANITOR 100J.WP2 WITH PAINT** ABOVE. REFER TO
INTERIOR ELEVATIONS FOR HEIGHT OF WP2.
***P4 IN LAUNDRY AND REFUSE ROOMS.
P5 IN LEVEL 2 AND 3 LOBBIES.
WC1 AT LEVEL 0/1 LOBBY.

1 FINISH PLAN - LEVEL 1
3/16" = 1'-0"



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REVISION SCHEDULE		
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JOB NO. 22-018
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DRAWN JACS
REVIEWED DTW

SHEET NAME
LEVEL 1 FINISH PLAN

SHEET NO.
A5.11

ROOM FINISH SCHEDULE - LEVEL 2									
RM NUM	ROOM NAME	FLOOR	BASE	NORTH WALL	EAST WALL	WALLS SOUTH WALL	WEST WALL	CEILING FINISH	COMMENTS / NOTES
LEVEL 2									
200C	CIRCULATION	CPT1 / CPT2 / CPT3 / CPT4	RB1	P2 / P4	P2	P2 / P4 / P5	P2 / P5	ACT1	REFER TO FINISH PLAN FOR WALL FINISH LOCATIONS.
200E	ELECTRICAL	CPT4	RB1	P4	P4	P4	P4	P4	--
200L	LOBBY	CPT1 / CPT2 / CPT3 / CPT4	RB1	WP1 / P4	WP1 / P4 / P5	WP2 / P5	P2	ACT1	REFER TO FINISH PLAN FOR WALL FINISH LOCATIONS.
200R	REFUSE	RF2	RB1	WP2 / P4	WP2 / P4	WP2 / P4	WP2 / P4	ACT1	--
200U	LAUNDRY	RF1	RB1	WP2 / P4	WP2 / P4	WP2 / P4	WP2 / P4	ACT1	--
S01	STAIR	RSRT1 / RT1	RB1	P4	P4	P4	P2	P4	--
S02	STAIR	RSRT1 / RT1	RB1	P2	P4	P4	P4	P4	--

*REFER TO ENLARGED FINISH PLANS FOR UNIT FINISHES.

FINISH PLAN: GENERAL NOTES

- REFER TO A5.03 FOR MATERIAL, APPLIANCE AND TOILET ACCESSORIES.
- PUBLIC AREAS: ALL WALLS AND CEILINGS TO RECEIVE P4 UNLESS OTHERWISE NOTED.
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- REFER TO RCP FOR SOFFIT PAINT SELECTIONS.
- THE FLOOR FINISH PATTERNS SHOWN ON THE FINISH PLANS MAY NOT BE DEPICTED UNDER WALL HUNG ITEMS, UNDER COUNTERTOPS WHERE FIXED BASE CABINETS ARE NOT PROVIDED, UNDER COUNTERTOPS WHERE APPLIANCES ARE LOCATED, ETC. ALL FLOORING SHALL EXTEND UNDER THESE ELEMENTS TO PROVIDE A CONTINUOUS FINISHED FLOOR. THE CONTRACTOR IS RESPONSIBLE FOR USING THESE PLANS IN CONJUNCTION WITH INTERIOR ELEVATIONS AND DETAILS TO DETERMINE THE EXTENT OF FLOOR FINISHES.
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FINISH PLAN: SHEET NOTES

01 WDW1 WINDOW COVERINGS

FINISH PLAN: LEGEND

CONC

CPT1

CPT2

CPT3

CPT4

CPT5

RF1

RF2

RF3

RSRT1 / RT1

WOM1

P1

P1

P1

P2

P2

P2

P3

P3

P3

P5

P5

P5

WP1

WP1

WP1

WP2

WP2

WP2

WT1

WT1

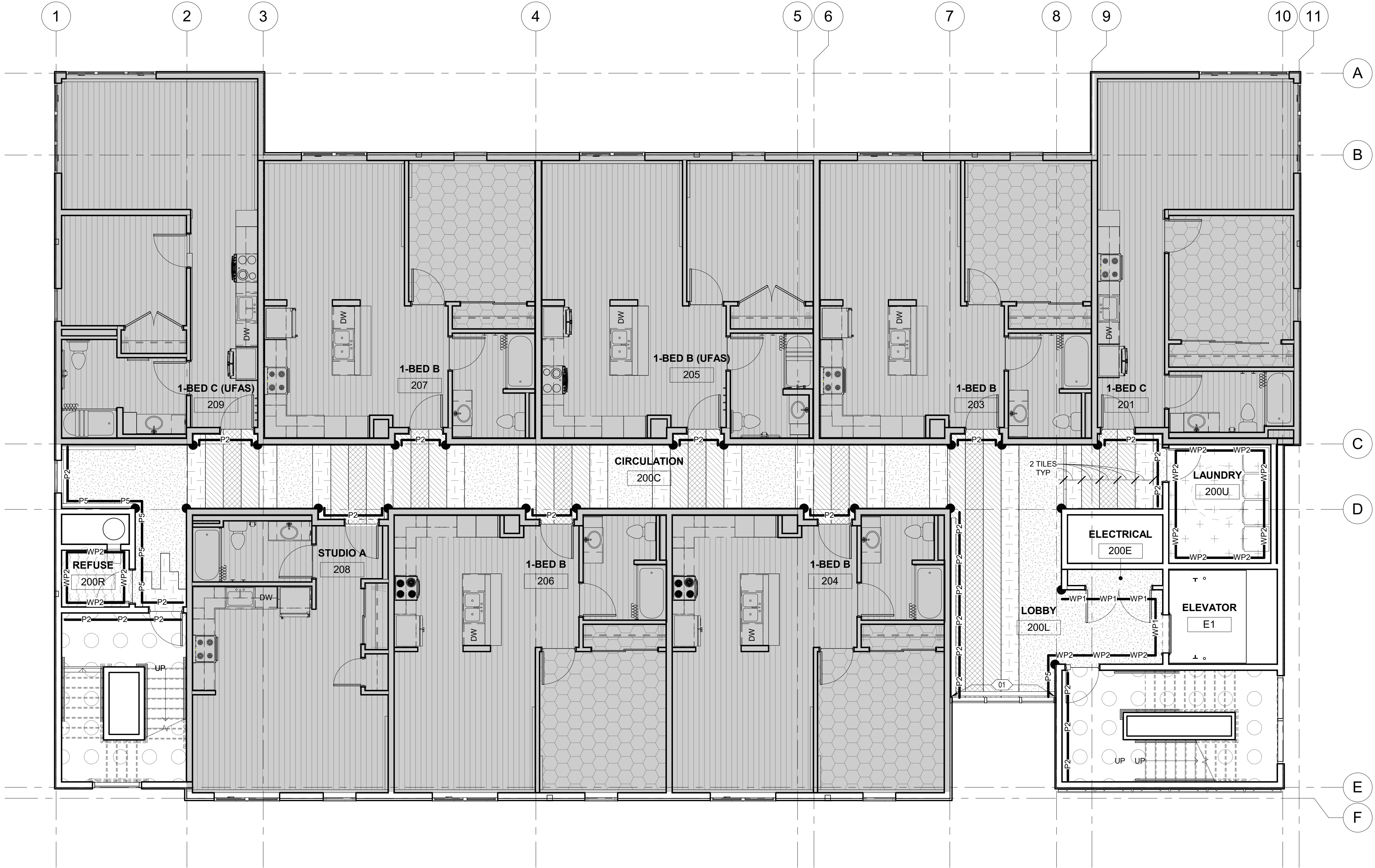
WT1

WP1 TO 4" AFF* WITH P4 ABOVE.
*FULL HEIGHT IN JANITOR 100J.

WP2 WITH PAINT** ABOVE. REFER TO
INTERIOR ELEVATIONS FOR HEIGHT OF WP2.
***P4 IN LAUNDRY AND REFUSE ROOMS.
P5 IN LEVEL 2 AND 3 LOBBIES.
WC1 AT LEVEL 0/1 LOBBY.

WT1, FULL HEIGHT

CORNER GUARD



1 FINISH PLAN - LEVEL 2
3/16" = 1'-0"



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COOK INLET HOUSING AUTHORITY
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REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN JACS
REVIEWED DTW

SHEET NAME
LEVEL 2 FINISH PLAN

SHEET NO.
A5.12

ROOM FINISH SCHEDULE - LEVEL 3									
RM NUM	ROOM NAME	FLOOR	BASE	WALLS				CEILING FINISH	COMMENTS / NOTES
				NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL		
LEVEL 3									
300C	CIRCULATION	CPT1 / CPT2 / CPT3 / CPT4	RB1	P3 / P4	P3	P3 / P4 / P5	P3 / P5	ACT1	REFER TO FINISH PLAN FOR WALL FINISH LOCATIONS.
300E	ELECTRICAL	CPT4	RB1	P4	P4	P4	P4	P4	--
300L	LOBBY	CPT1 / CPT2 / CPT3 / CPT4	RB1	WP1 / P4	WP1 / P4 / P5	WP2 / P5	P3	ACT1	REFER TO FINISH PLAN FOR WALL FINISH LOCATIONS.
300R	REFUSE	RF2	RB1	WP2 / P4	WP2 / P4	WP2 / P4	WP2 / P4	ACT1	--
300U	LAUNDRY	RF1	RB1	WP2 / P4	WP2 / P4	WP2 / P4	WP2 / P4	ACT1	--
302	ROOF ACCESS	RT1	RB1	WP1	P4	P4	P4	P4	WP1 FULL HEIGHT ON WALL BEHIND ROOF ACCESS LADDER.
S01	STAIR	RSRT1 / RT1	RB1	P4	P4	P3 / P4	P3	P4	--
S02	STAIR	RSRT1 / RT1	RB1	P3	P4	P4	P4	P4	--

*REFER TO ENLARGED FINISH PLANS FOR UNIT FINISHES.

FINISH PLAN: GENERAL NOTES

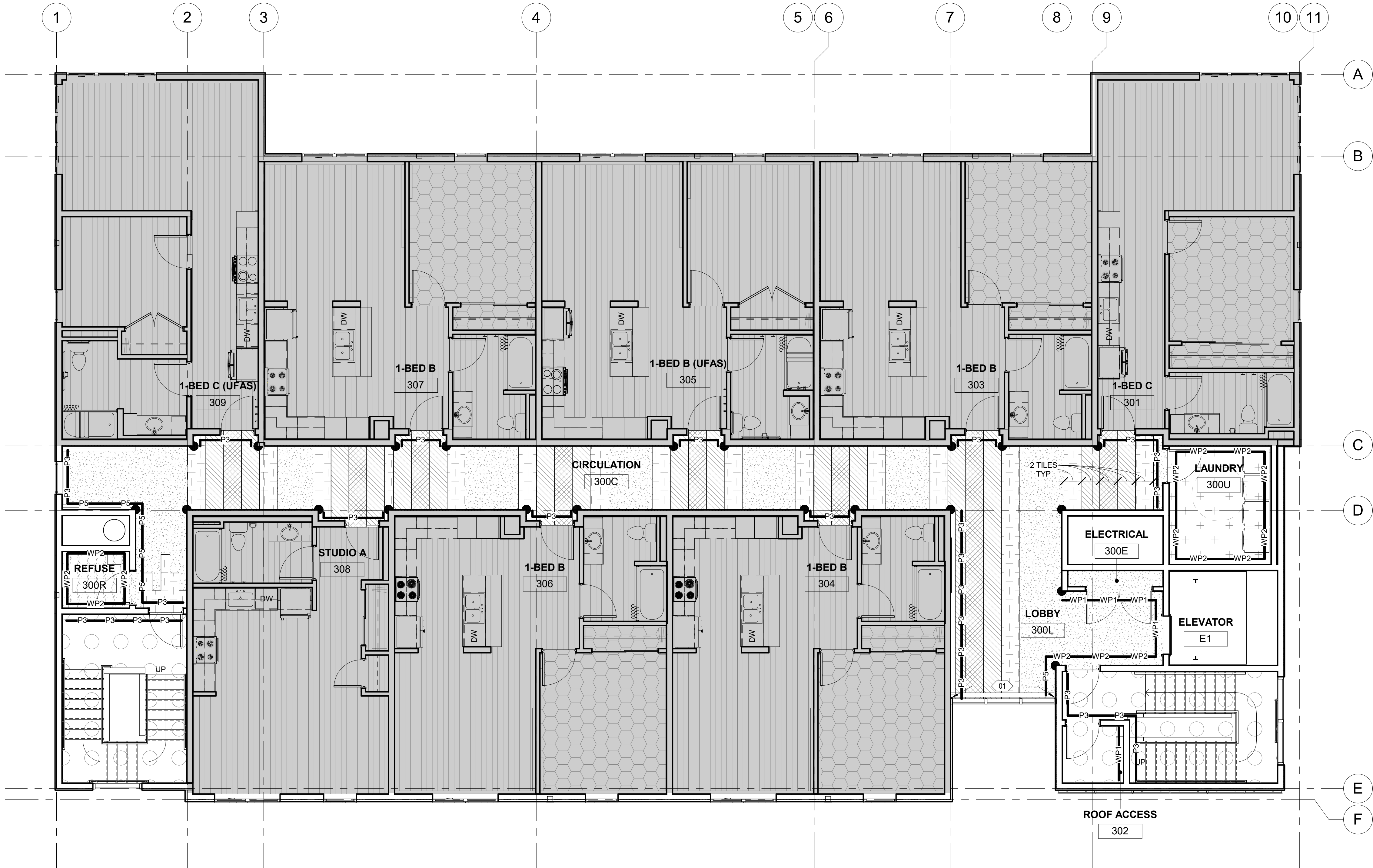
- REFER TO A5.03 FOR MATERIAL, APPLIANCE AND TOILET ACCESSORIES.
- PUBLIC AREAS: ALL WALLS AND CEILINGS TO RECEIVE P4 UNLESS OTHERWISE NOTED.
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- REFER TO RCP FOR SOFFIT PAINT SELECTIONS.
- THE FLOOR FINISH PATTERNS SHOWN ON THE FINISH PLANS MAY NOT BE DEPICTED UNDER WALL HUNG ITEMS, UNDER COUNTERTOPS WHERE FIXED BASE CABINETS ARE NOT PROVIDED, UNDER COUNTERTOPS WHERE APPLIANCES ARE LOCATED, ETC. ALL FLOORING SHALL EXTEND UNDER THESE ELEMENTS TO PROVIDE A CONTINUOUS FINISHED FLOOR. THE CONTRACTOR IS RESPONSIBLE FOR USING THESE PLANS IN CONJUNCTION WITH INTERIOR ELEVATIONS AND DETAILS TO DETERMINE THE EXTENT OF FLOOR FINISHES.
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FINISH PLAN: SHEET NOTES

01 WDW1 WINDOW COVERINGS

FINISH PLAN: LEGEND

- | | |
|--|---|
| | CONC |
| | CPT1 |
| | CPT2 |
| | CPT3 |
| | CPT4 |
| | CPT5 |
| | RF1 |
| | RF2 |
| | RF3 |
| | RSRT1 / RT1 |
| | WOM1 |
| | P1 |
| | P2 |
| | P3 |
| | P5 |
| | WP1 TO 4" AFF* WITH P4 ABOVE.
*FULL HEIGHT IN JANITOR 100J. |
| | WP2 WITH PAINT** ABOVE. REFER TO
INTERIOR ELEVATIONS FOR HEIGHT OF WP2.
***P4 IN LAUNDRY AND REFUSE ROOMS.
P5 IN LEVEL 2 AND 3 LOBBIES.
WC1 AT LEVEL 0/1 LOBBY. |
| | WT1, FULL HEIGHT |
| | CORNER GUARD |



1 FINISH PLAN - LEVEL 3
3/16" = 1'-0"



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DATE 2023.03.08
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REVIEWED DTW

SHEET NAME
LEVEL 3 FINISH PLAN

SHEET NO.
A5.13

ROOM FINISH SCHEDULE - STUDIO UNIT A								
ROOM NAME	FLOOR	BASE	WALLS				CEILING FINISH	COMMENTS / NOTES
CLOSET	RF3	WD2	P7	P7	P7	P7	P7	
KITCHEN	RF3	WD2	P7	P7	P7	P7	P7	
LIVING ROOM	RF3	WD2	P7	P7	P7	P7	P7	
PANTRY	RF3	WD2	P7	P7	P7	P7	P7	
TOILET	RF3	RB2	P7	P7	P7	P7	P7	

ROOM FINISH SCHEDULE - 1-BED UNIT B								
ROOM NAME	FLOOR	BASE	WALLS				CEILING FINISH	COMMENTS / NOTES
BEDROOM	CPT5	WD2	P7	P7	P7	P7	P7	
CLOSET	CPT5	WD2	P7	P7	P7	P7	P7	
KITCHEN	RF3	WD2	P7	P7	P7	P7	P7	
LIVING ROOM	RF3	WD2	P7	P7	P7	P7	P7	
TOILET	RF3	RB2	P7	P7	P7	P7	P7	



2 ENLARGED FINISH PLAN - 1-BED B TYPICAL
1/2" = 1'-0"

FINISH PLAN: GENERAL NOTES

1. REFER TO OVERALL FINISH PLAN FOR GENERAL NOTES AND COMMON AREA FINISH PLANS.

FINISH PLAN: SHEET NOTES

01 UNIT ENTRY ALCOVE IS PAINTED IN FLOOR ACCENT PAINT. PAINT COLOR VARIES PER FLOOR. REFER TO A5.09, A5.11, A5.12 AND A5.13 FOR ACCENT COLORS.

02 WDW2 AT UNIT WINDOW.

FINISH PLAN: LEGEND



CPT5



RF3*

*PATTERN INDICATES DIRECTION OF INSTALLATION.



CORNER GUARD

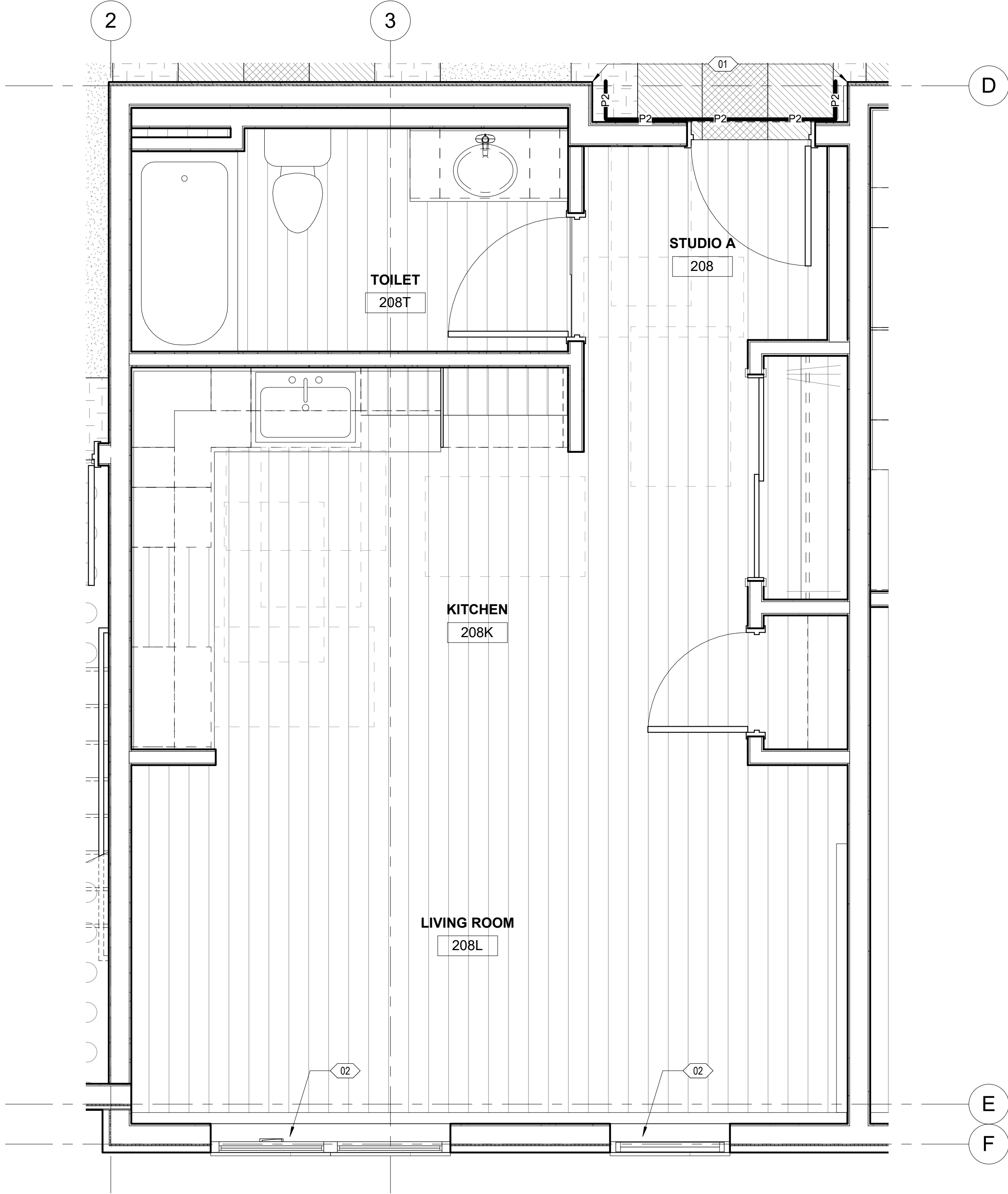
P1 P1 P1

P2 P2 P2

P3 P3 P3

P7**

**ALL WALLS WITHIN UNITS TO BE P7.



1 ENLARGED FINISH PLAN - STUDIO A TYPICAL
1/2" = 1'-0"



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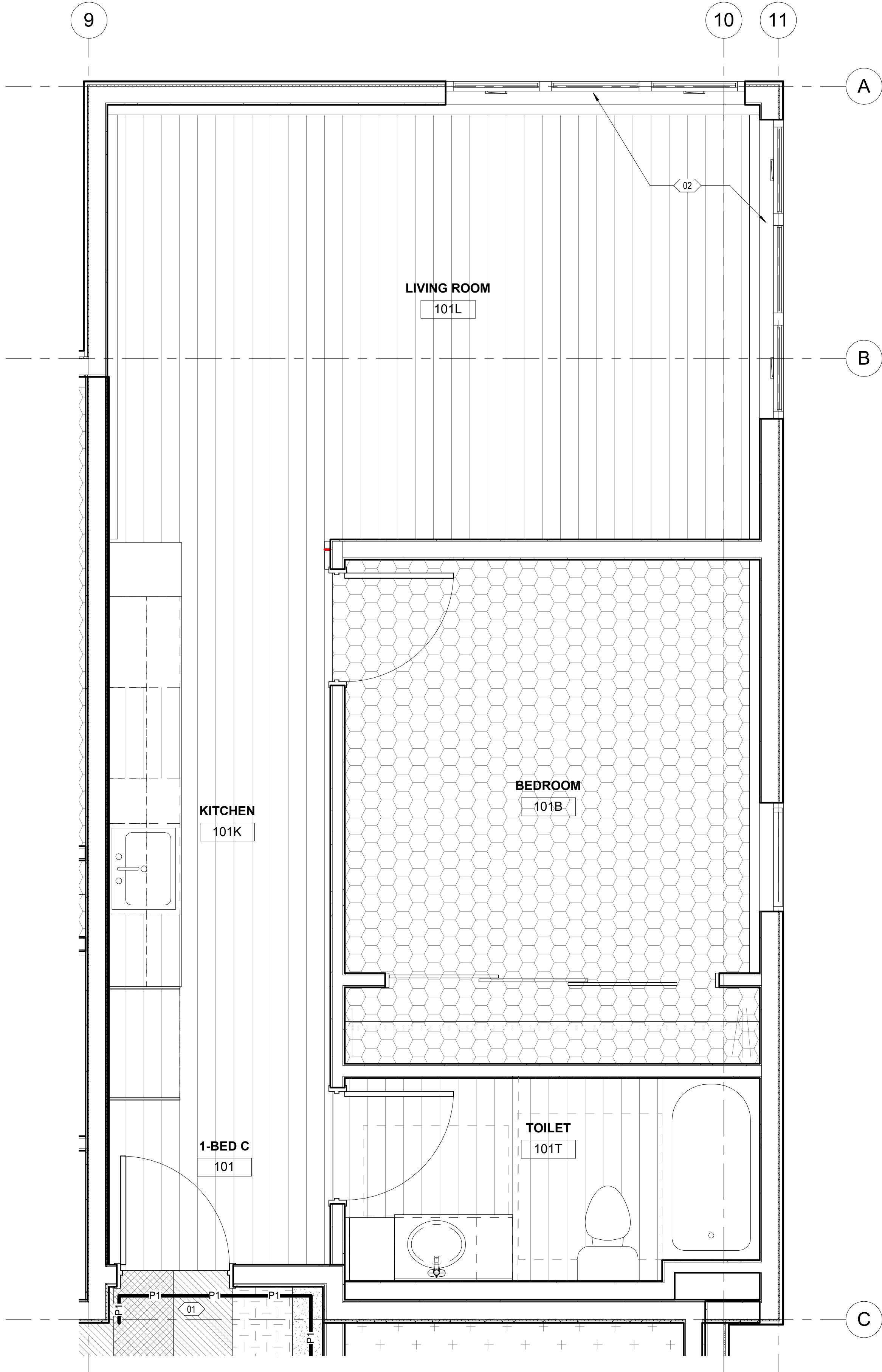
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REVISION SCHEDULE		
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JOB NO.	22-018
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DRAWN	JACS
REVIEWED	DTW

SHEET NAME
ENLARGED FINISH PLANS

SHEET NO.
A5.21



2 ENLARGED FINISH PLAN - 1-BED C TYPICAL

1/2" = 1'-0"

ROOM FINISH SCHEDULE - 1-BED UNIT B (UFAS)								
ROOM NAME	FLOOR	BASE	WALLS				CEILING FINISH	COMMENTS / NOTES
			NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL		
BEDROOM	RF3	WD2	P7	P7	P7	P7	P7	
CLOSET	RF3	WD2	P7	P7	P7	P7	P7	
KITCHEN	RF3	WD2	P7	P7	P7	P7	P7	
LIVING ROOM	RF3	WD2	P7	P7	P7	P7	P7	
TOILET	RF3	RB2	P7	P7	P7	P7	P7	

ROOM FINISH SCHEDULE - 1-BED UNIT C								
ROOM NAME	FLOOR	BASE	WALLS				CEILING FINISH	COMMENTS / NOTES
			NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL		
BEDROOM	CPT5	WD2	P7	P7	P7	P7	P7	
CLOSET	CPT5	WD2	P7	P7	P7	P7	P7	
KITCHEN	RF3	WD2	P7	P7	P7	P7	P7	
LIVING ROOM	RF3	WD2	P7	P7	P7	P7	P7	
TOILET	RF3	RB2	P7	P7	P7	P7	P7	



1 ENLARGED FINISH PLAN - 1-BED B (UFAS) TYPICAL

1/2" = 1'-0"

FINISH PLAN: GENERAL NOTES

1. REFER TO OVERALL FINISH PLAN FOR GENERAL NOTES AND COMMON AREA FINISH PLANS.

FINISH PLAN: SHEET NOTES

01 UNIT ENTRY ALCOVE IS PAINTED IN FLOOR ACCENT PAINT. PAINT COLOR VARIES PER FLOOR. REFER TO A5.09, A5.11, A5.12 AND A5.13 FOR ACCENT COLORS.

02 WDW2 AT UNIT WINDOW.

FINISH PLAN: LEGEND

CPT5

RF3*

P1

P2

P3

P7**

CORNER GUARD

P1

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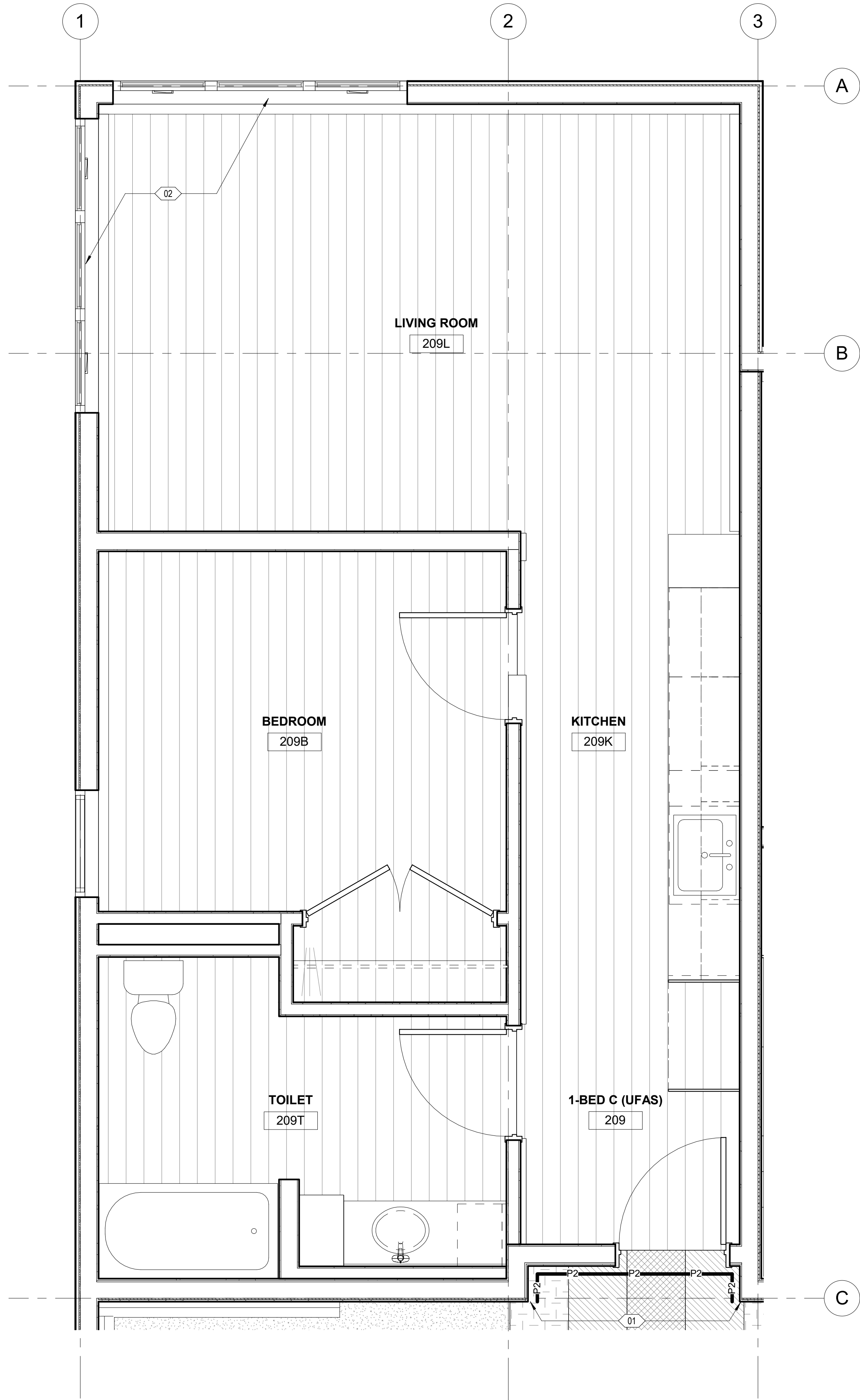
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P7**

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1 ENLARGED FINISH PLAN - 1-BED C (UFAS) TYPICAL
1/2" = 1'-0"

ROOM FINISH SCHEDULE - 1-BED UNIT C (UFAS)								
ROOM NAME	FLOOR	BASE	WALLS				CEILING FINISH	COMMENTS / NOTES
			NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL		
BEDROOM	RF3	WD2	P7	P7	P7	P7	P7	
KITCHEN	RF3	WD2	P7	P7	P7	P7	P7	
LIVING ROOM	RF3	WD2	P7	P7	P7	P7	P7	
TOILET	RF3	RB2	P7	P7	P7	P7	P7	

FINISH PLAN: GENERAL NOTES

1. REFER TO OVERALL FINISH PLAN FOR GENERAL NOTES AND COMMON AREA FINISH PLANS.

FINISH PLAN: SHEET NOTES

01 UNIT ENTRY ALCOVE IS PAINTED IN FLOOR ACCENT PAINT. PAINT COLOR VARIES PER FLOOR. REFER TO A5.09, A5.11, A5.12 AND A5.13 FOR ACCENT COLORS.

02 WDW2 AT UNIT WINDOW.

FINISH PLAN: LEGEND

CPT5

RF3*

*PATTERN INDICATES DIRECTION OF INSTALLATION.

CORNER GUARD

P1 P1 P1

P2 P2 P2

P3 P3 P3

P7**

**ALL WALLS WITHIN UNITS TO BE P7.



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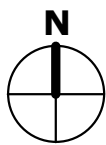
COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	22-018
DATE	2023.03.08
DRAWN	JACS
REVIEWED	DTW

SHEET NAME
ENLARGED FINISH PLANS

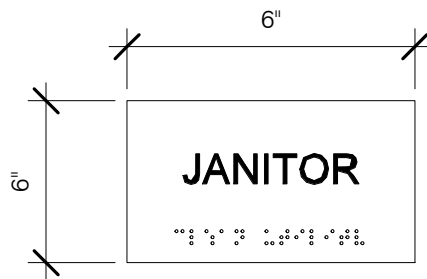
SHEET NO.
A5.23



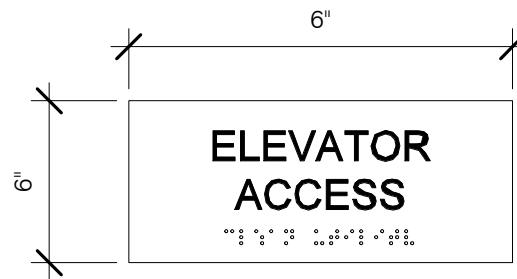
SIGNAGE SCHEDULE						
DOOR NO.	ROOM NAME	SIGN TYPE NO.	SIGN MOUNT LOCATION	SIGN TEXT	CODE REQ.	SIGNAGE COMMENTS
LEVEL 0						
100Ma AND 100Mb	MECHANICAL / ELECTRICAL	B	2	DOOR 100Ma: MECHANICAL & ELECTRICAL DOOR 100Mb: SPRINKLER RISER	X	SIGN ON DOOR 100Mb; EXTERIOR SIGN; ADJUST MATERIALS FOR EXTERIOR CONDITIONS AS NEEDED. ARCHITECT TO APPROVE BEFORE MANUFACTURING.
100Ra	REFUSE	A	1	REFUSE	X	--
100T	TOILET	C	1	PER TYPE	X	--
100Va	VESTIBULE	H	1	PER TYPE	--	MOUNT ON GLASS STOREFRONT ADJACENT TO DOOR.
102a AND 102b	OFFICE	A	1	OFFICE	--	--
EA1	ELEVATOR	B	2	ELEVATOR ACCESS	--	--
--	EXTERIOR	L	3	PER TYPE	X	EXTERIOR SIGN. ADJUST MATERIALS FOR EXTERIOR CONDITIONS AS NEEDED. ARCHITECT TO APPROVE BEFORE MANUFACTURING. MOUNT AS SHOWN ON EXTERIOR ELEVATION.
S01a	STAIR	F&G	1	STAIR 1 ROOF ACCESS	X	SIGN TYPE F TO BE PLACED ON CORRIDOR SIDE OF DOOR. SIGN TYPE G TO BE PLACED ON STAIR SIDE OF DOOR.
S02b	STAIR	F&G	1	STAIR 2	X	SIGN TYPE F TO BE PLACED ON CORRIDOR SIDE OF DOOR. SIGN TYPE G TO BE PLACED ON STAIR SIDE OF DOOR.
LEVEL 1						
100J	JANITOR	A	1	JANITOR	X	--
100U	LAUNDRY	A	1	LAUNDRY	--	--
108	TENANT STORAGE	B	1	TENANT STORAGE	--	--
LEVEL 2						
200E	ELECTRICAL	A	1	ELECTRICAL	X	--
200R	REFUSE	A	1	REFUSE	X	--
200U	LAUNDRY	A	1	LAUNDRY	--	--
S01b	STAIR	F&G	1	STAIR 1 ROOF ACCESS	X	SIGN TYPE F TO BE PLACED ON CORRIDOR SIDE OF DOOR. SIGN TYPE G TO BE PLACED ON STAIR SIDE OF DOOR.
S02c	STAIR	F&G	1	STAIR 2	X	SIGN TYPE F TO BE PLACED ON CORRIDOR SIDE OF DOOR. SIGN TYPE G TO BE PLACED ON STAIR SIDE OF DOOR.
LEVEL 3						
300E	ELECTRICAL	A	1	ELECTRICAL	X	--
300R	REFUSE	A	1	REFUSE	X	--
300U	LAUNDRY	A	1	LAUNDRY	--	--
302S	ROOF ACCESS	2	1	ROOF ACCESS	X	--
S01c	STAIR	F&G	1	STAIR 1 ROOF ACCESS	X	SIGN TYPE F TO BE PLACED ON CORRIDOR SIDE OF DOOR. SIGN TYPE G TO BE PLACED ON STAIR SIDE OF DOOR.
S02d	STAIR	F&G	1	STAIR 2	X	SIGN TYPE F TO BE PLACED ON CORRIDOR SIDE OF DOOR. SIGN TYPE G TO BE PLACED ON STAIR SIDE OF DOOR.

UNIT SIGNAGE SCHEDULE					
UNIT NUMBER	UNIT NAME	SIGN TYPE NO.	SIGN MOUNT LOCATION	SIGN TEXT	SIGNAGE COMMENTS
LEVEL 1					
101	1-BED C	E	1	101	
103	1-BED B	E	1	103	
105	1-BED B (UFAS)	E	1	105	
107	1-BED B	E	1	107	
109	1-BED C (UFAS)	E	1	109	
LEVEL 2					
201	1-BED C	E	1	201	
203	1-BED B	E	1	203	
204	1-BED B	E	1	204	
205	1-BED B (UFAS)	E	1	205	
206	1-BED B	E	1	206	
207	1-BED B	E	1	207	
208	STUDIO A	E	1	208	
209	1-BED C (UFAS)	E	1	209	
LEVEL 3					
301	1-BED C	E	1	301	
303	1-BED B	E	1	303	
304	1-BED B	E	1	304	
305	1-BED B (UFAS)	E	1	305	
306	1-BED B	E	1	306	
307	1-BED B	E	1	307	
308	STUDIO A	E	1	308	
309	1-BED C (UFAS)	E	1	309	

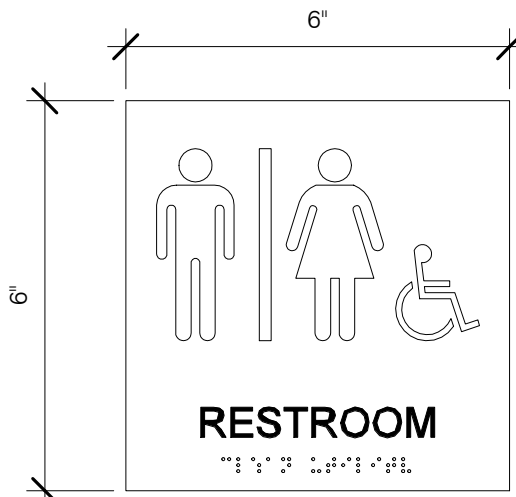
SIGN TYPE A



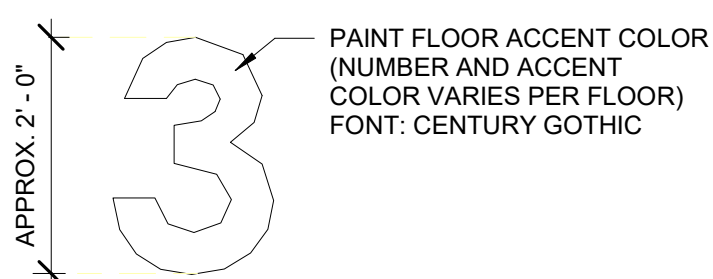
SIGN TYPE B



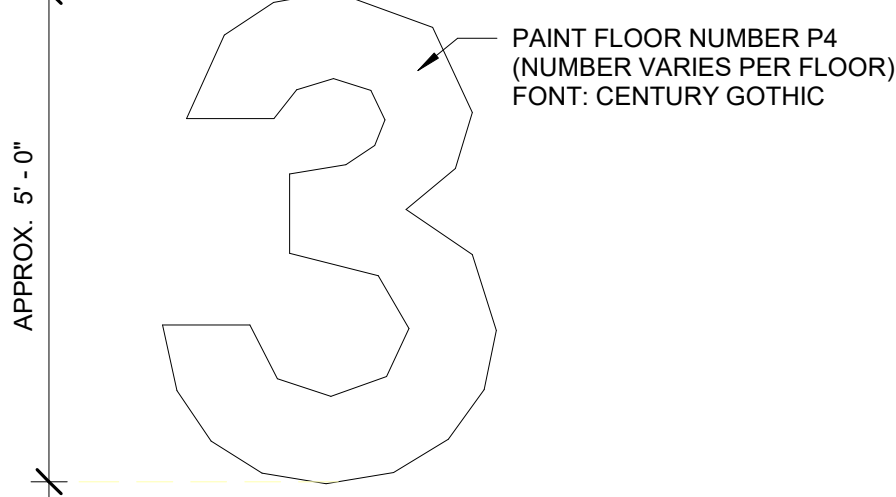
SIGN TYPE C



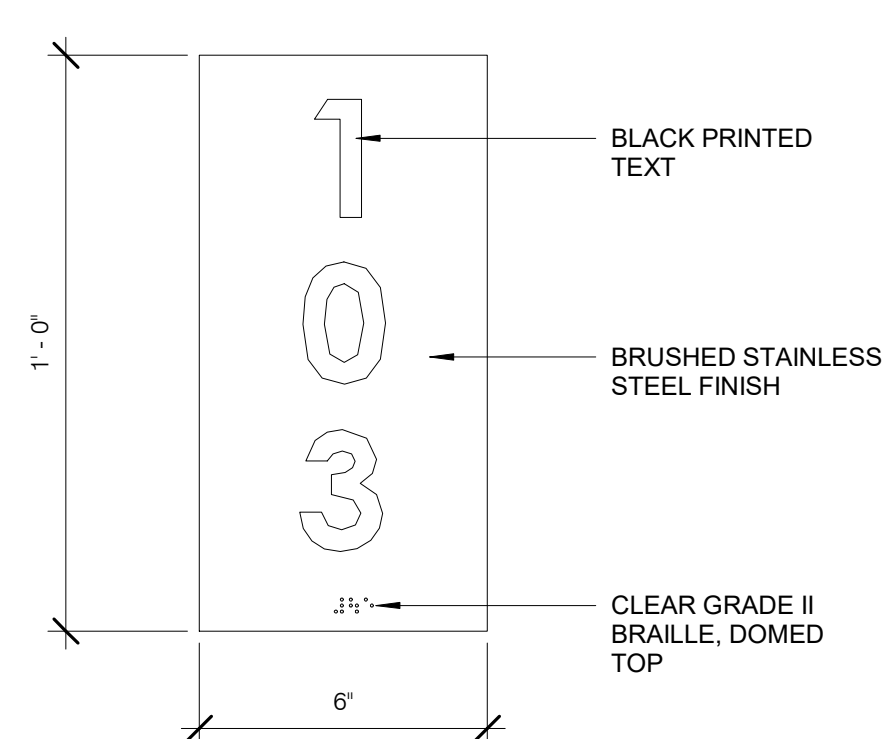
SIGN TYPE D1



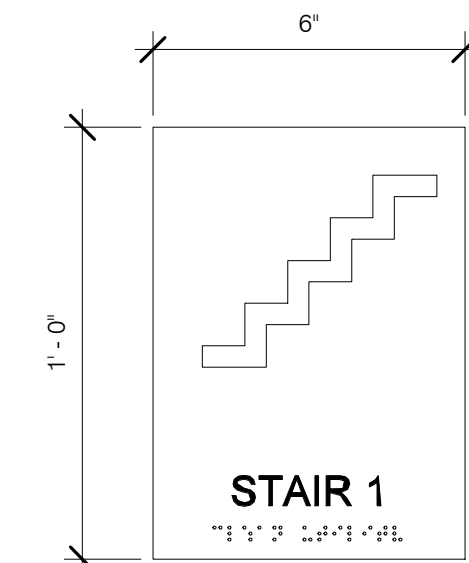
SIGN TYPE D2



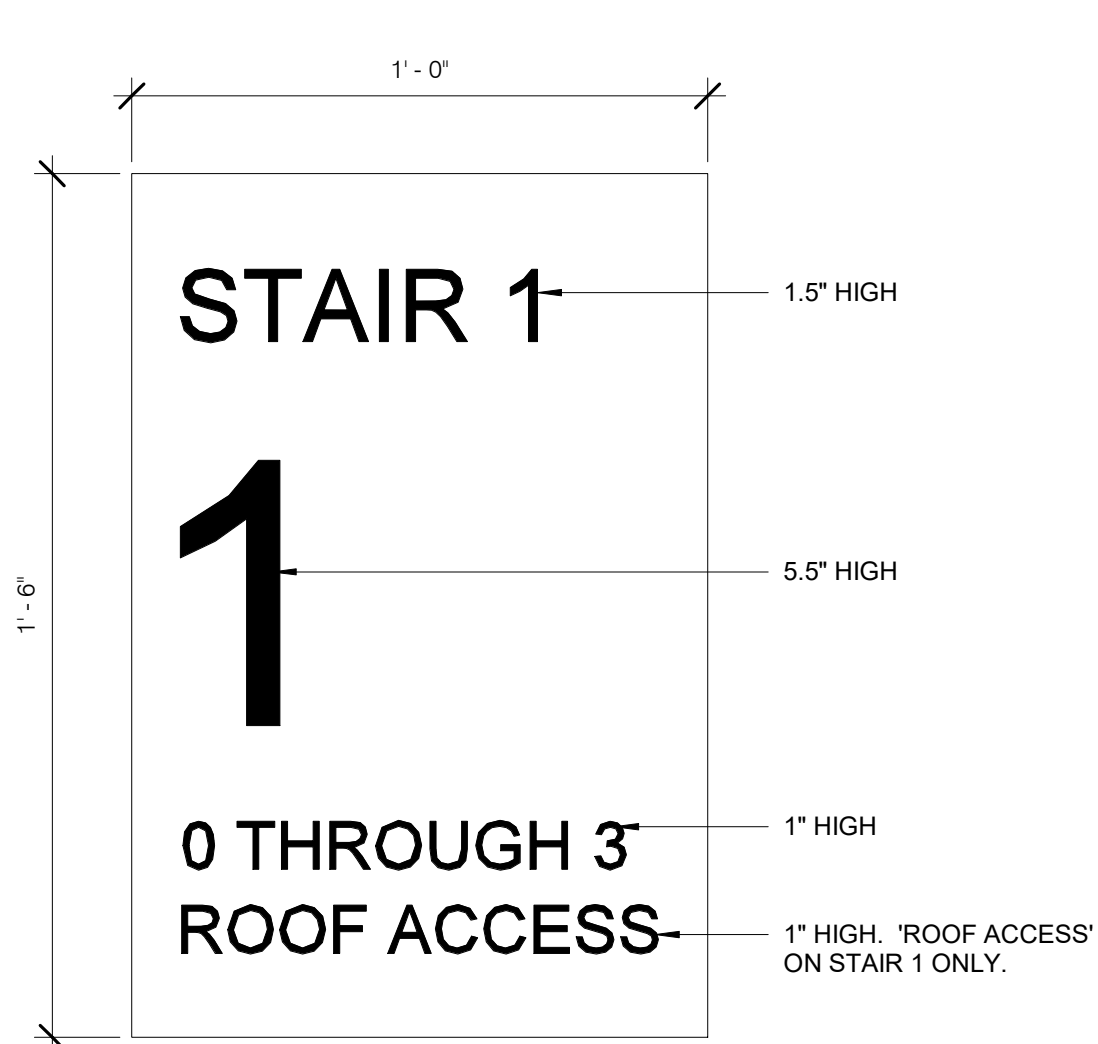
SIGN TYPE E



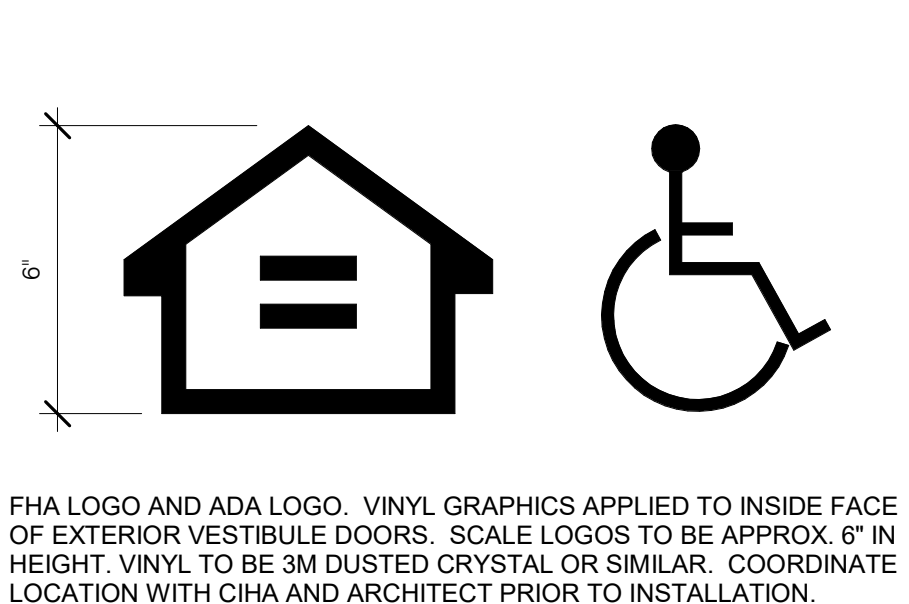
SIGN TYPE F



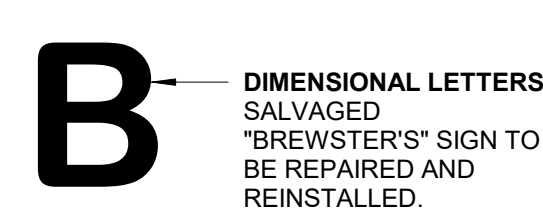
SIGN TYPE G



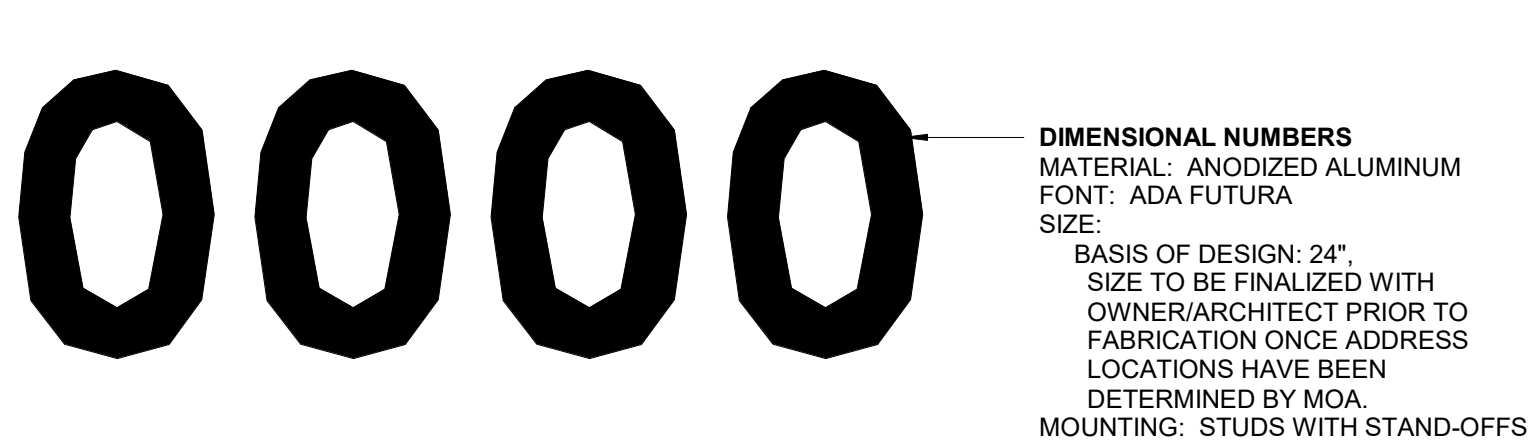
SIGN TYPE H



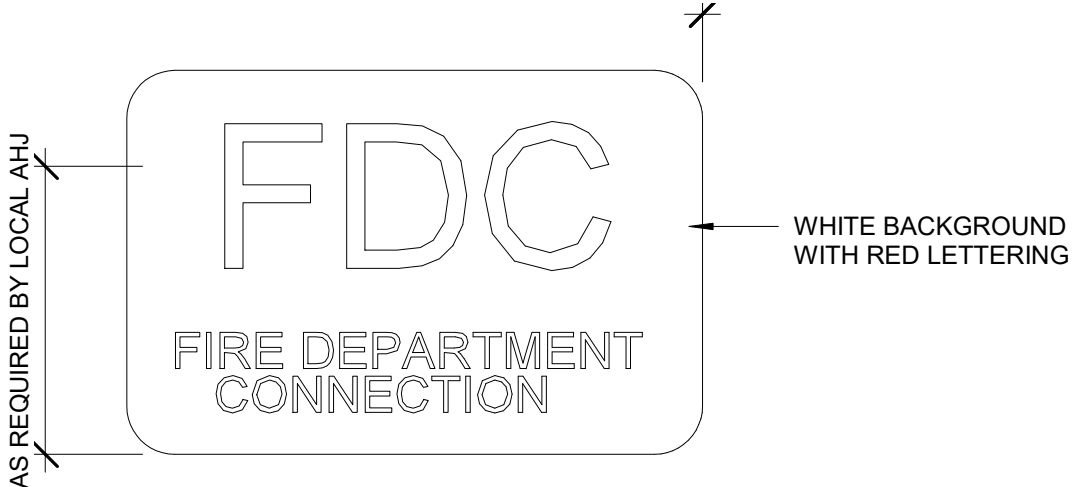
SIGN TYPE J



SIGN TYPE K



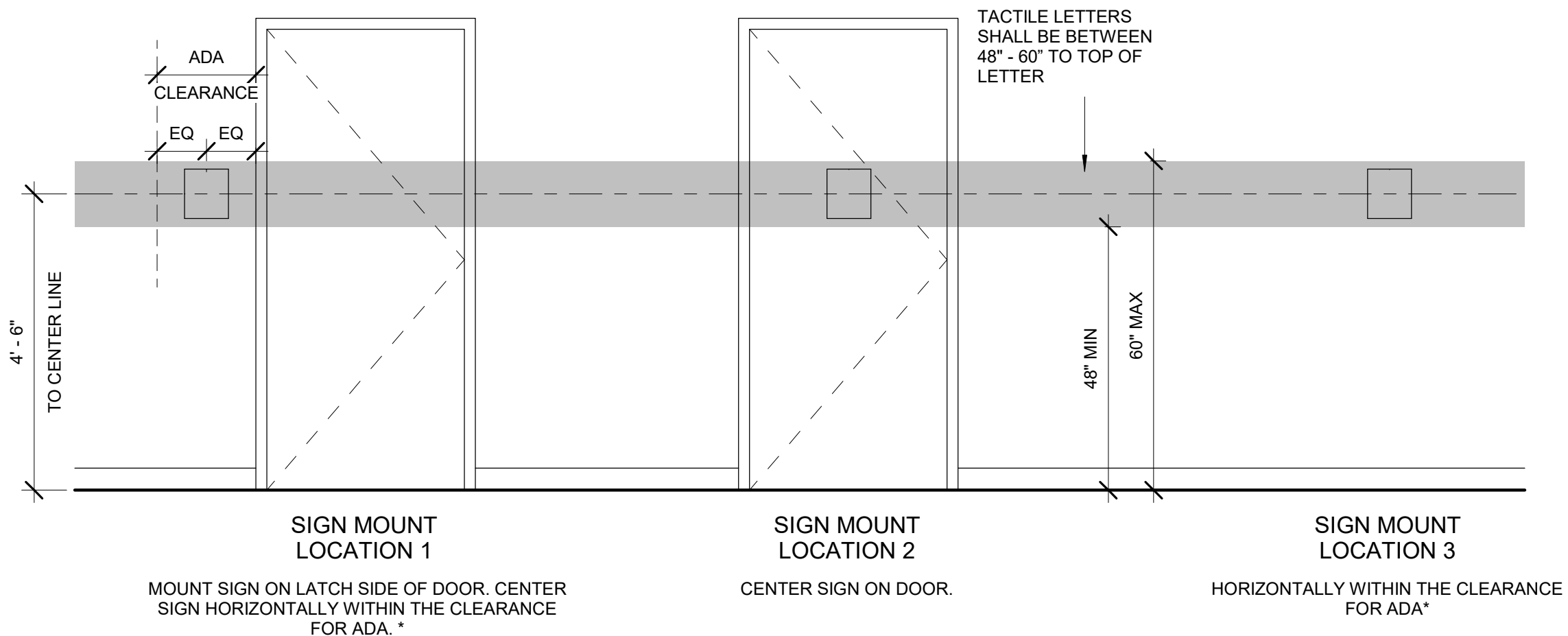
SIGN TYPE L



SIGN TYPE NOTES AND SPECIFICATIONS

- ALL SIGNS SHALL COMPLY WITH ADA, ANSI 117.1-2009 AND LOCAL BUILDING CODES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MOUNTING CONDITIONS IN THE FIELD.
- INSTALL SIGN ON LATCH SIDE OF DOOR UNLESS OTHERWISE NOTED.
- SIGN TYPE A, B, C, AND F BASIS OF DESIGN:
 - INPRO SIGNSCAPE ARCHITECTURAL CUSTOM SIGNAGE
 - MATERIAL: PHOTOPOLYMER PETG
 - MOUNTING: VHB TAPE
 - FONT: ADA FUTURA
 - FONT SIZE: 5/8"
 - FONT THICKNESS: 1/32" PERMANENTLY APPLIED TO SIGN FACE
 - HORIZONTAL ALIGNMENT: PER TYPE
 - VERTICAL ALIGNMENT: PER TYPE
 - FACE COLOR: SHIPROCK 0280
 - FONT COLOR: RED 113
 - BRaille: CLEAR GRADE II BRaille, DOMED TOP
 - PICTOGRAM AT TYPE C: 4" HIGH IN 6" FIELD, 1/32 THICK PERMANENTLY APPLIED TO SIGN FACE
- SIGN TYPE G BASIS OF DESIGN:
 - INPRO SIGNSCAPE ARCHITECTURAL CUSTOM SIGNAGE, DIGITAL PRINT
 - MATERIAL: PHOTOPOLYMER PETG
 - MOUNTING: VHB TAPE
 - FONT: ADA FUTURA
 - FONT SIZE: 1", 1.5" AND 5.5" AS SHOWN ON SIGN TYPE
 - HORIZONTAL ALIGNMENT: PER TYPE
 - VERTICAL ALIGNMENT: PER TYPE
 - FACE COLOR: SHIPROCK 0280
 - FONT COLOR: RED 113

SIGN MOUNTING LOCATION LEGEND



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COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	22-018
DATE	2023.03.08
DRAWN	JACS
REVIEWED	DTW

SHEET NAME
SIGNAGESHEET NO.
A5.50

HALF SCALE WHEN PRINTED AT 11x17



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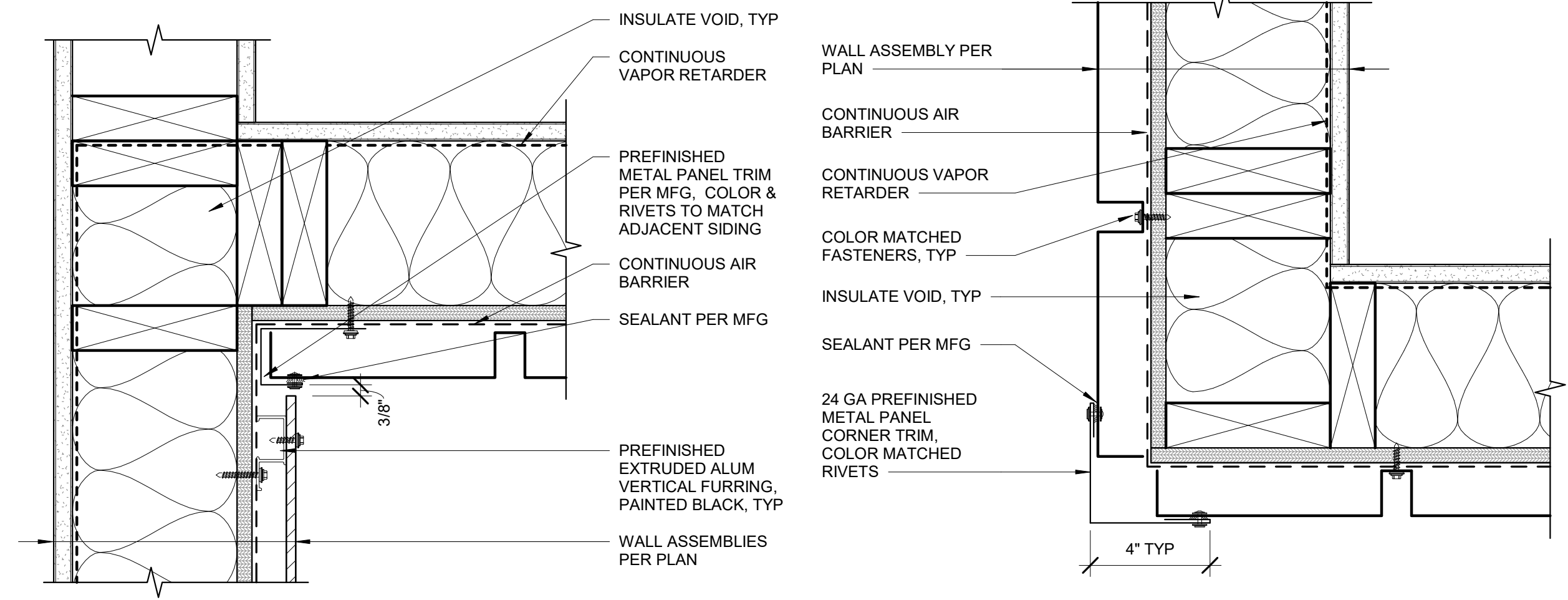
REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN KA
REVIEWED DTW

SHEET NAME
EXTERIOR DETAILS - PLAN VIEW

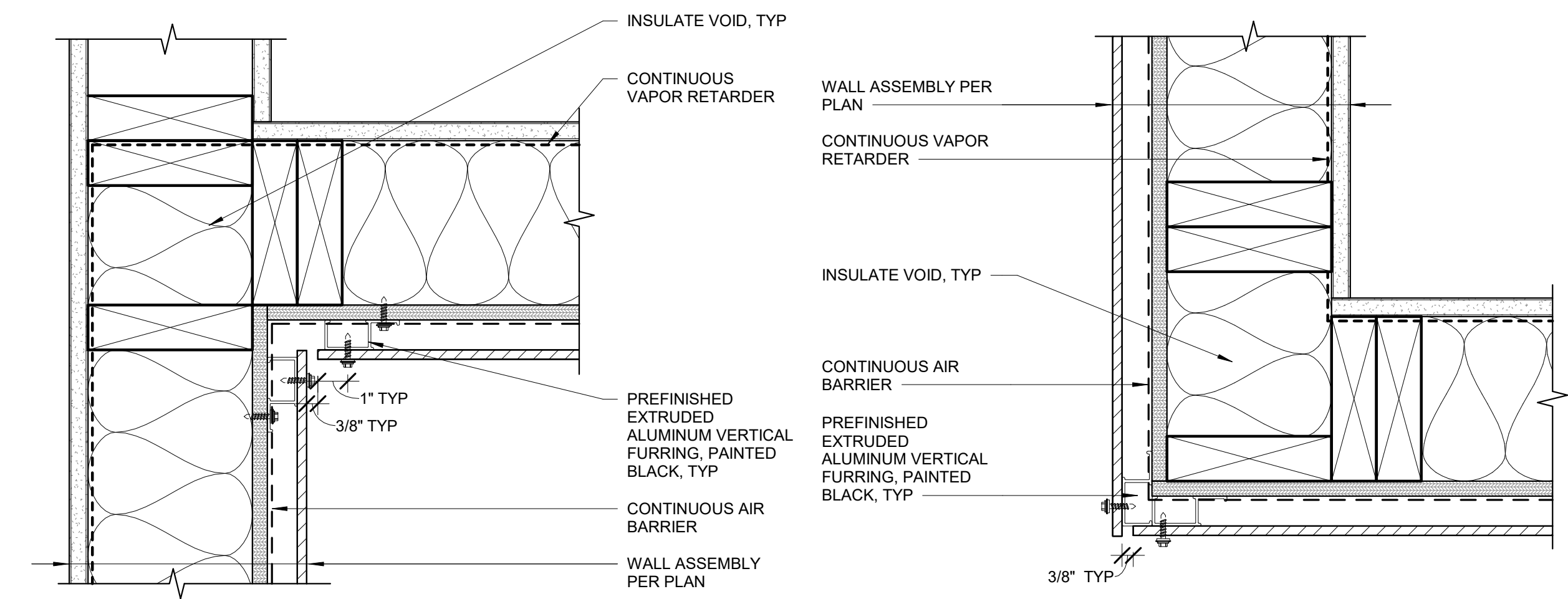
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A6.00

HALF SCALE WHEN PRINTED AT 11x17



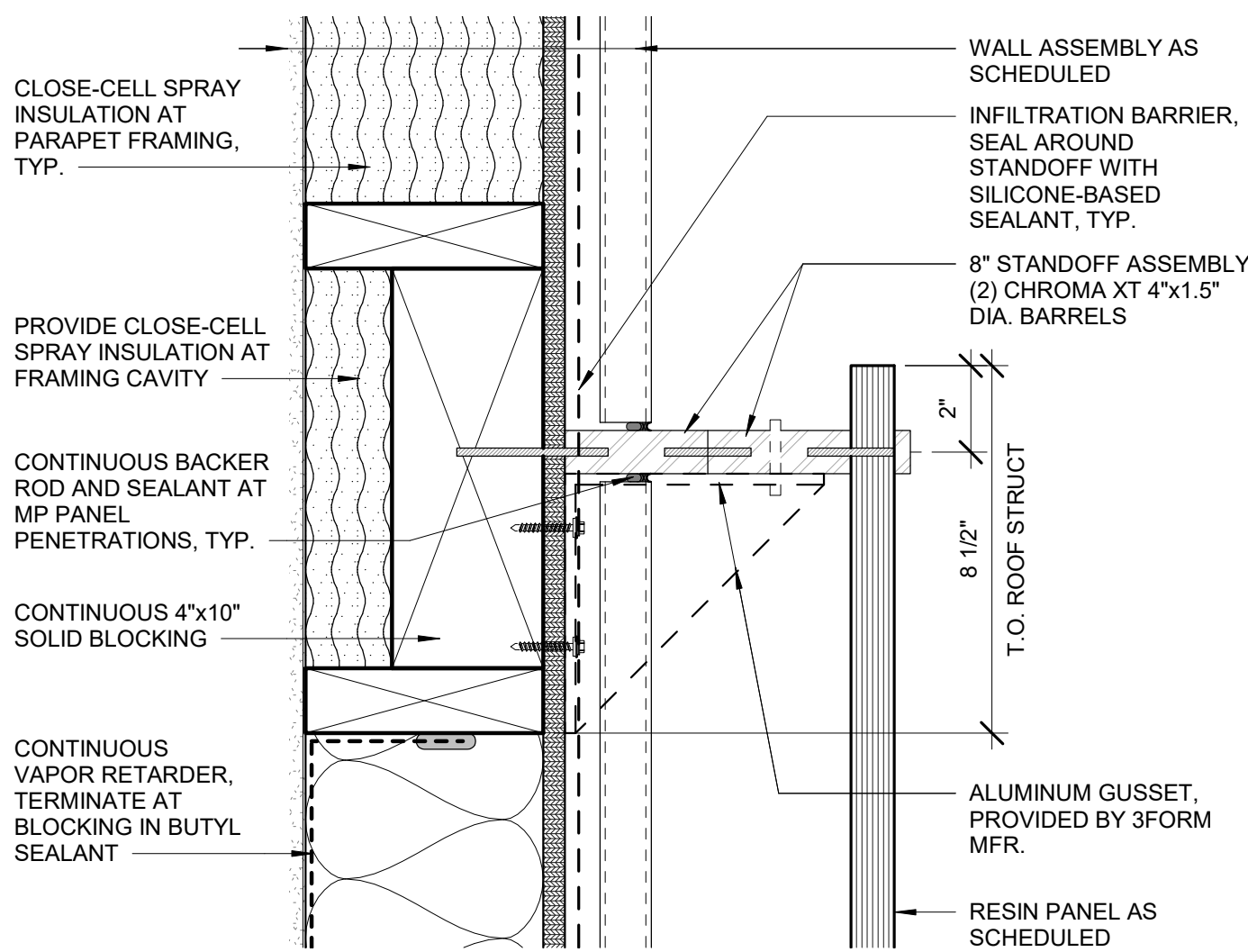
5 INSIDE CORNER MP TO PLP
3" = 1'-0"

2 OUTSIDE CORNER MP TO MP
3" = 1'-0"

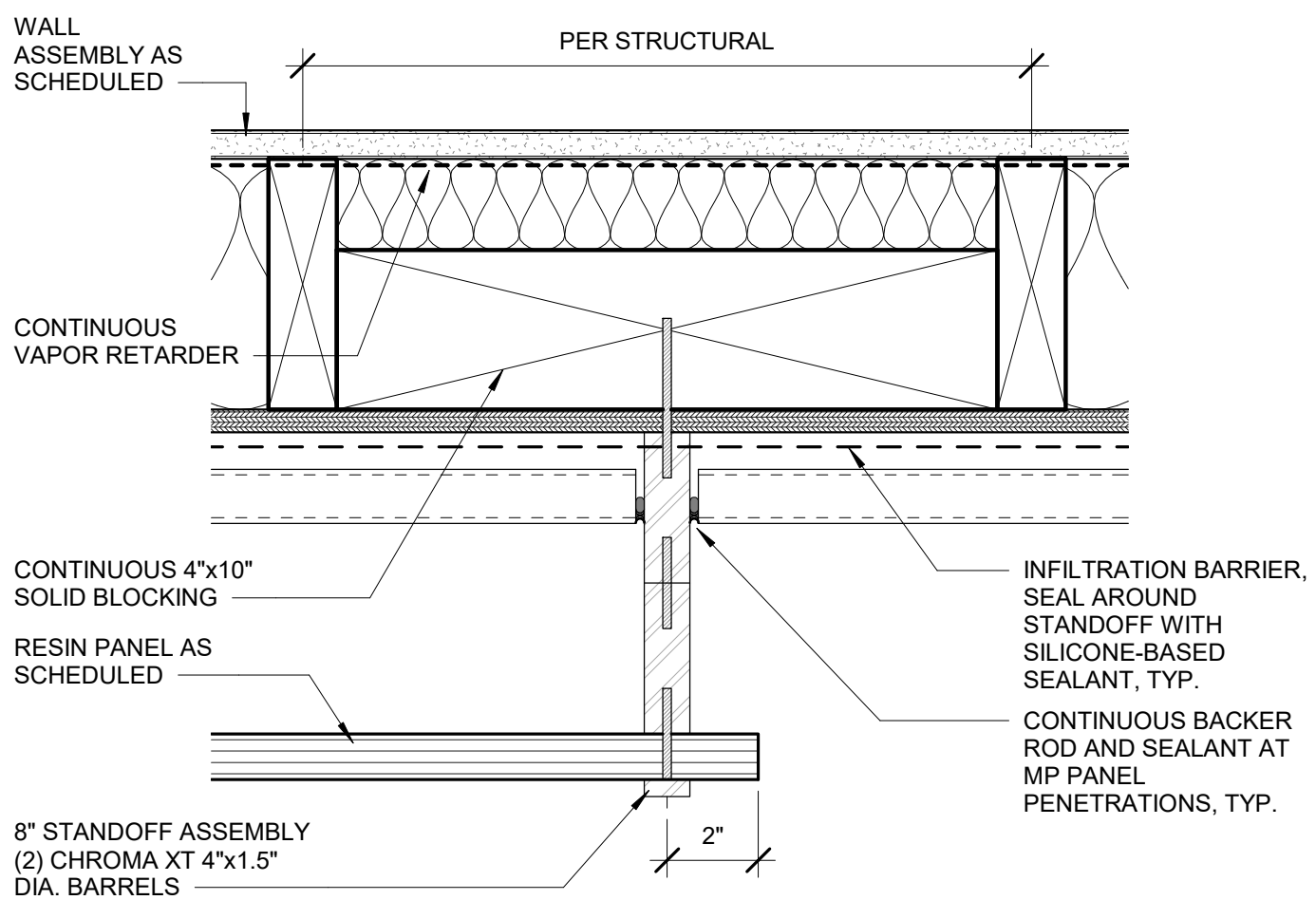


4 INSIDE CORNER PLP TO PLP
3" = 1'-0"

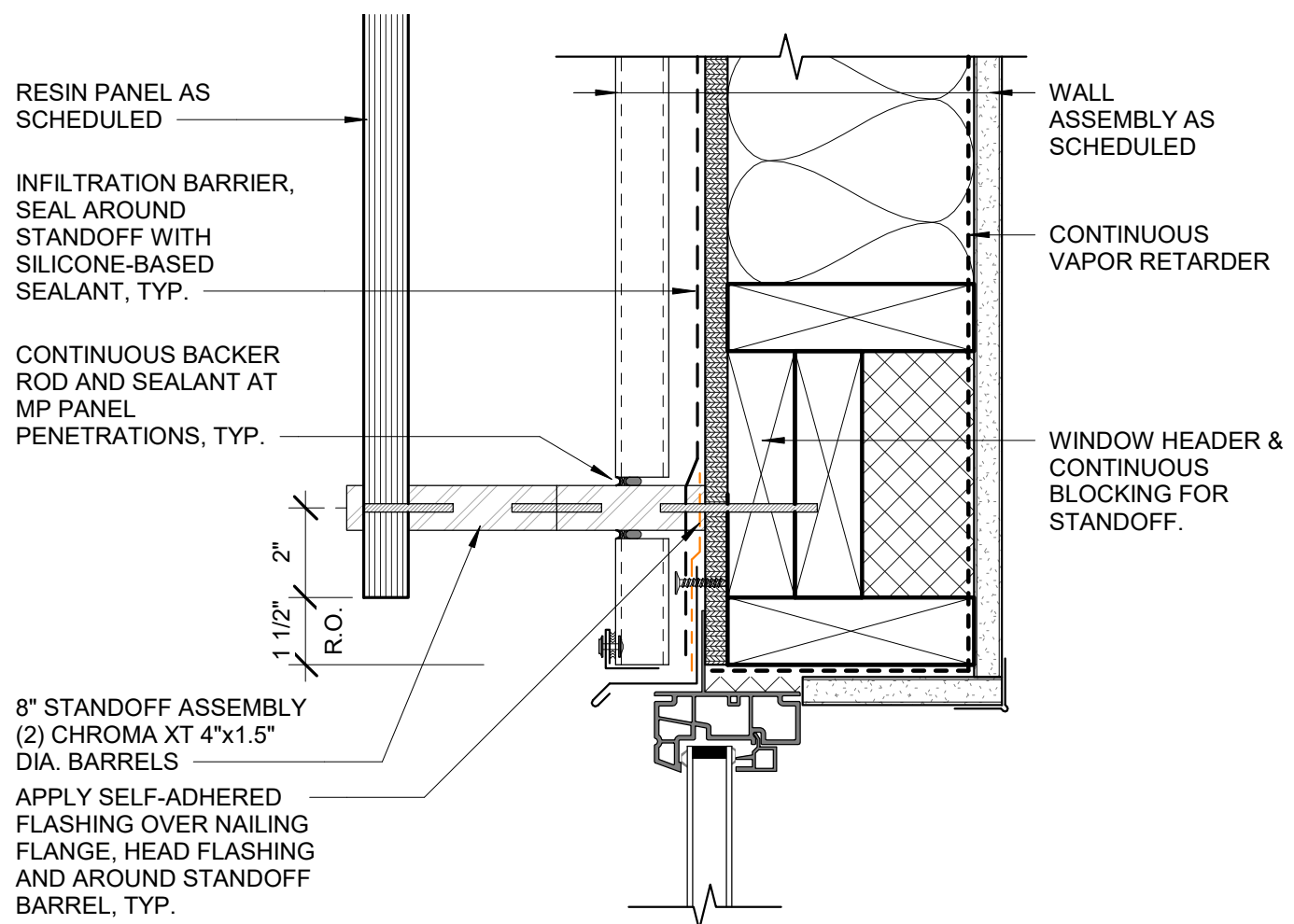
1 OUTSIDE CORNER PLP TO PLP
3" = 1'-0"



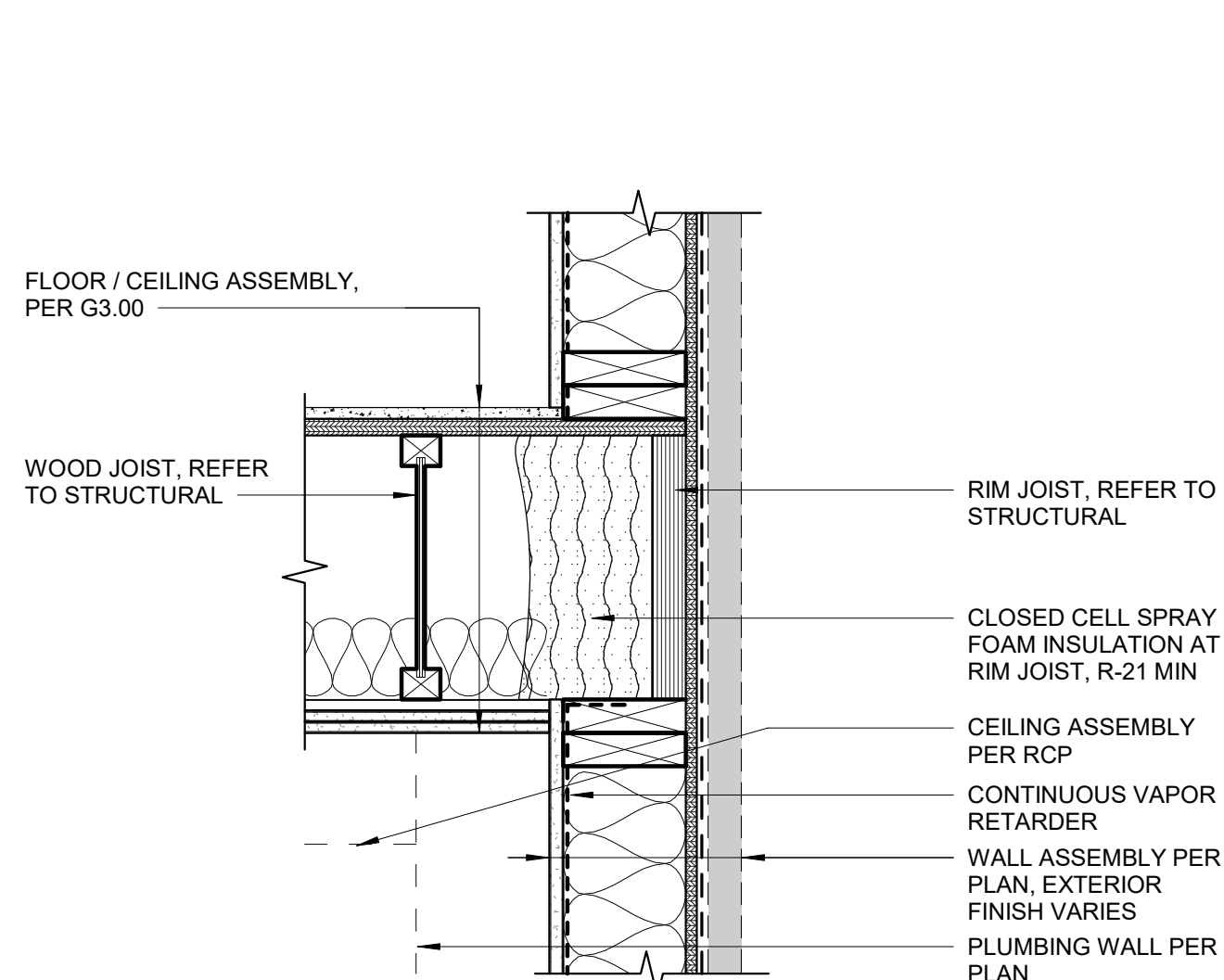
12 3FORM ATTACHMENT DETAIL - HEAD
3" = 1'-0"



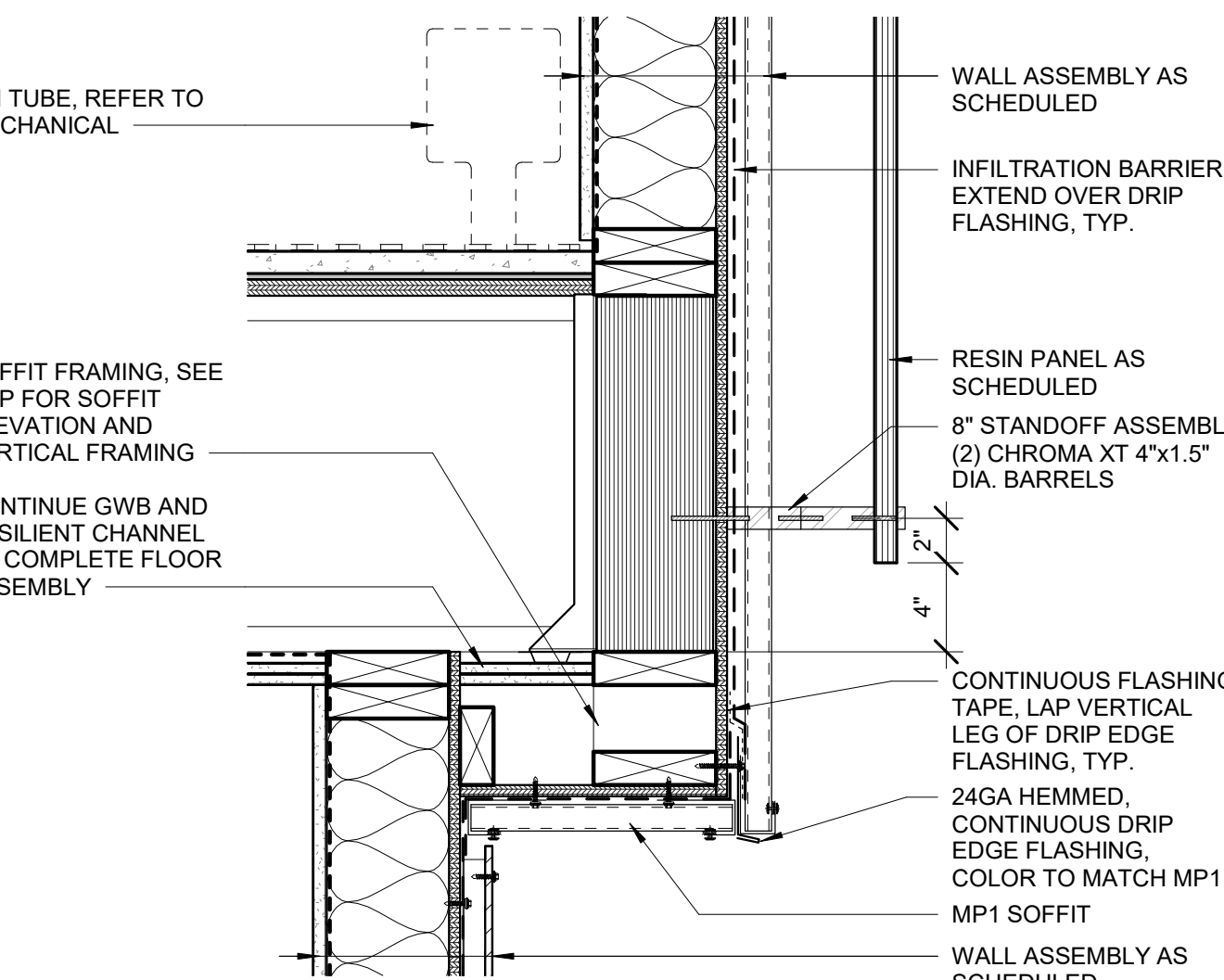
11 3FORM ATTACHMENT DETAIL - JAMB
3" = 1'-0"



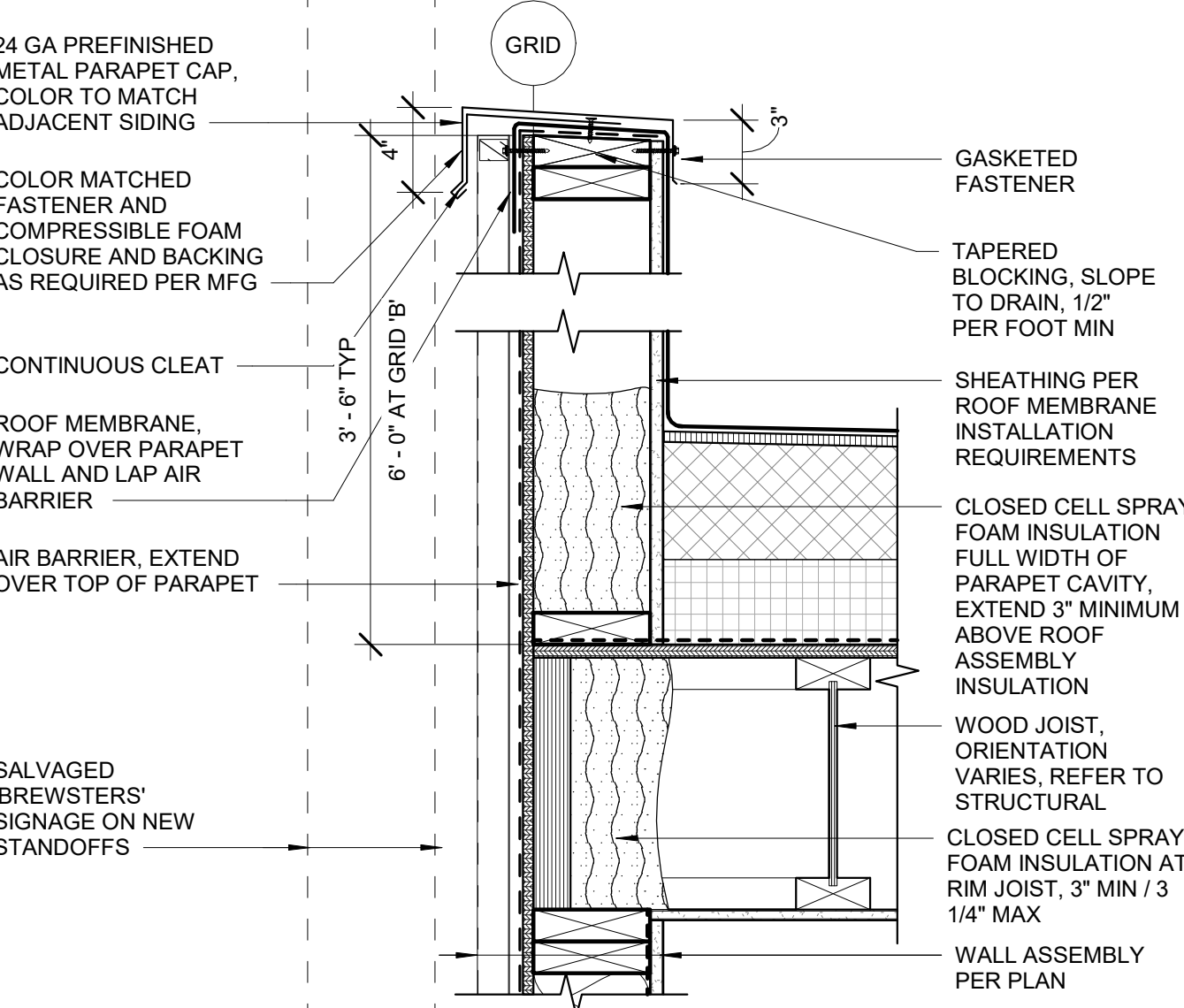
10 3FORM ATTACHMENT DETAIL - SILL
3" = 1'-0"



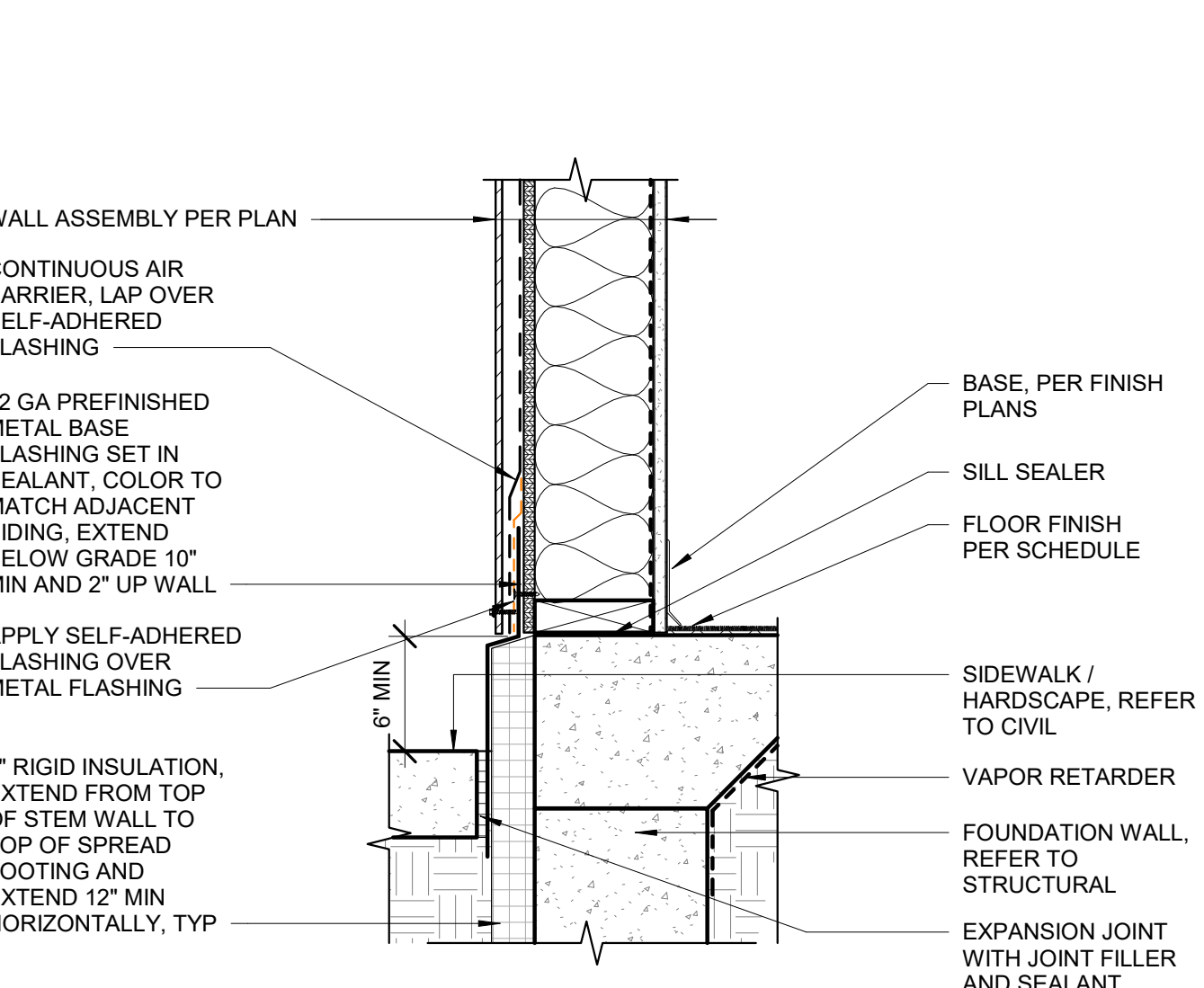
9 TYP FLOOR TRANSITION AT EXT WALL
1 1/2" = 1'-0"



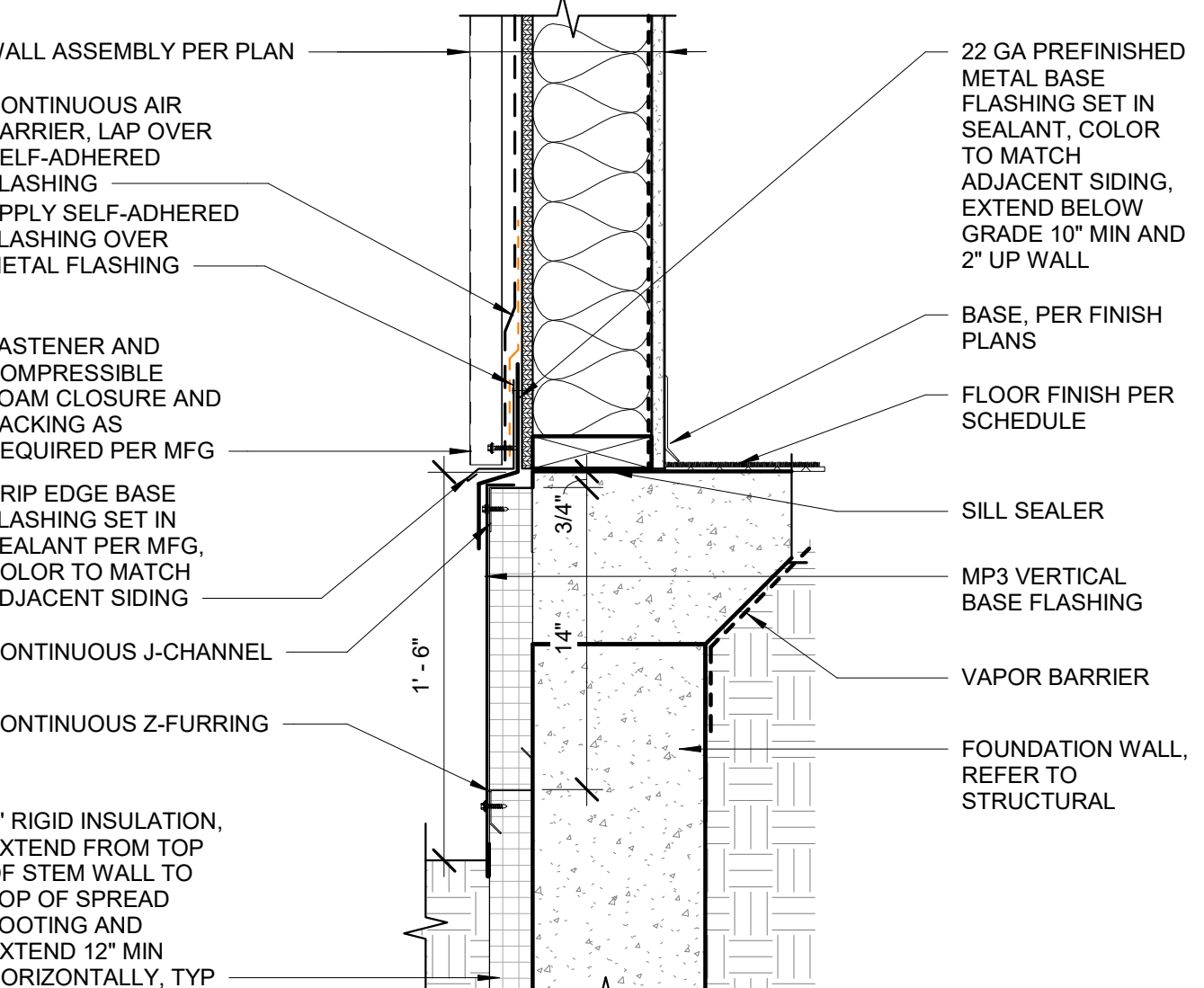
8 MP WALL RETURN/SOFFIT DETAIL
1 1/2" = 1'-0"



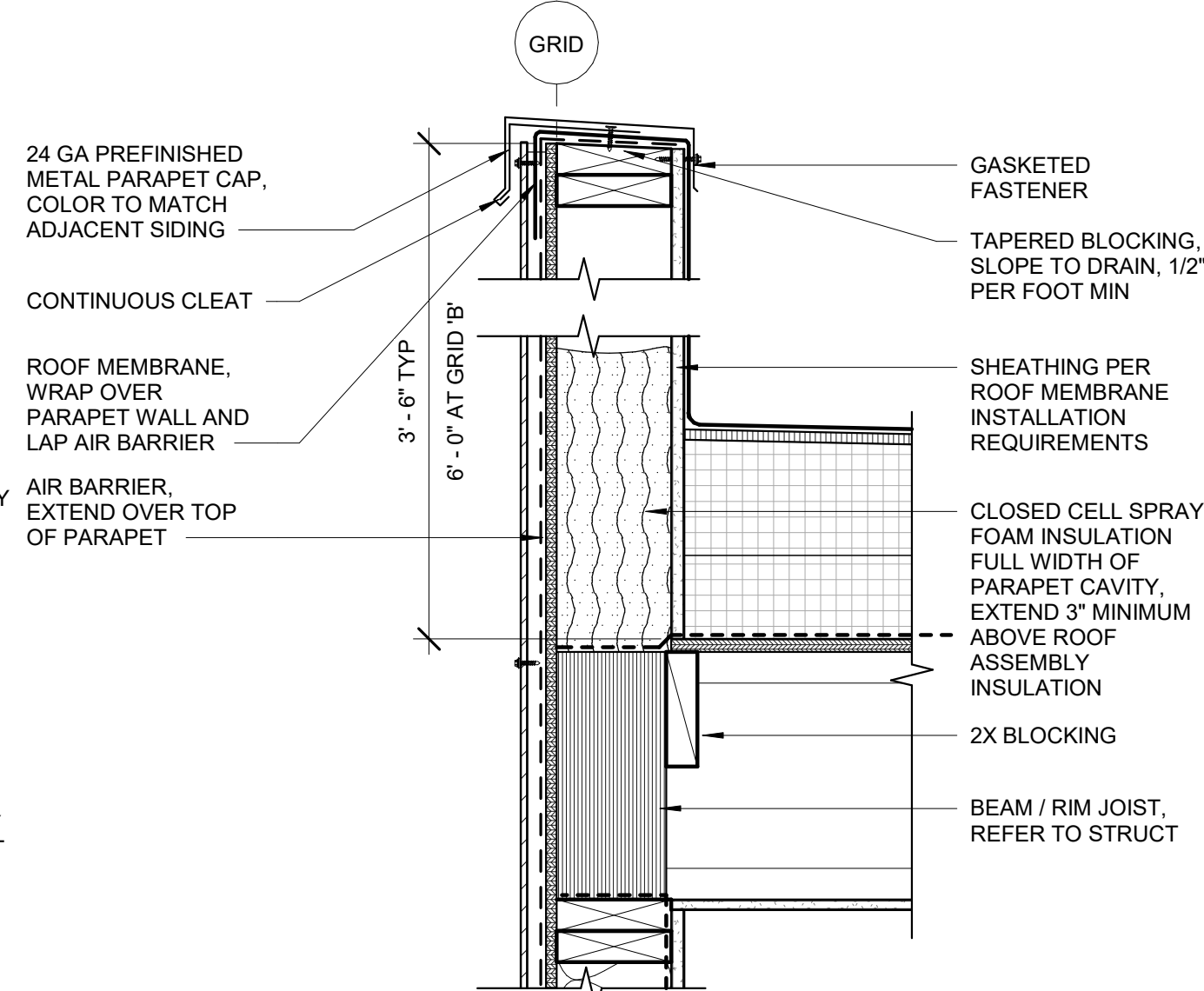
6 PARAPET CAP MP
1 1/2" = 1'-0"



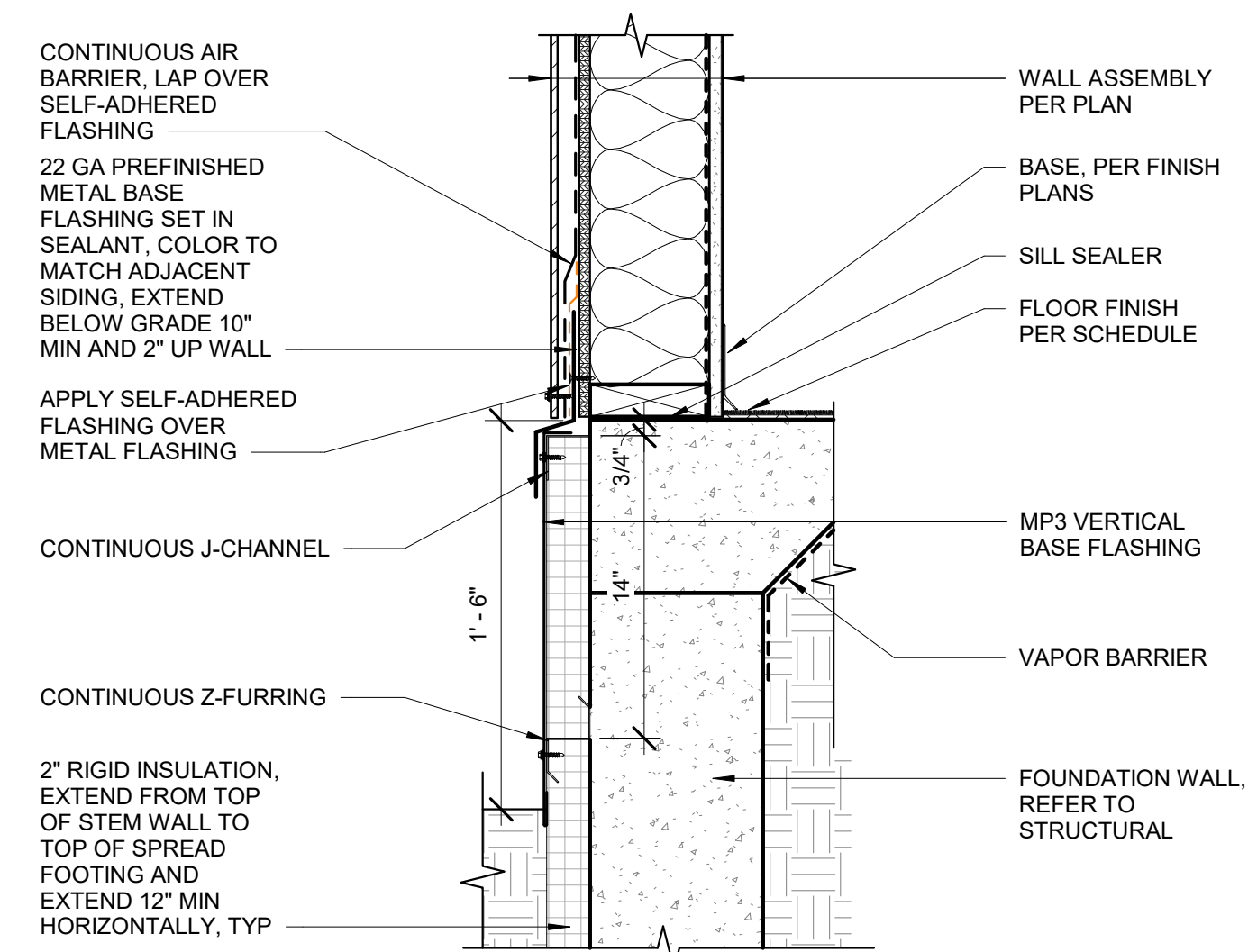
5 BASE DETAIL - PLP AT SIDEWALK
1 1/2" = 1'-0"



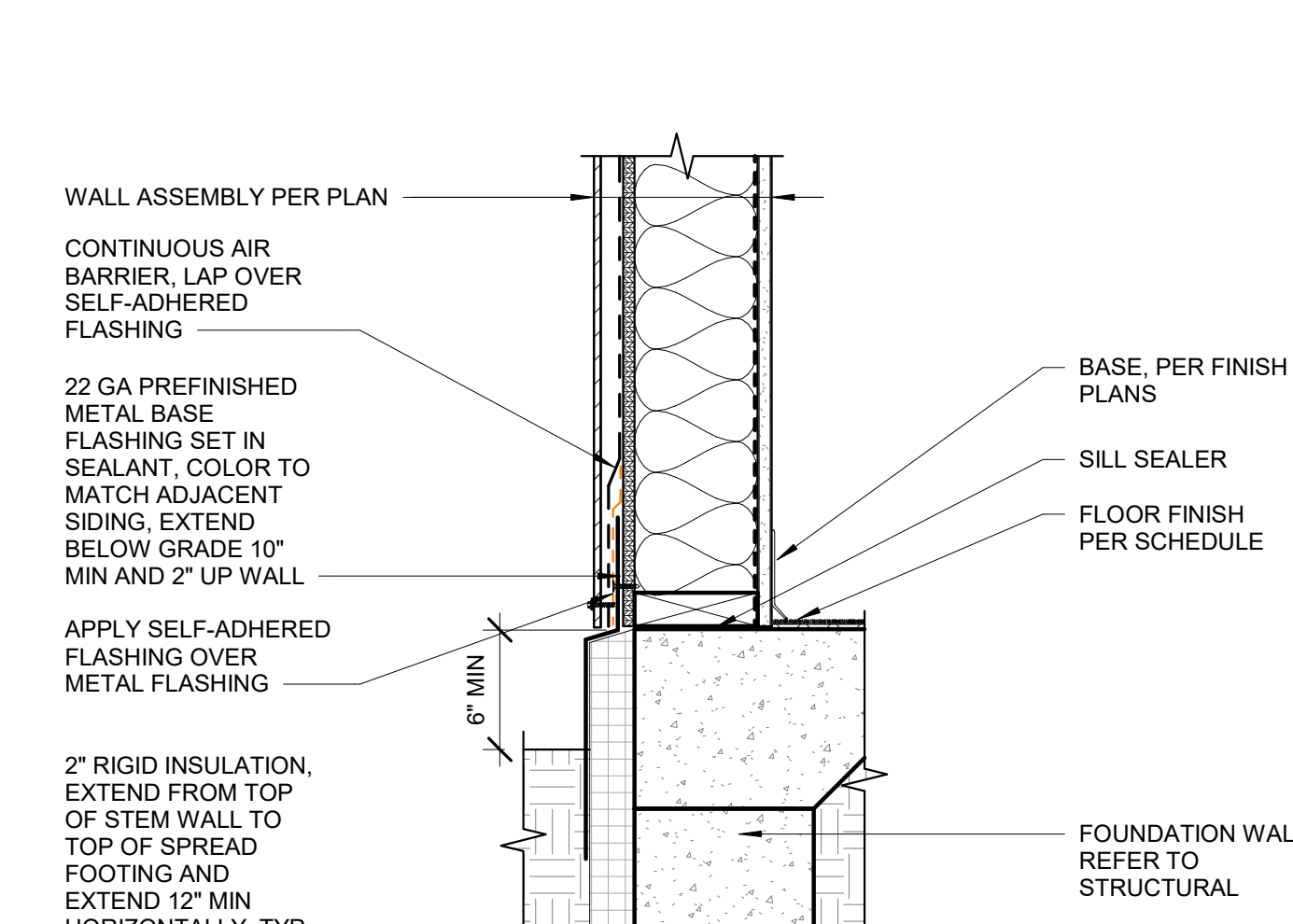
4 BASE DETAIL - MP AT LEVEL 1
1 1/2" = 1'-0"



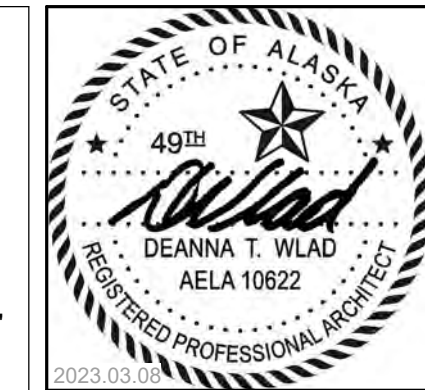
3 PARAPET CAP PLP
1 1/2" = 1'-0"



2 BASE DETAIL - PLP AT LEVEL 1
1 1/2" = 1'-0"



1 BASE DETAIL PLP - AT GRADE
1 1/2" = 1'-0"



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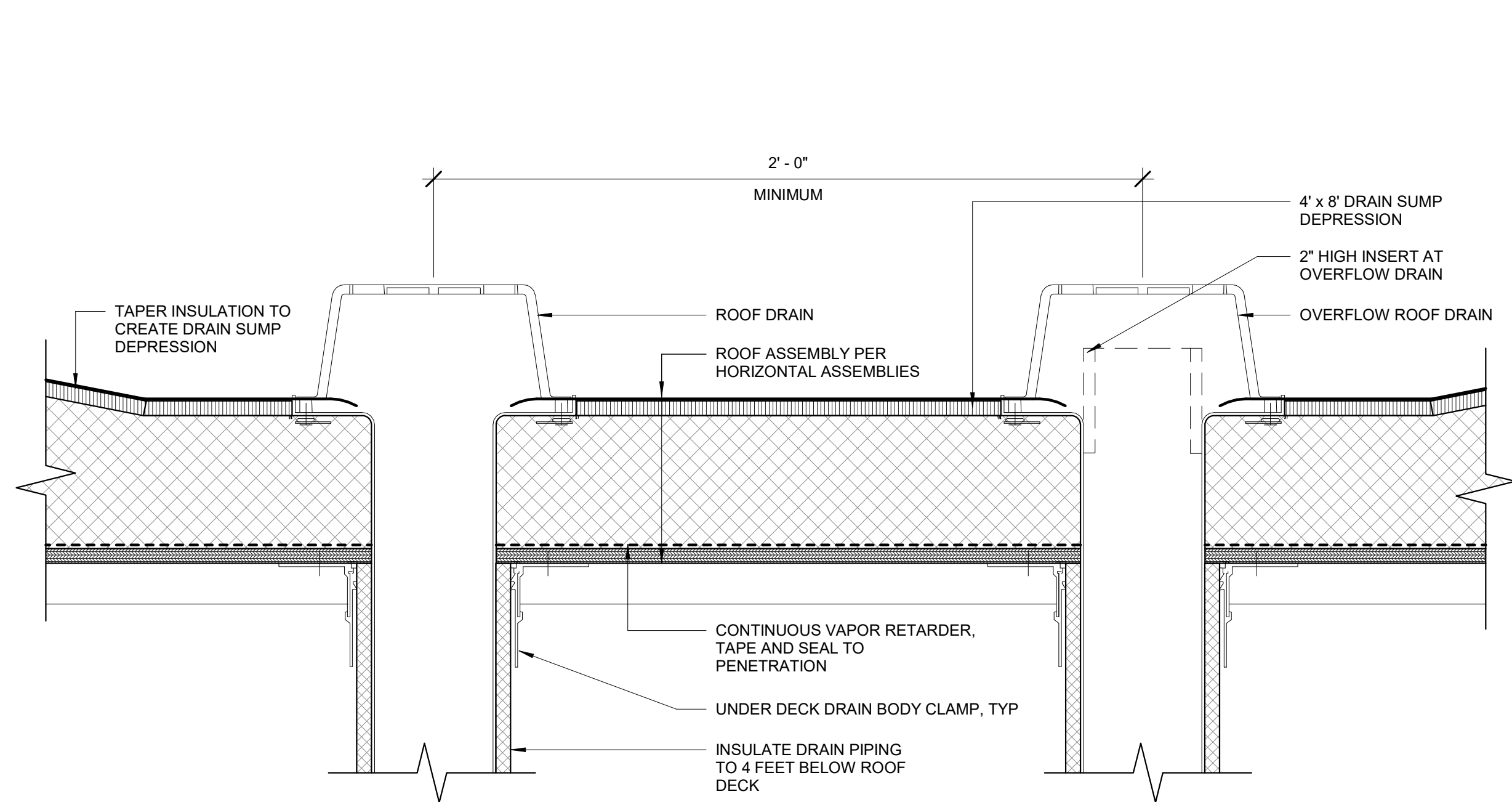
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BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA**

REVISION SCHEDULE		
#	DESCRIPTION	DATE

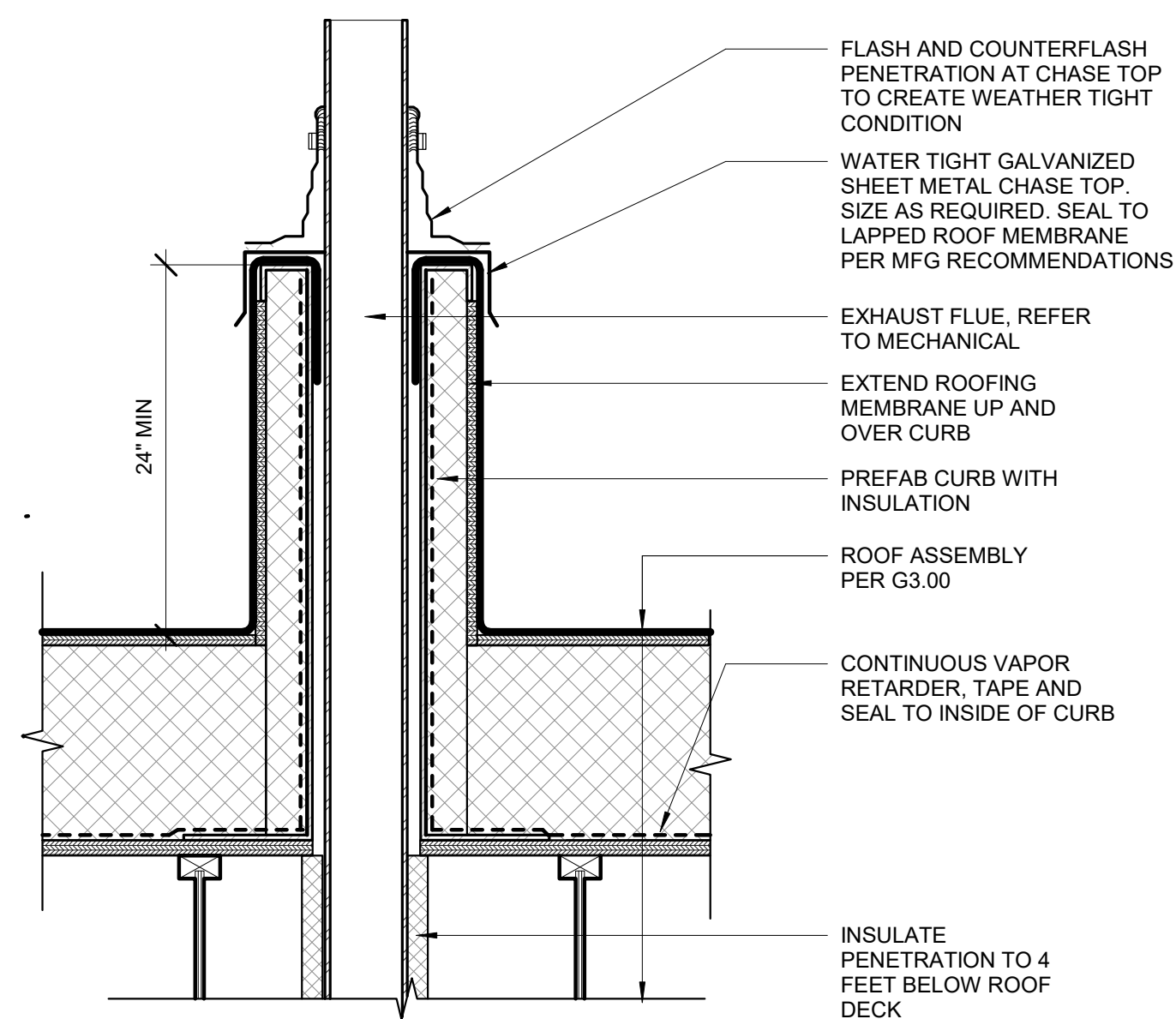
JOB NO. 22-018
DATE 2023.03.08
DRAWN KA
REVIEWED DTW

SHEET NAME
EXTERIOR DETAILS - SECTION

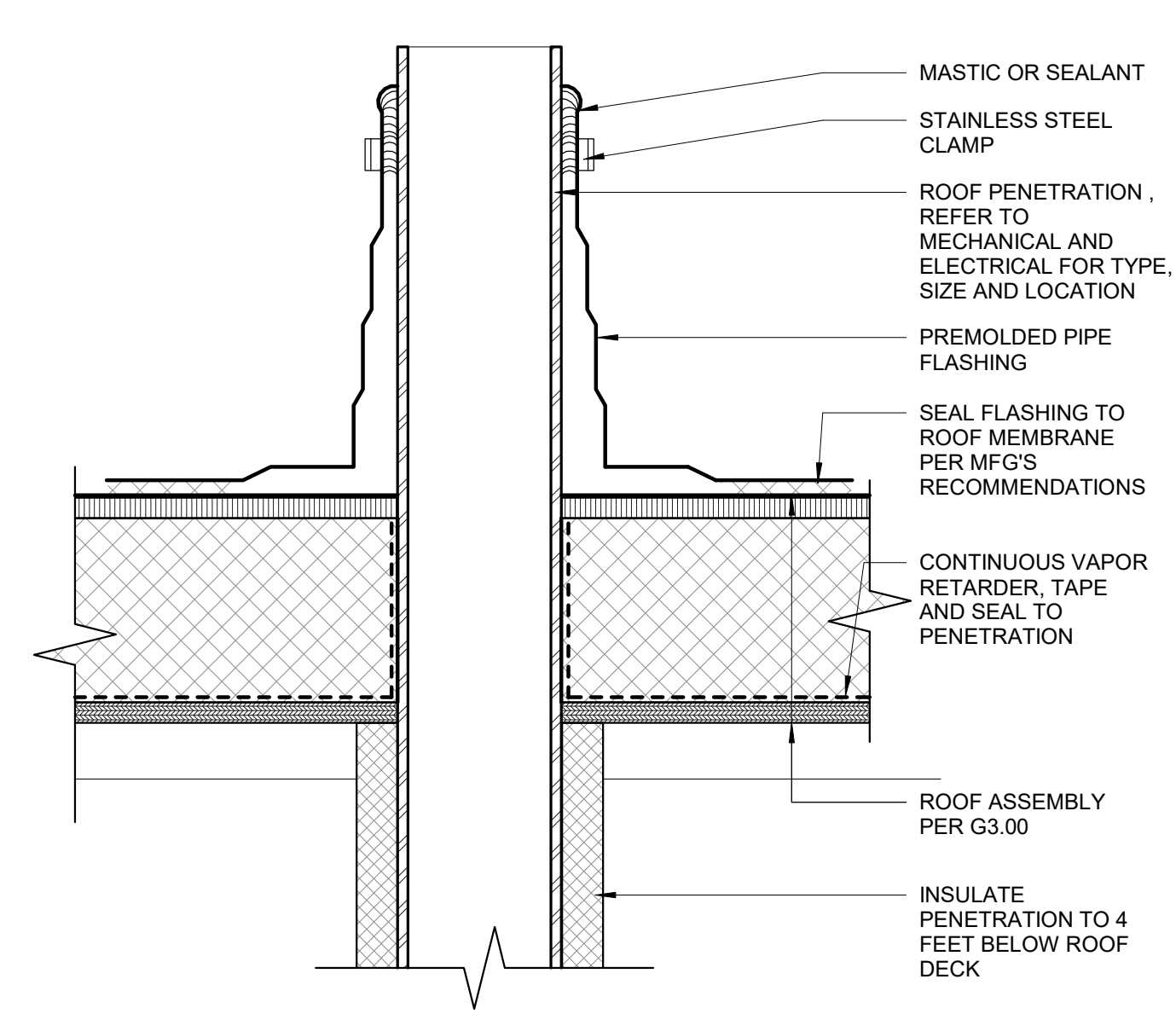
SHEET NO.
A6.10



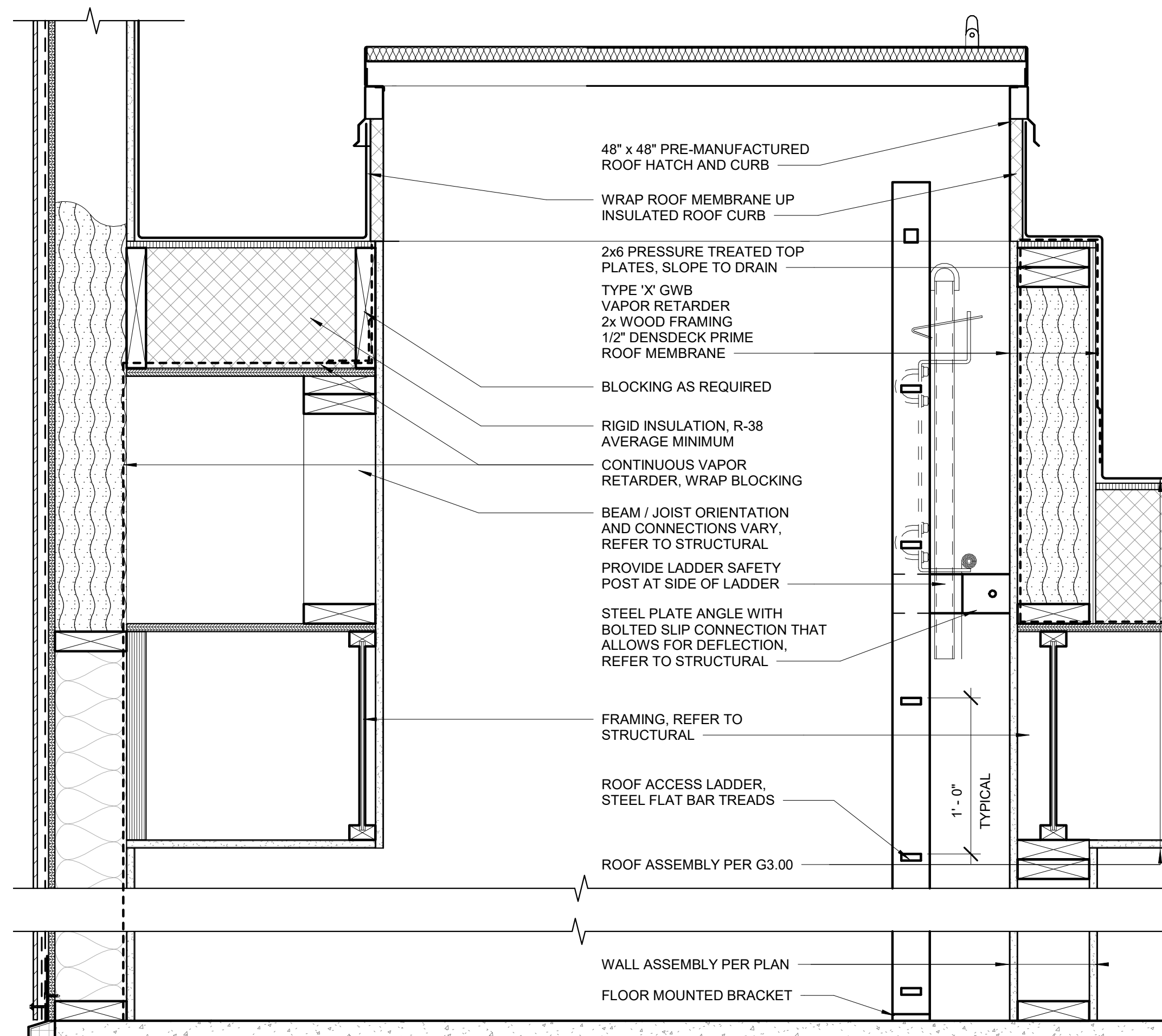
9 TYP ROOF AND OVERFLOW DETAIL
3" = 1'-0"



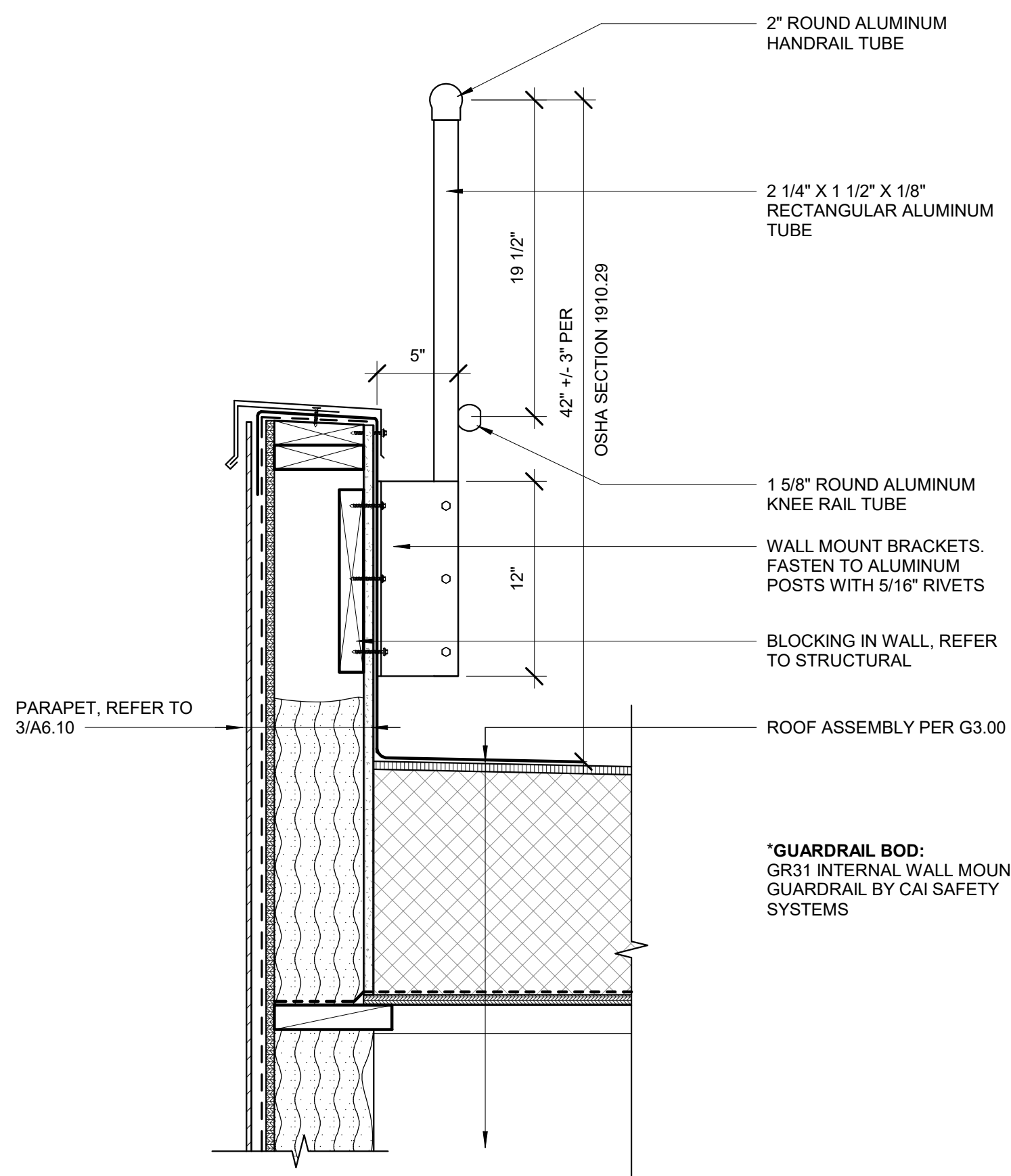
6 INSULATED ROOF CURB DETAIL
1 1/2" = 1'-0"



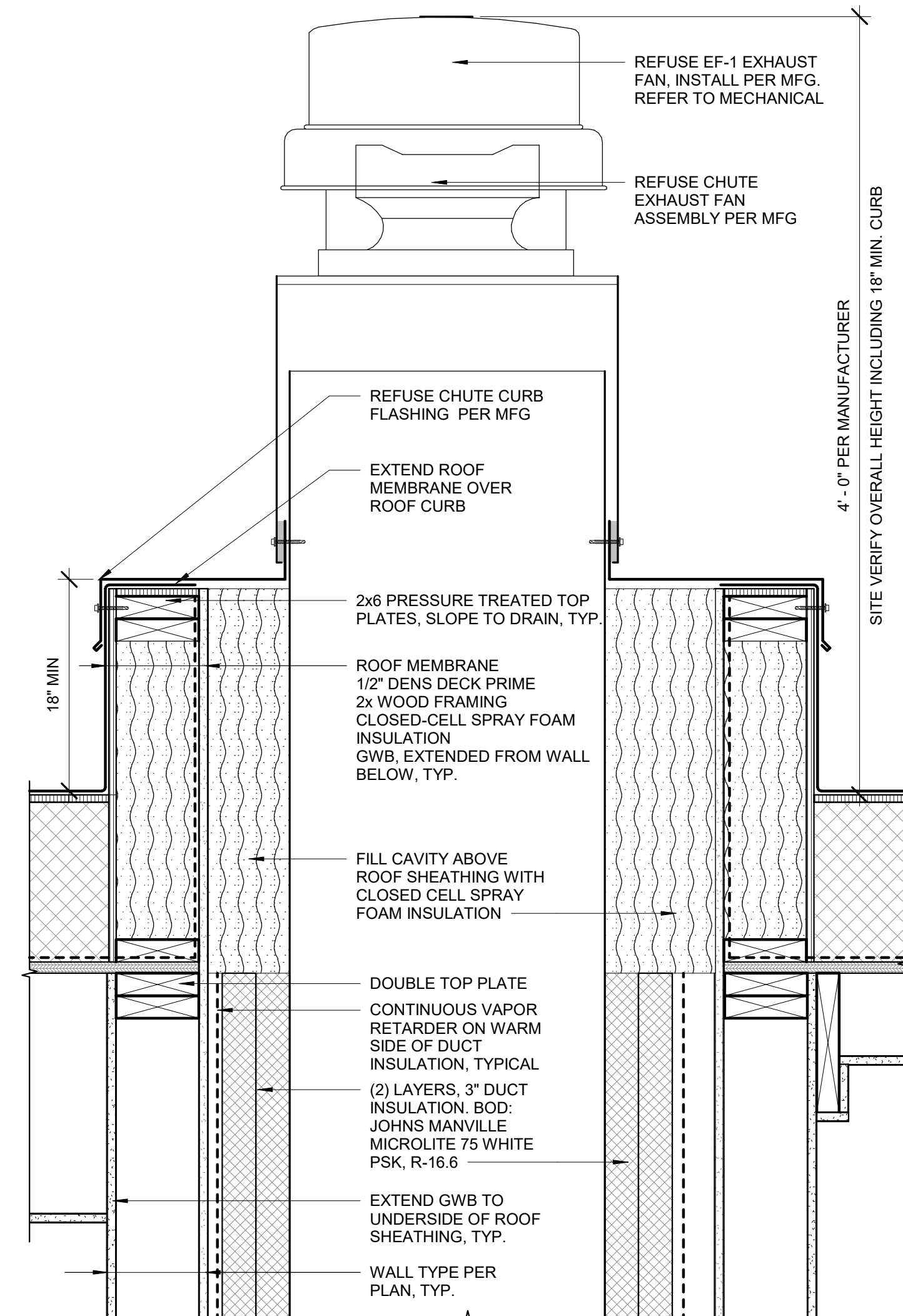
3 TYP ROOF PENETRATION DETAIL
3" = 1'-0"



7 ROOF HATCH
1 1/2" = 1'-0"



4 GUARDRAIL AT PARAPET
1 1/2" = 1'-0"



1 REFUSE CHUTE AT ROOF
1 1/2" = 1'-0"



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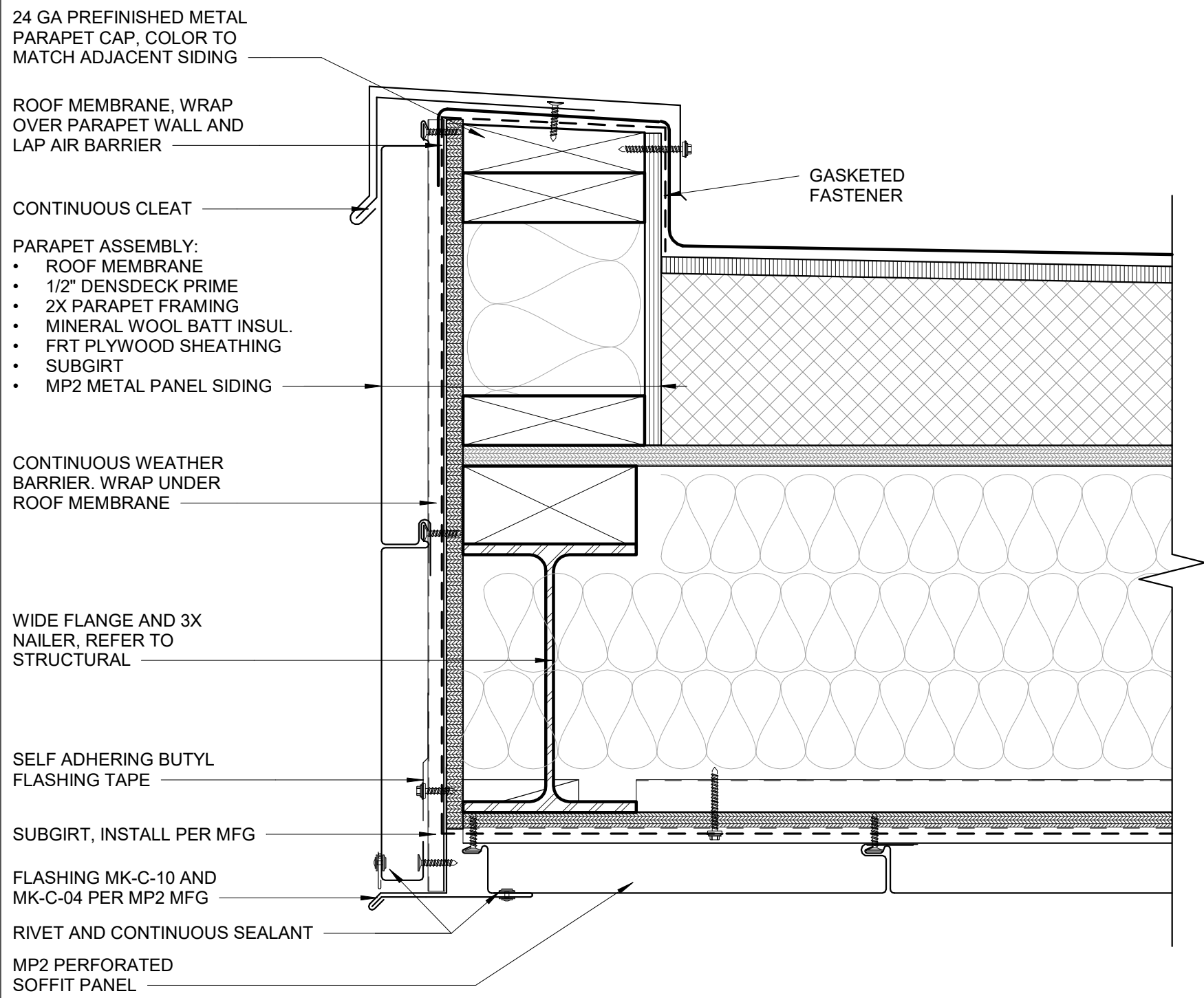
COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

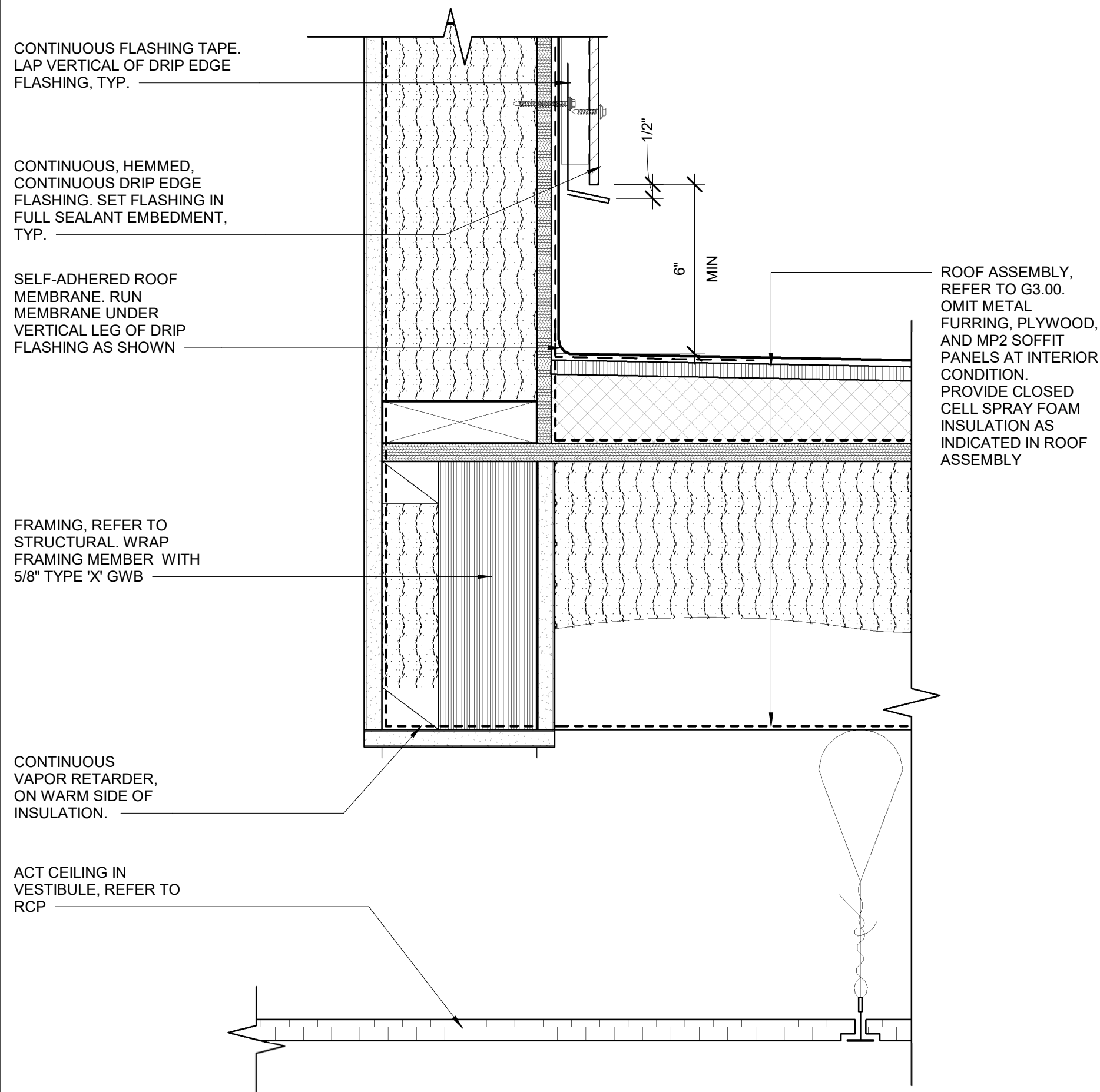
JOB NO. 22-018
DATE 2023.03.08
DRAWN AKG
REVIEWED DTW

SHEET NAME
EXTERIOR DETAILS - ROOF

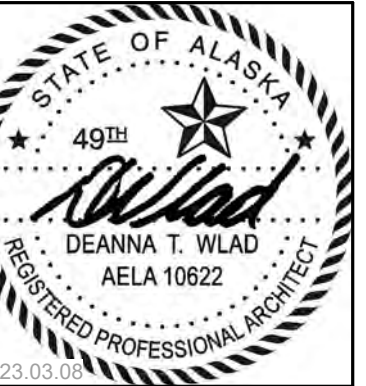
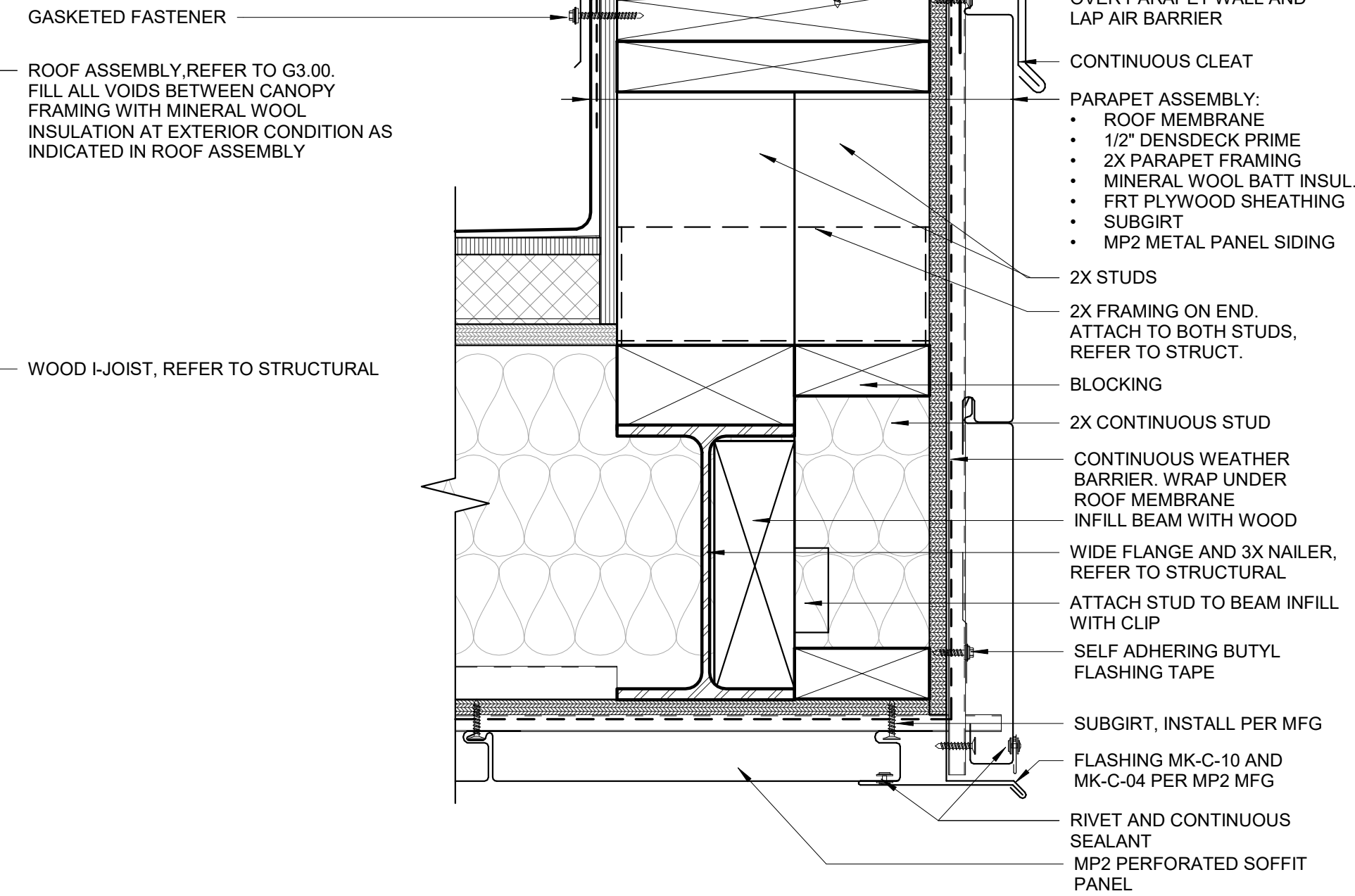
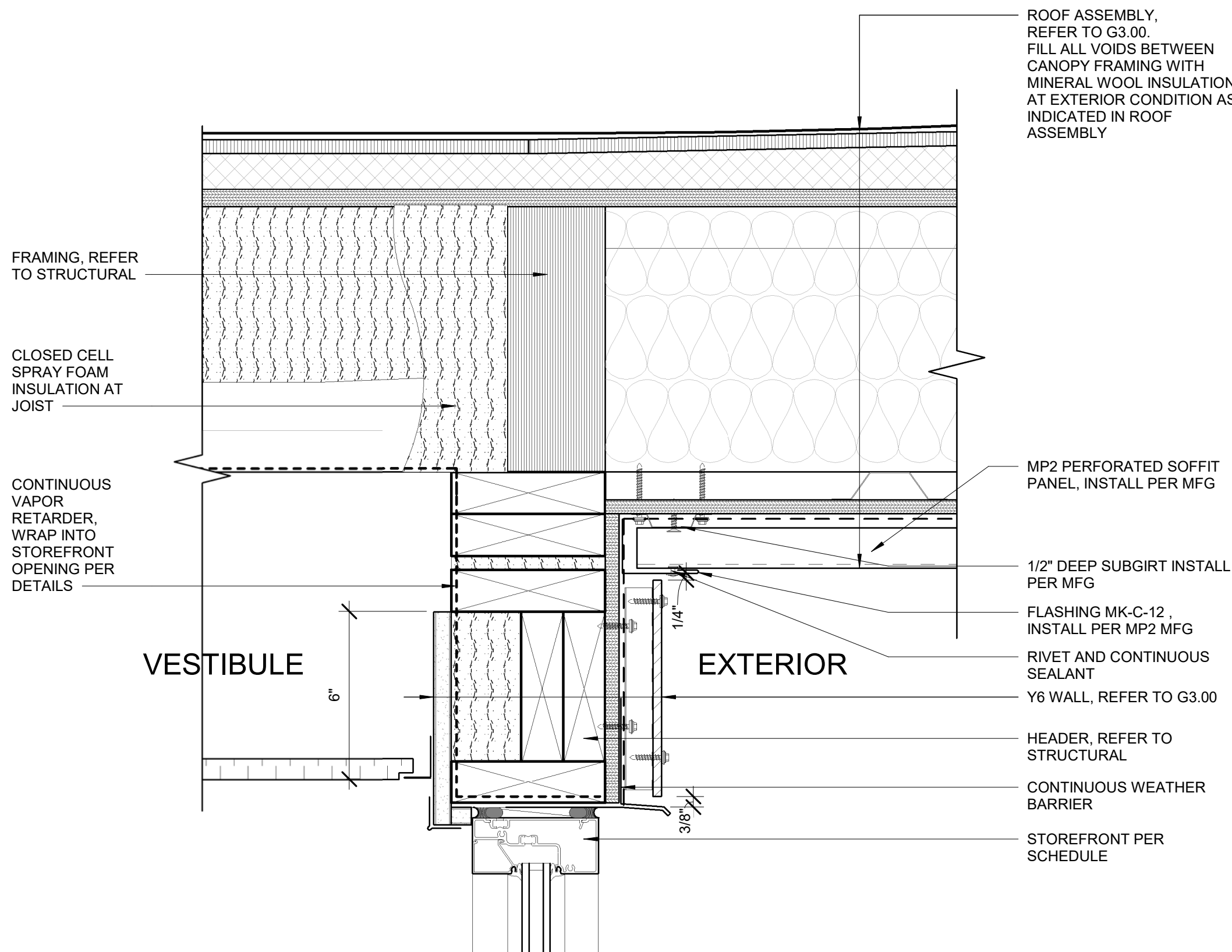
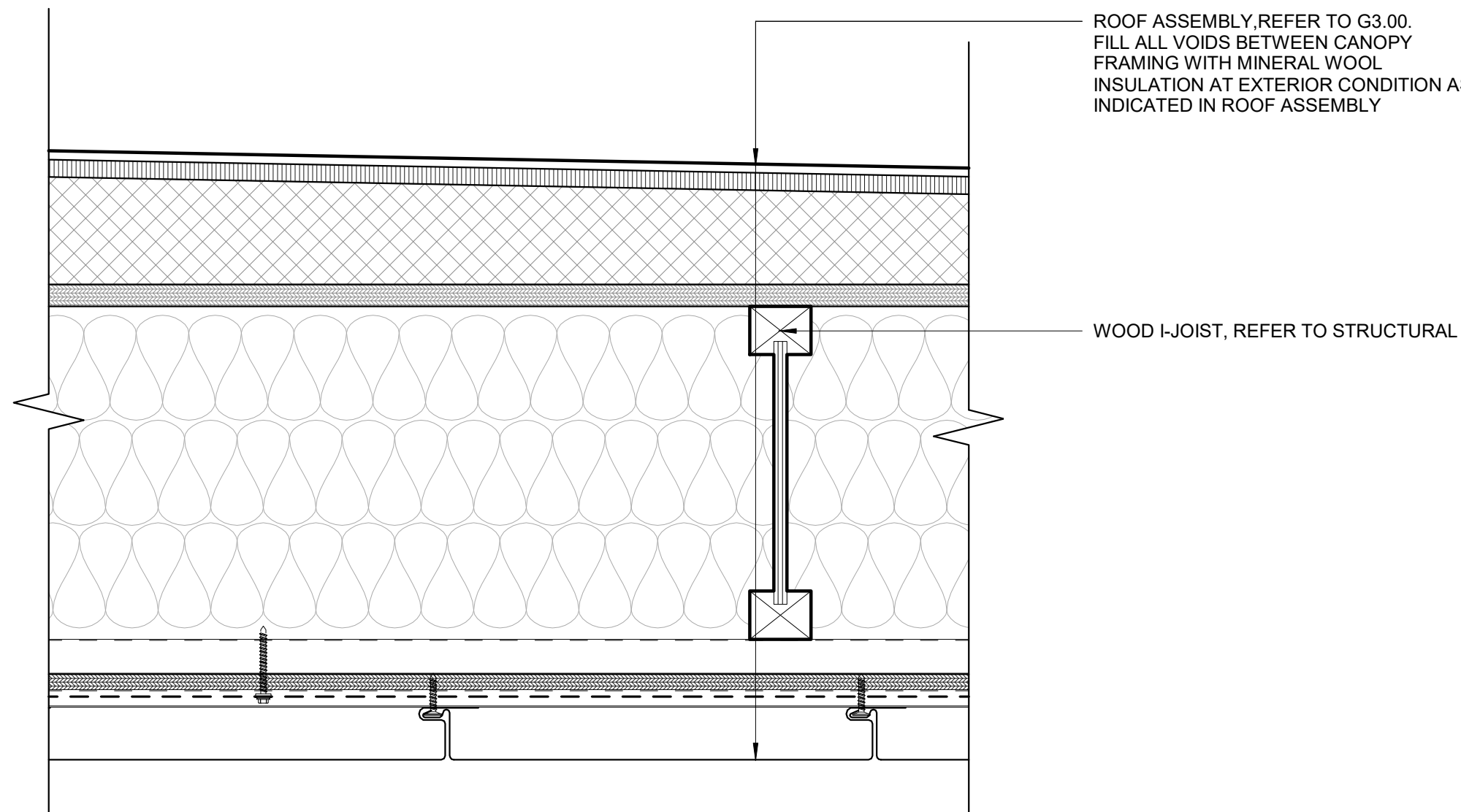
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A6.20



2 ENTRY CANOPY - EAST TO WEST
3" = 1'-0"



1 ENTRY CANOPY - NORTH TO SOUTH
3" = 1'-0"



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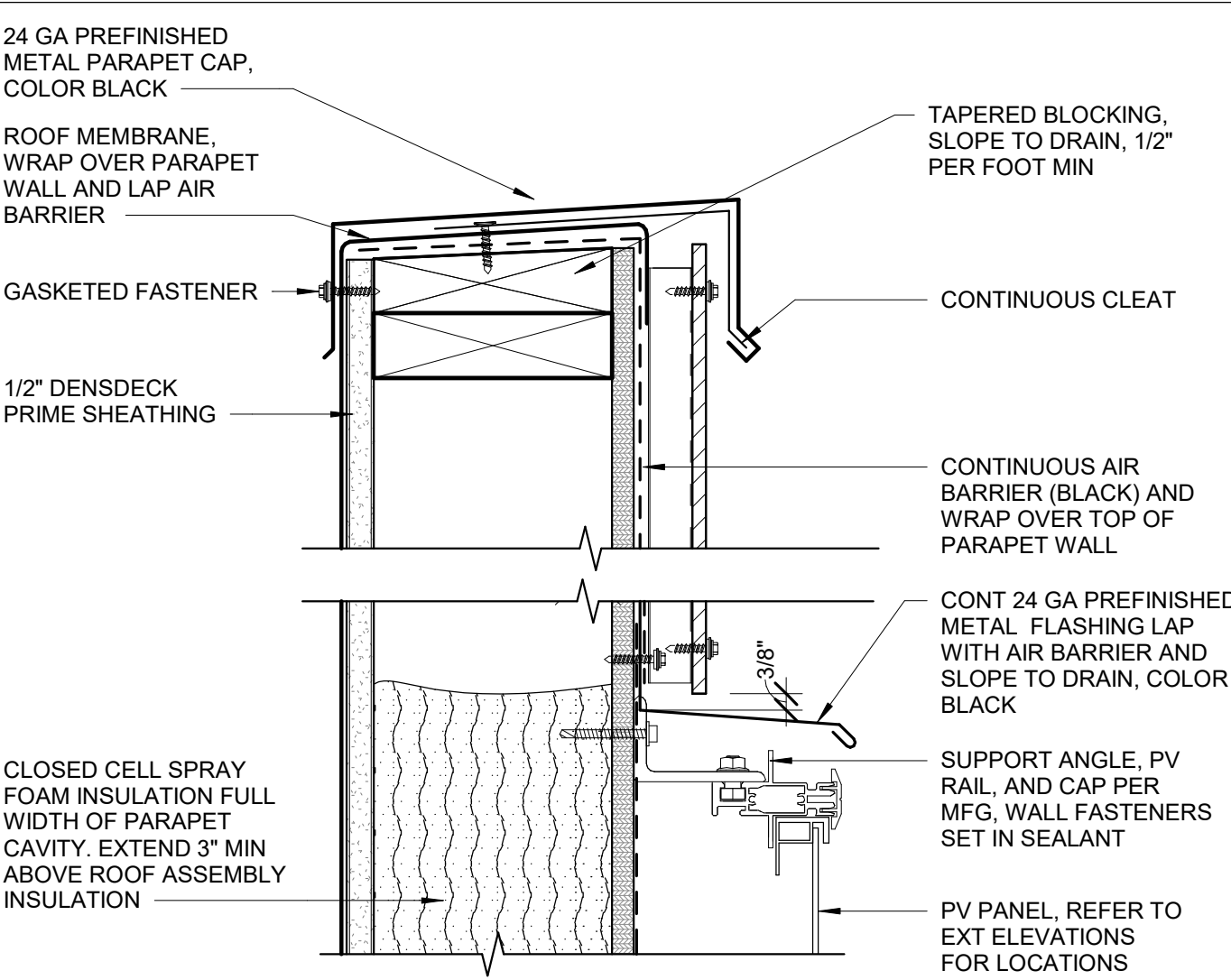
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#	DESCRIPTION	DATE

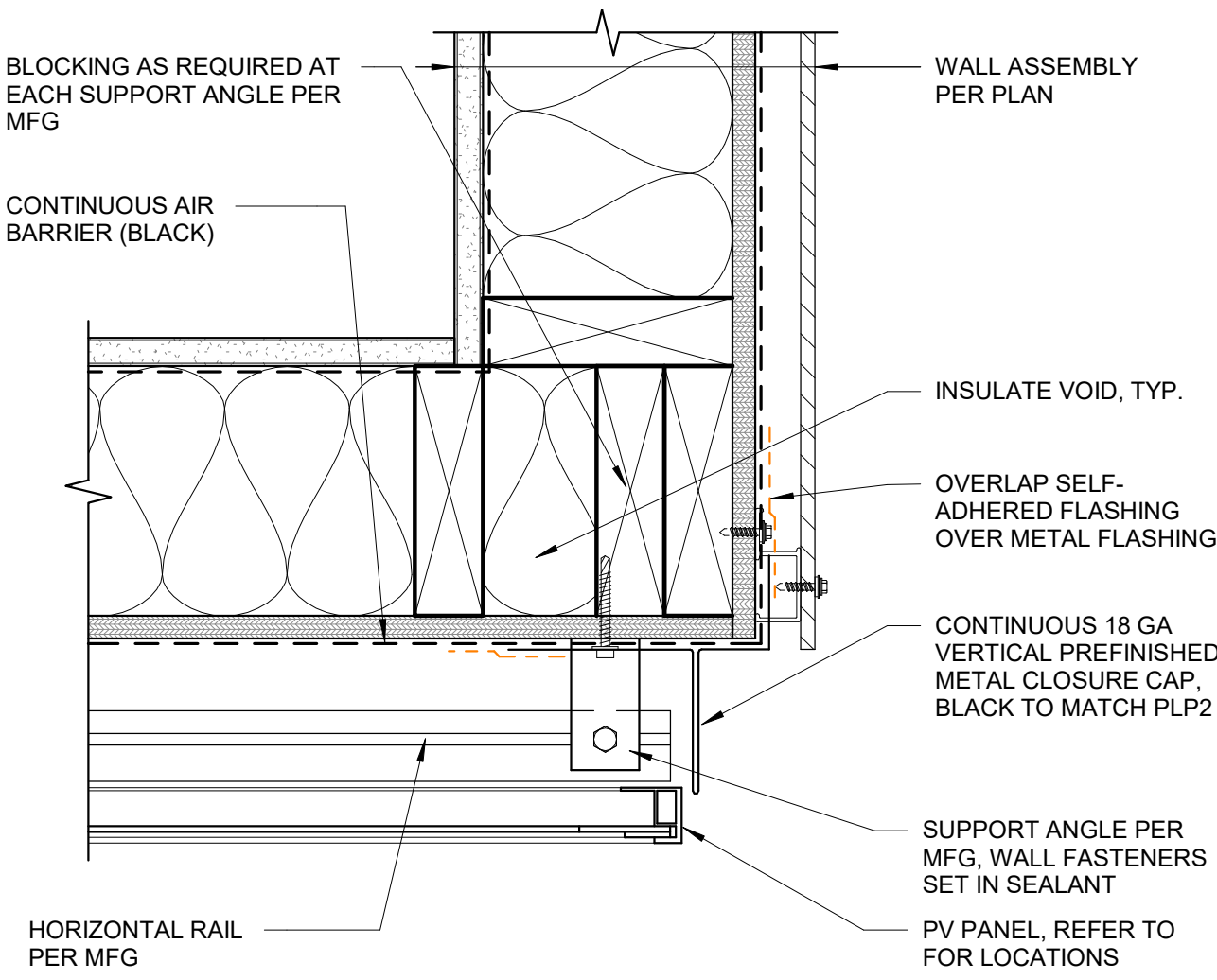
JOB NO. 22-018
DATE 2023.03.08
DRAWN AKG
REVIEWED DTW

SHEET NAME
EXTERIOR DETAILS - CANOPY

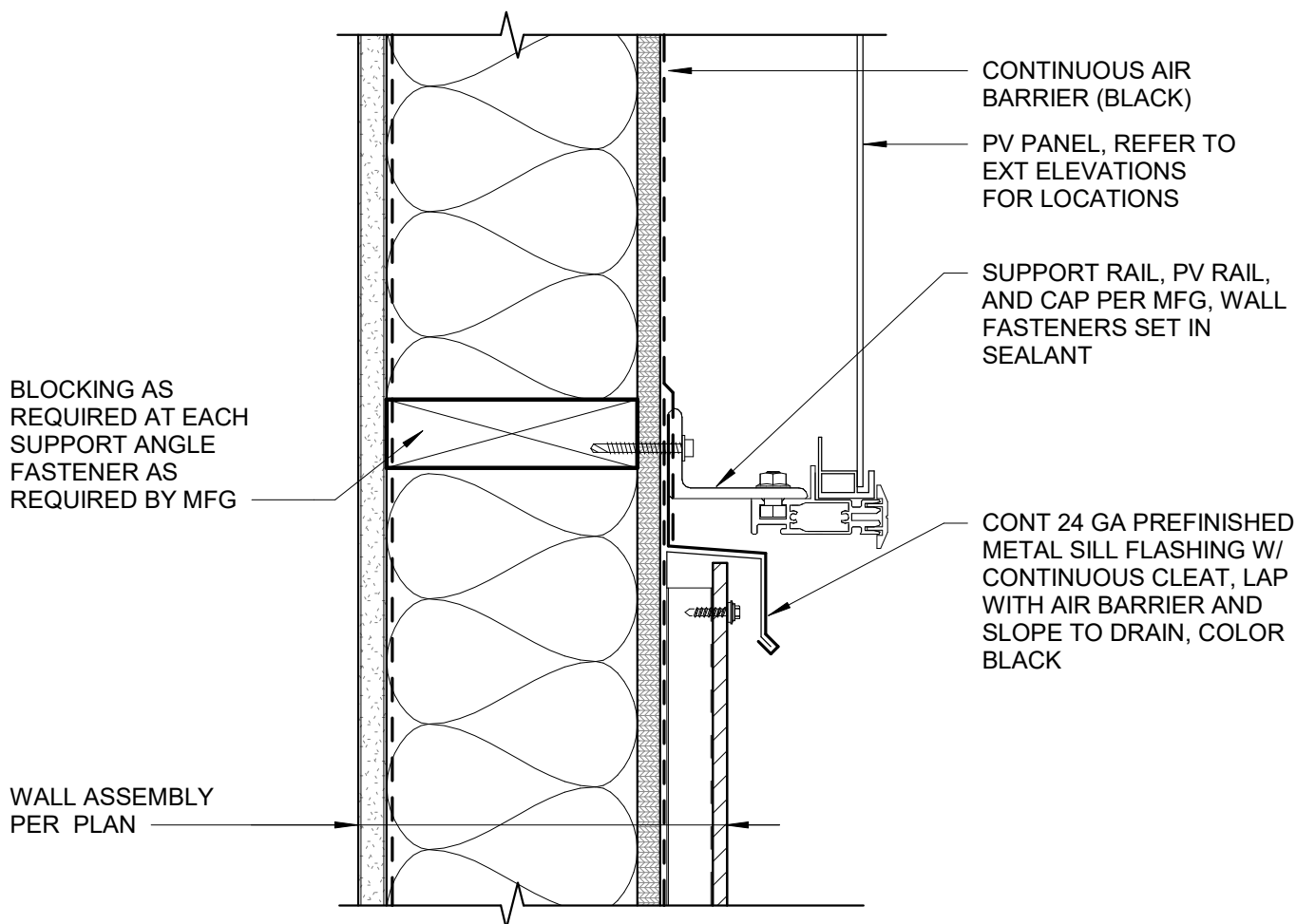
SHEET NO.
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3 PV PANEL HEAD
3" = 1'-0"



2 PV PANEL OUTSIDE CORNER
3" = 1'-0"



1 PV PANEL SILL
3" = 1'-0"



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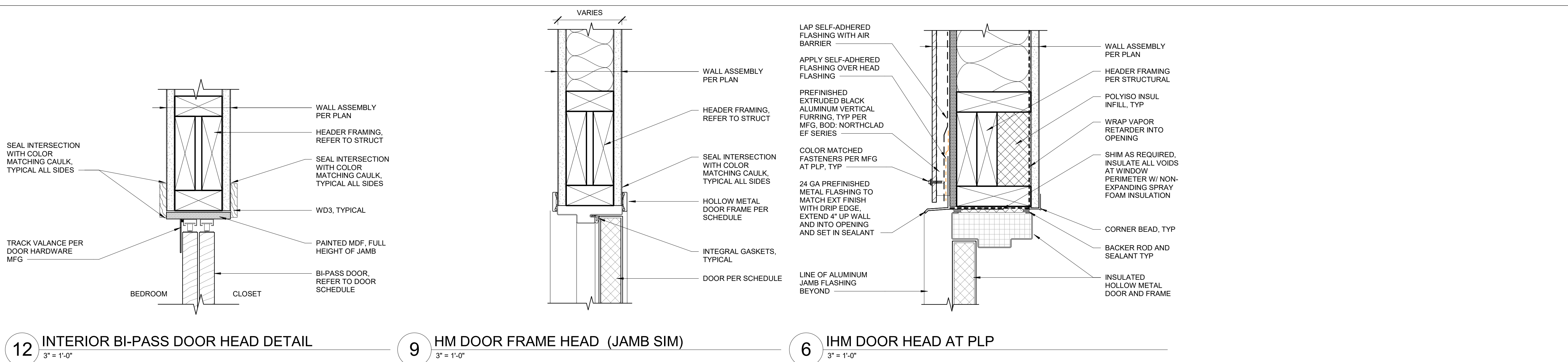
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REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	22-018
DATE	2023.03.08
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REVIEWED	DTW

SHEET NAME
EXTERIOR DETAILS - PV PANELS

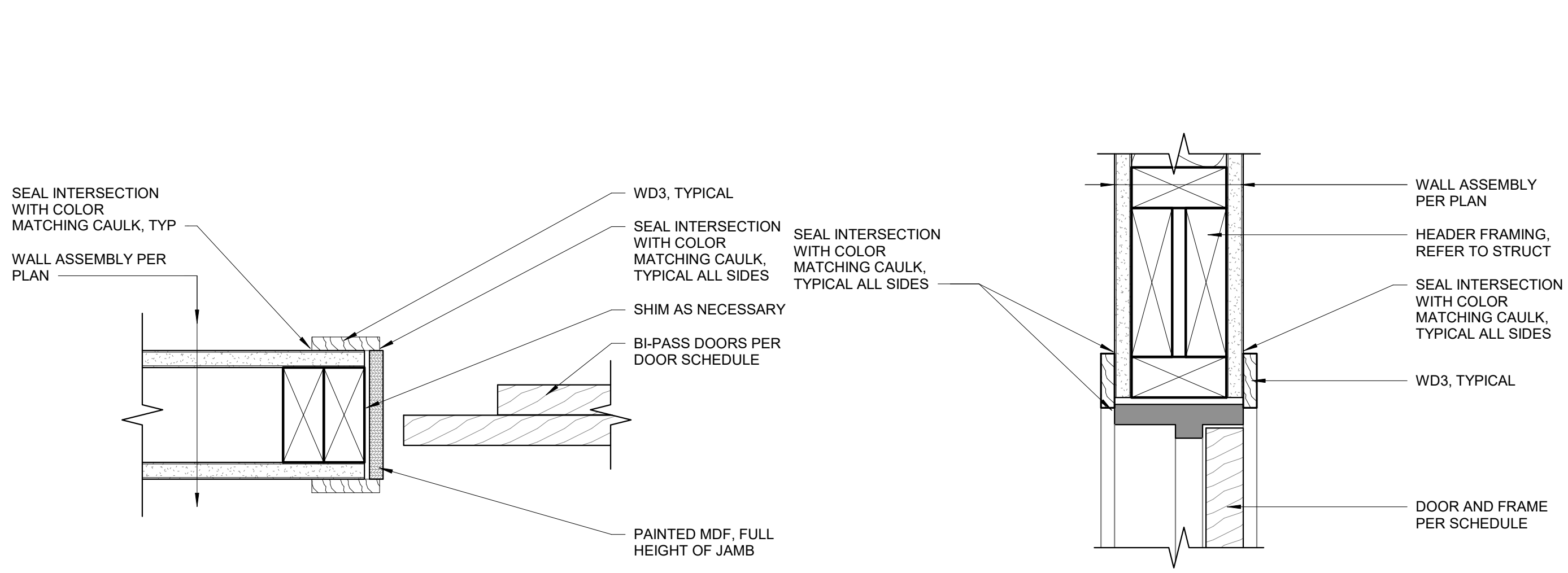
SHEET NO.
A6.31



12 INTERIOR BI-PASS DOOR HEAD DETAIL
3" = 1'-0"

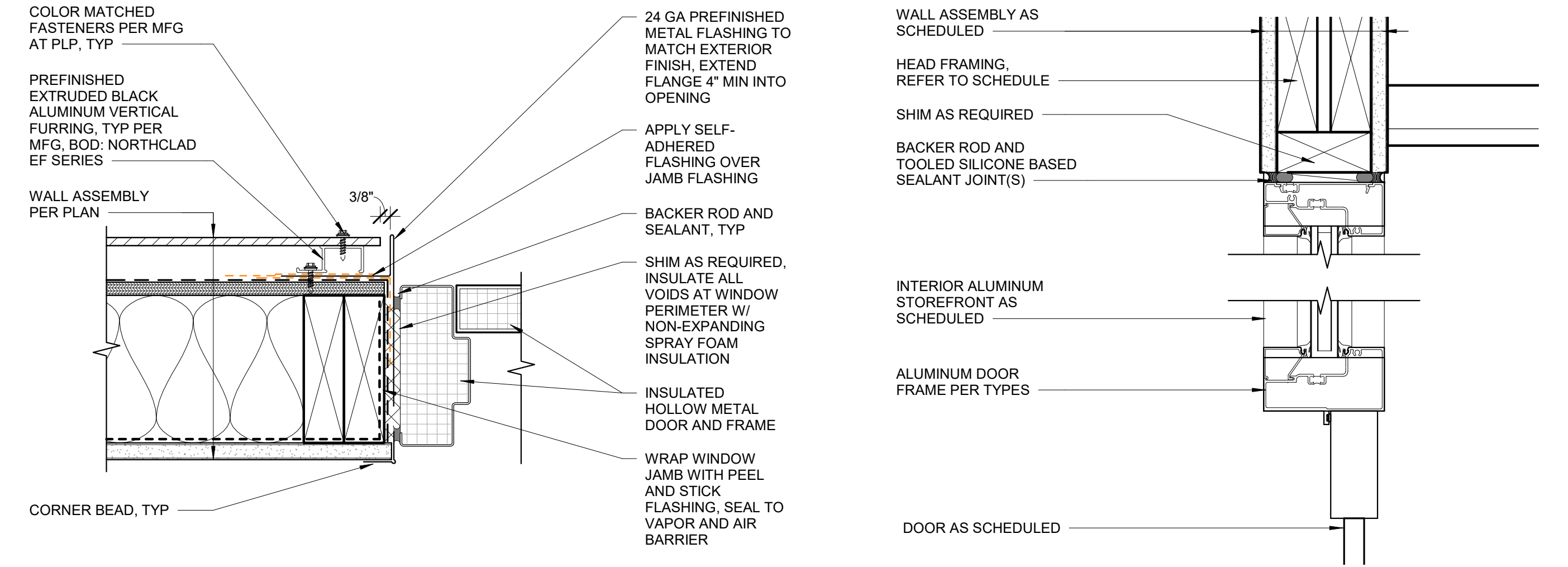
9 HM DOOR FRAME HEAD (JAMB SIM)
3" = 1'-0"

6 IHM DOOR HEAD AT PLP
3" = 1'-0"



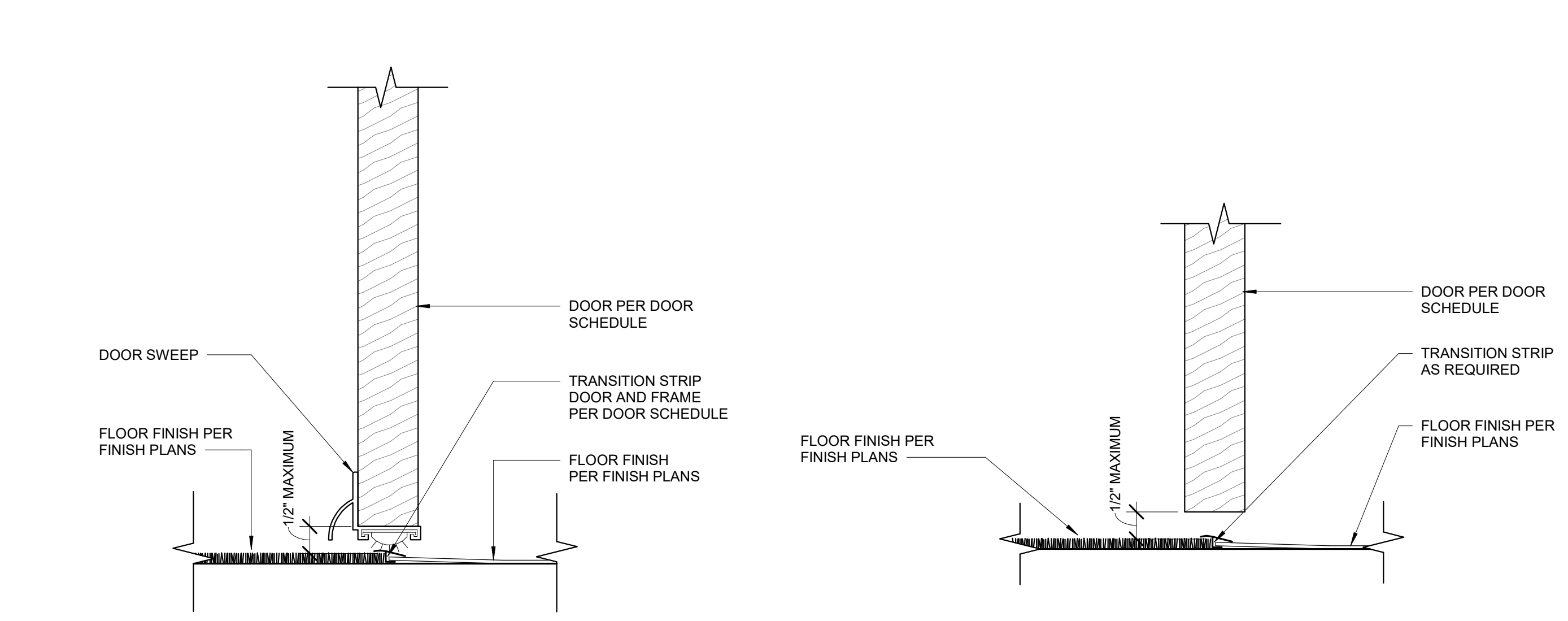
11 INTERIOR BI-PASS DOOR JAMB
3" = 1'-0"

8 WOOD DOOR FRAME HEAD DETAIL (JAMB SIM.)
3" = 1'-0"



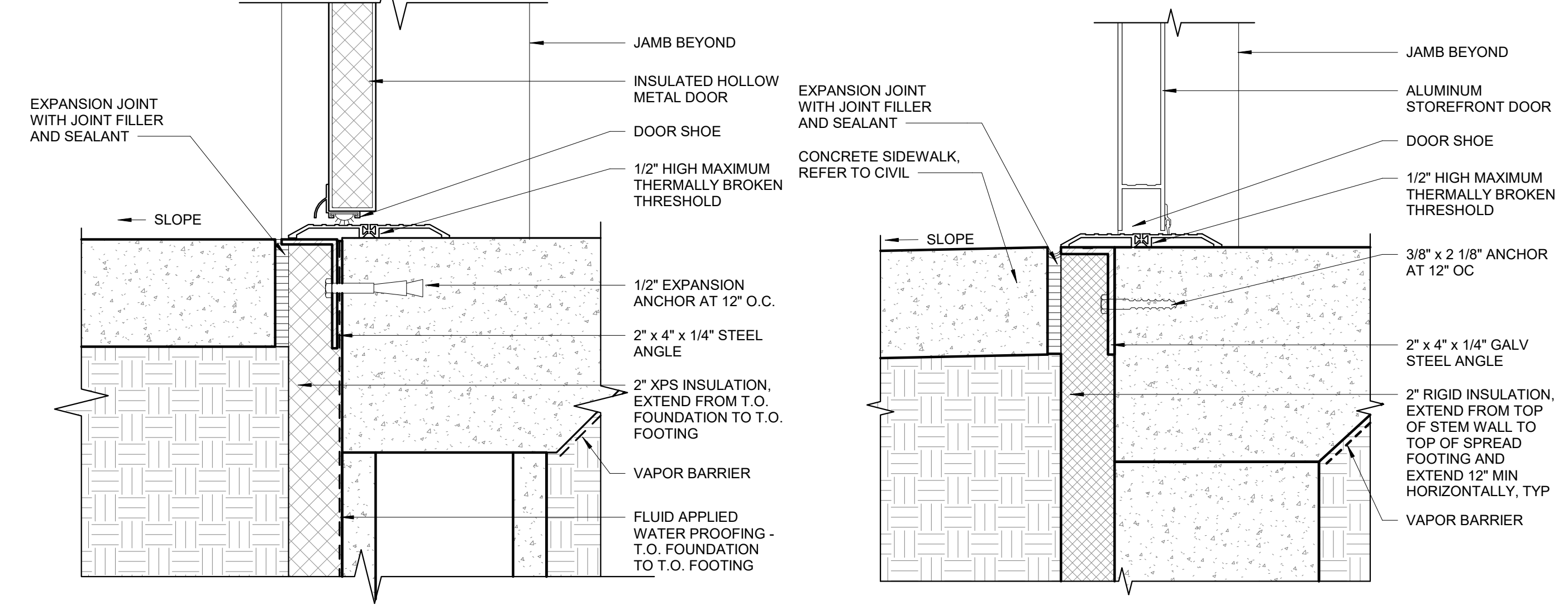
5 IHM DOOR JAMB AT PLP
3" = 1'-0"

2 SECTION DETAIL - DOOR HEAD AT SF2
3" = 1'-0"




10 INTERIOR DOOR THRESHOLD W/SWEEP
6" = 1'-0"

7 INTERIOR DOOR THRESHOLD
6" = 1'-0"



4 IHM DOOR THRESHOLD
3" = 1'-0"

1 STOREFRONT DOOR THRESHOLD
3" = 1'-0"



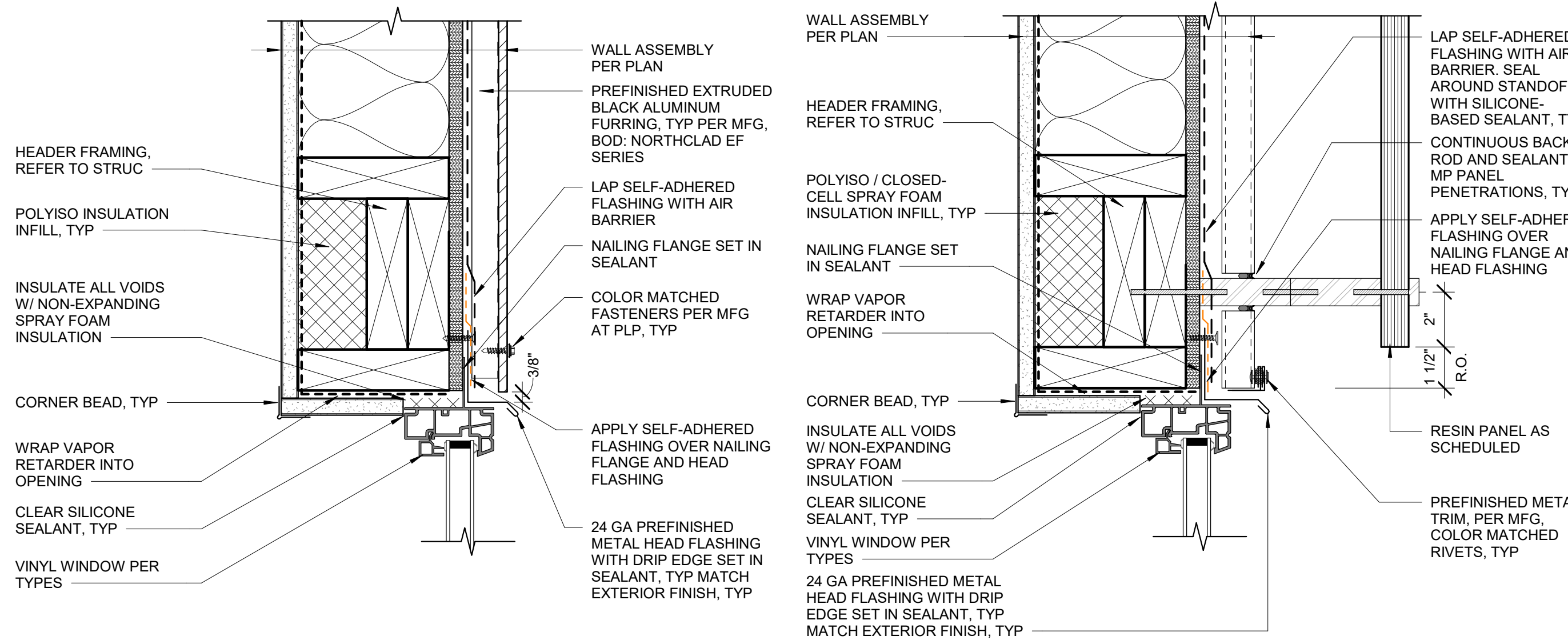
49th
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AELA 10622
REGISTERED PROFESSIONAL ARCHITECT
2023.03.08

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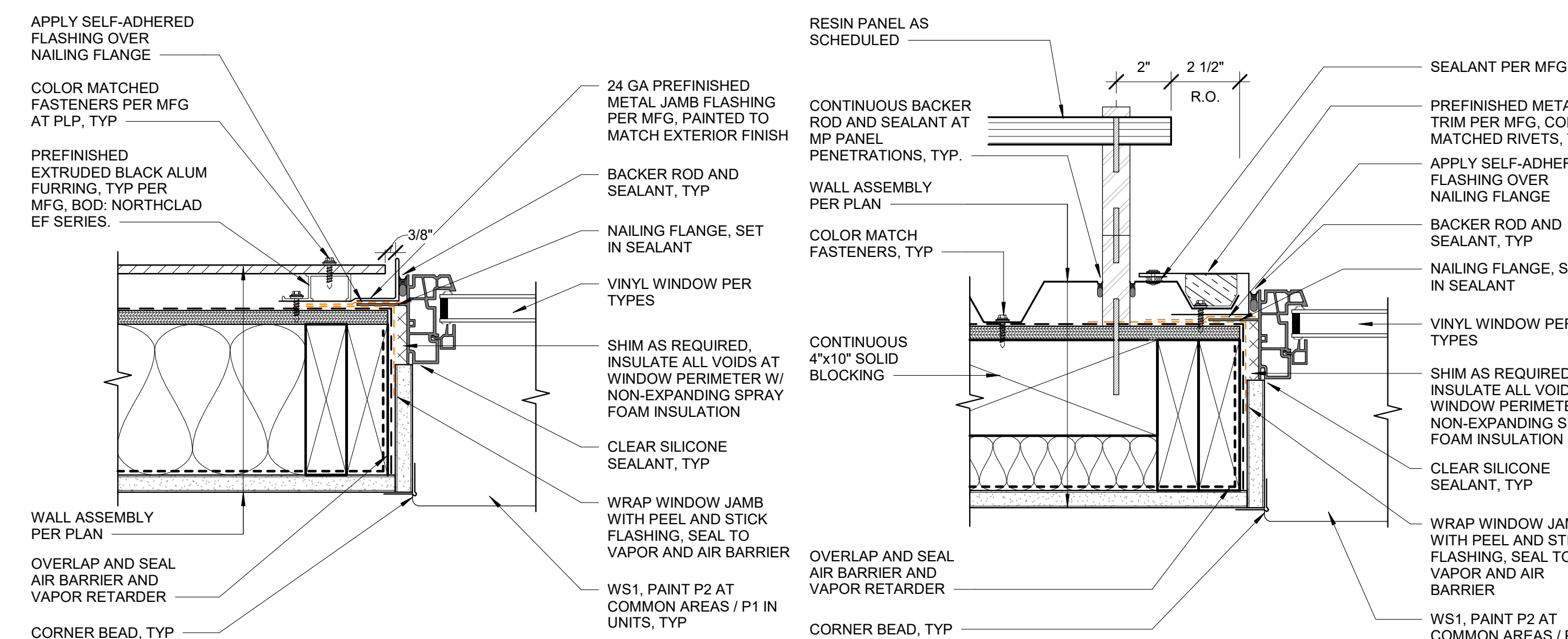
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REVISION SCHEDULE		
#	DESCRIPTION	DATE
JOB NO.	22-018	
DATE	2023.03.08	
DRAWN	AKG	
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SHEET NAME EXTERIOR DETAILS / INTERIOR DETAIL - DOORS		
SHEET NO. A6.40		



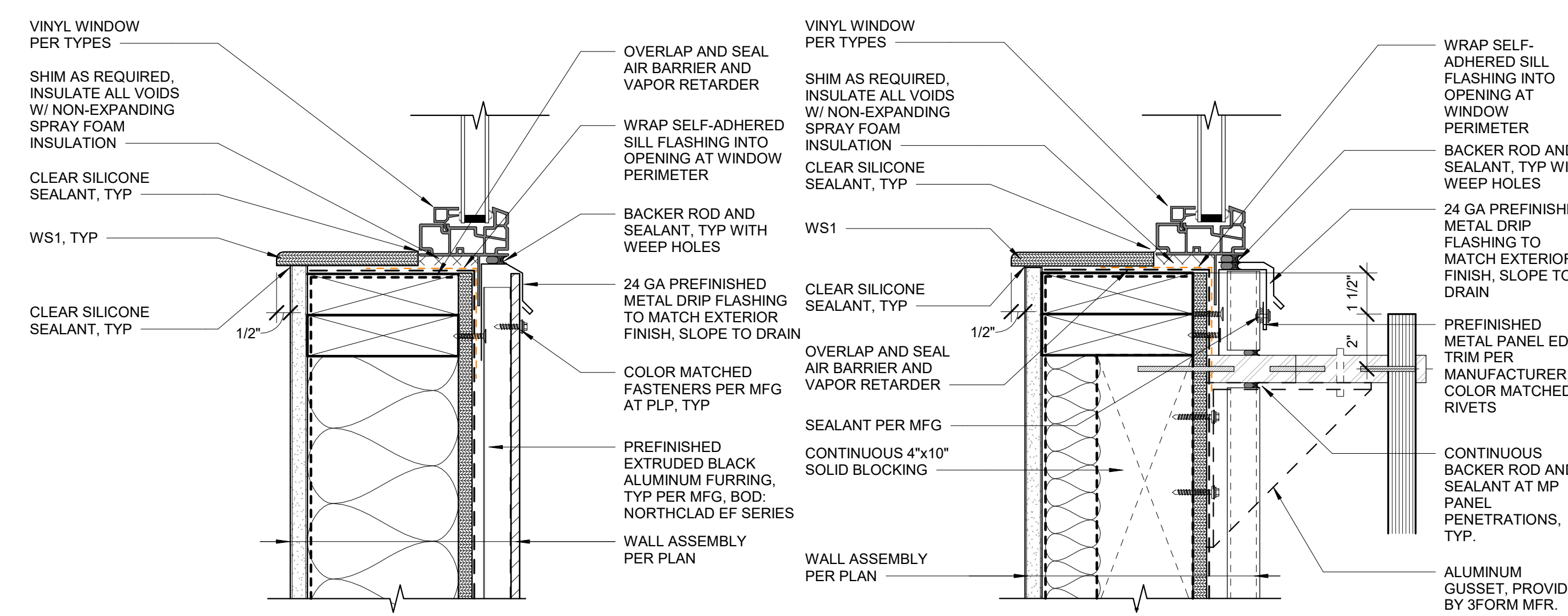
6 VINYL WINDOW HEAD AT PLP
3" = 1'-0"

3 VINYL WINDOW HEAD AT MP
3" = 1'-0"



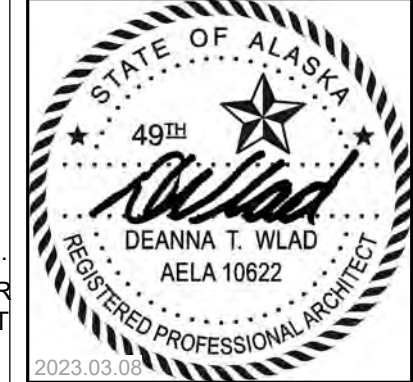
5 VINYL WINDOW JAMB AT PLP
3" = 1'-0"

2 VINYL WINDOW JAMB AT MP
3" = 1'-0"



4 VINYL WINDOW SILL AT PLP
3" = 1'-0"

1 VINYL WINDOW SILL AT MP
3" = 1'-0"



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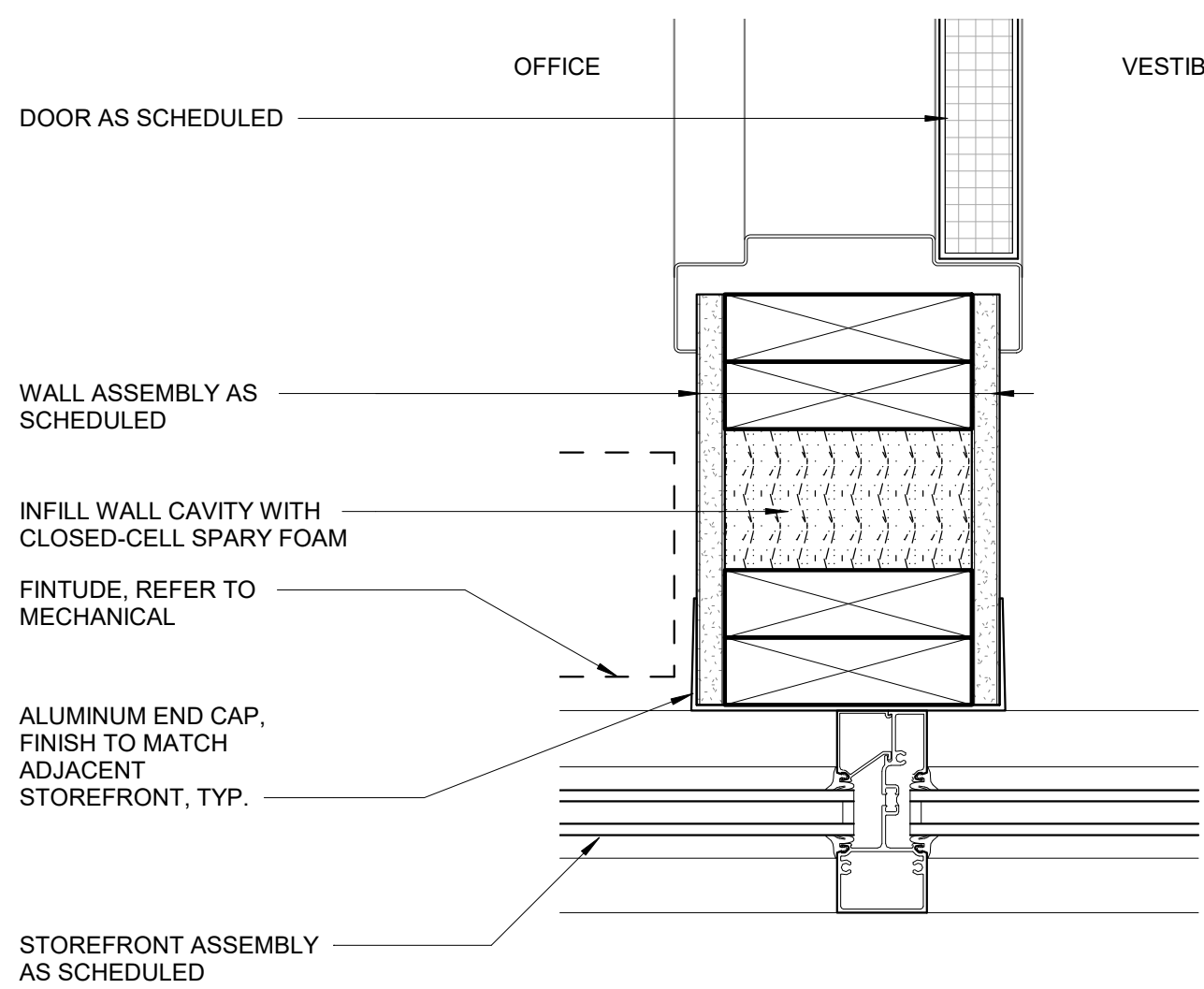
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#	DESCRIPTION	DATE

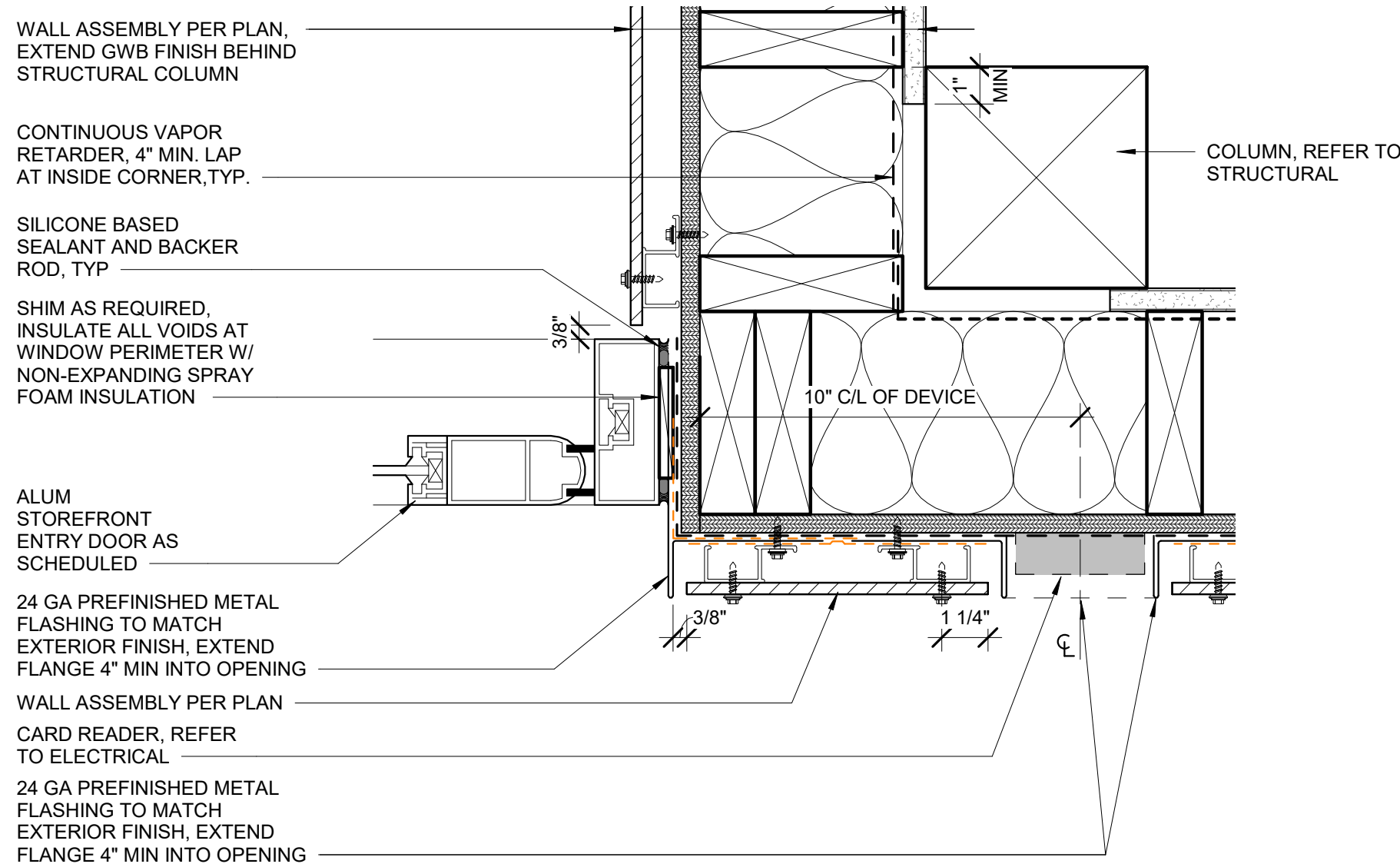
JOB NO. 22-018
DATE 2023.03.08
DRAWN AKG / KA
REVIEWED DTW

SHEET NAME
EXTERIOR DETAILS - WINDOWS

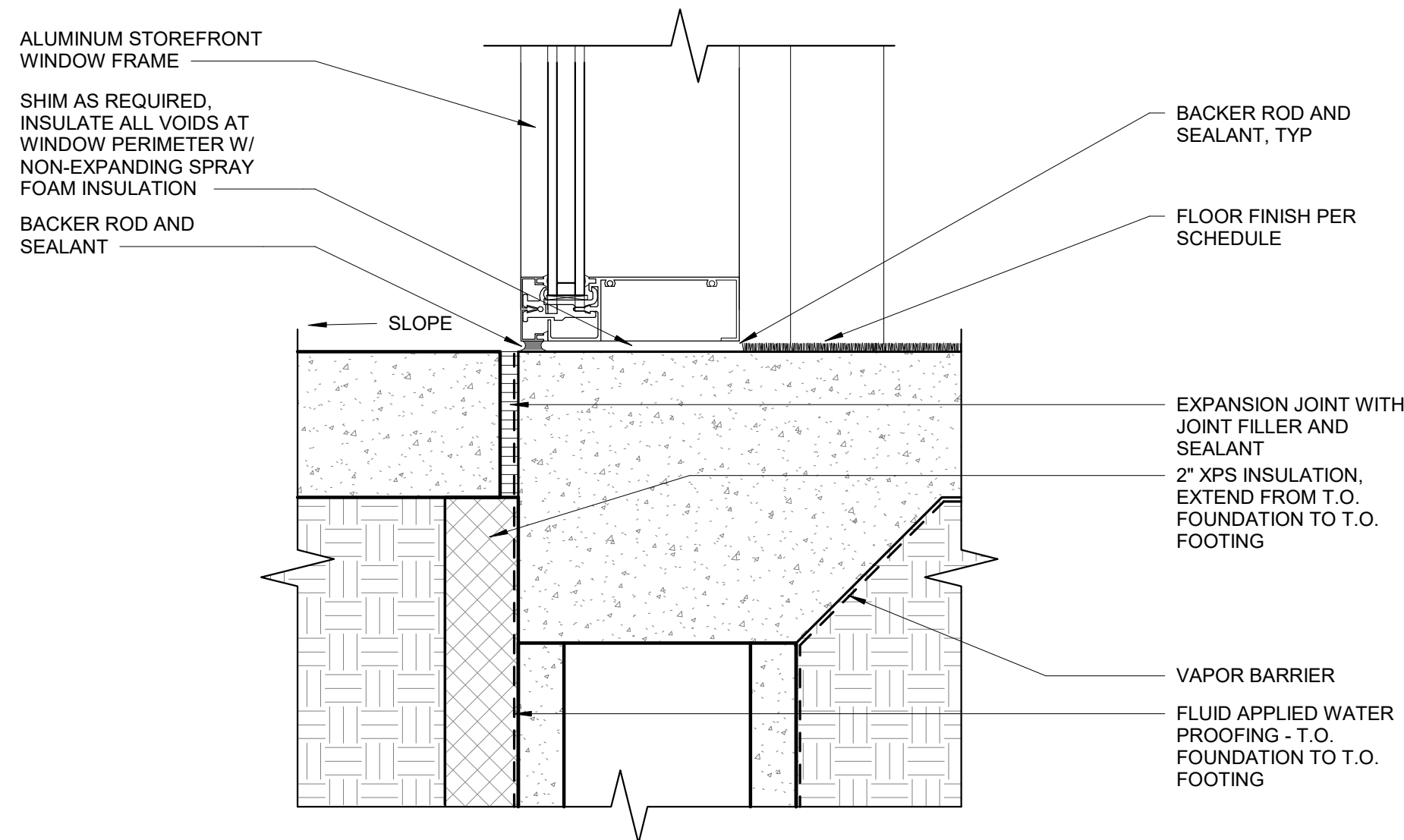
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A6.41



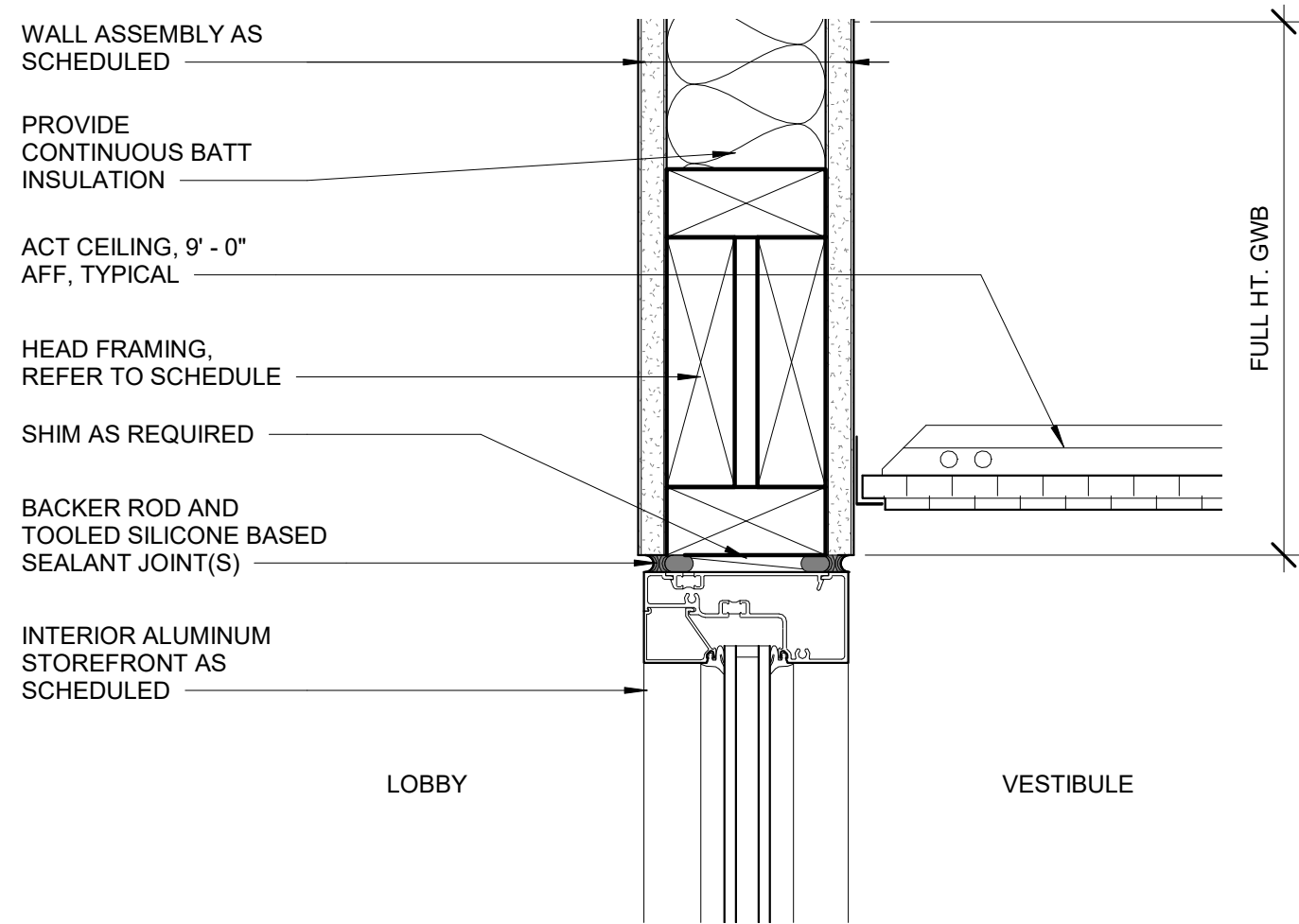
9 WALL END CAP AT SF1 INTERMEDIATE MULLION
3" = 1'-0"



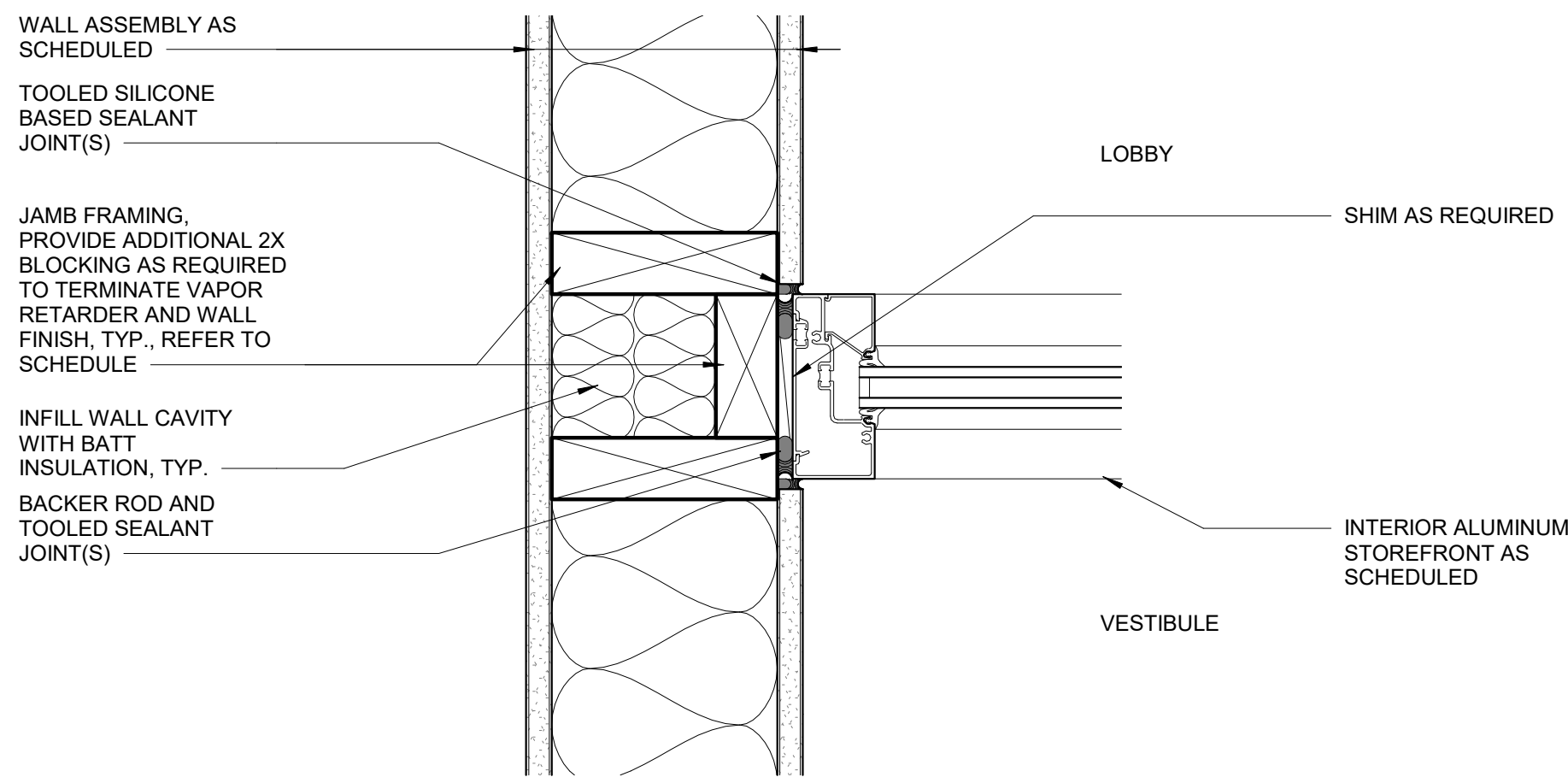
8 JAMB AT SF1
3" = 1'-0"



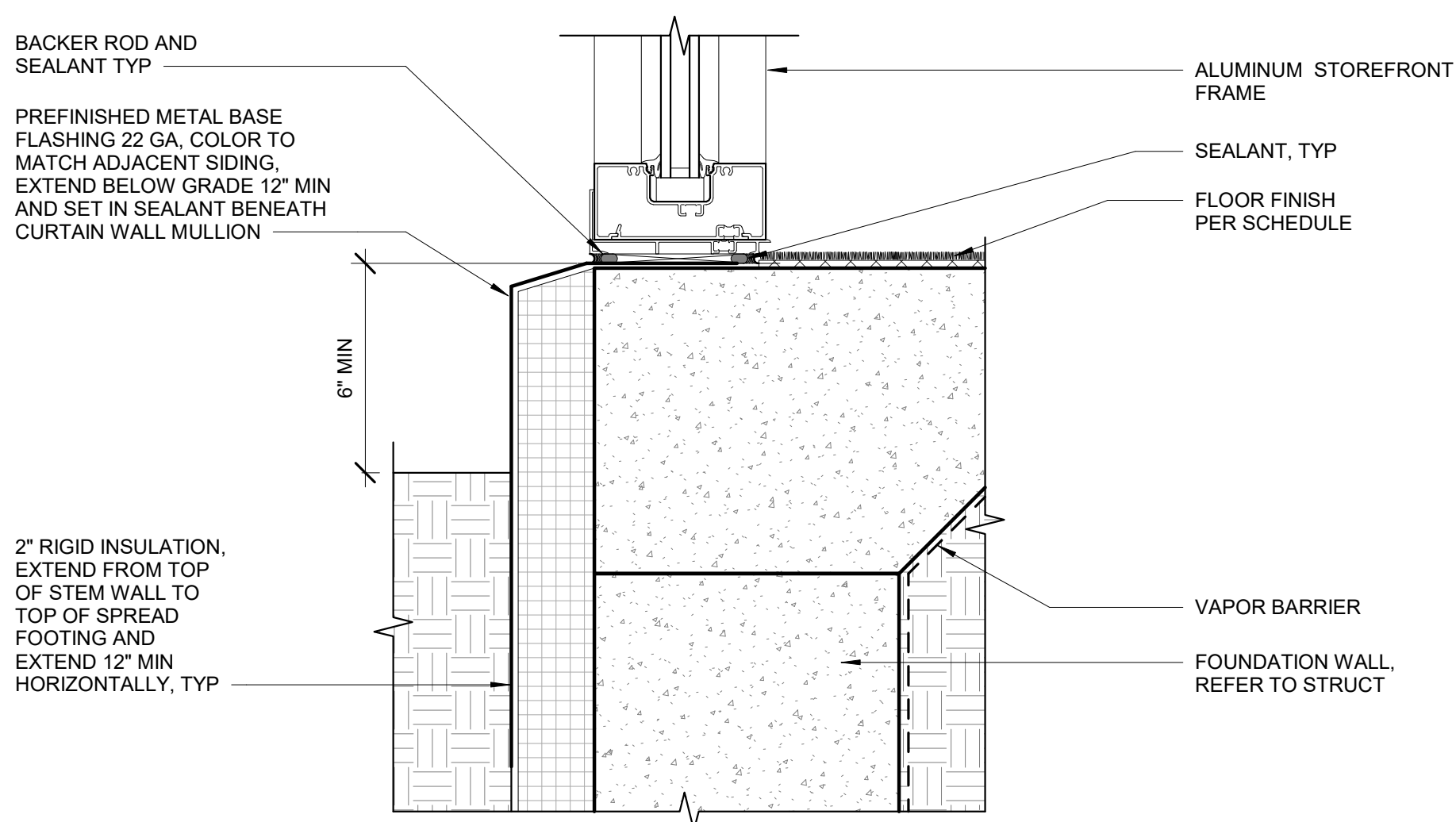
7 CURTAIN WALL / STOREFRONT SILL AT SIDEWALK
3" = 1'-0"



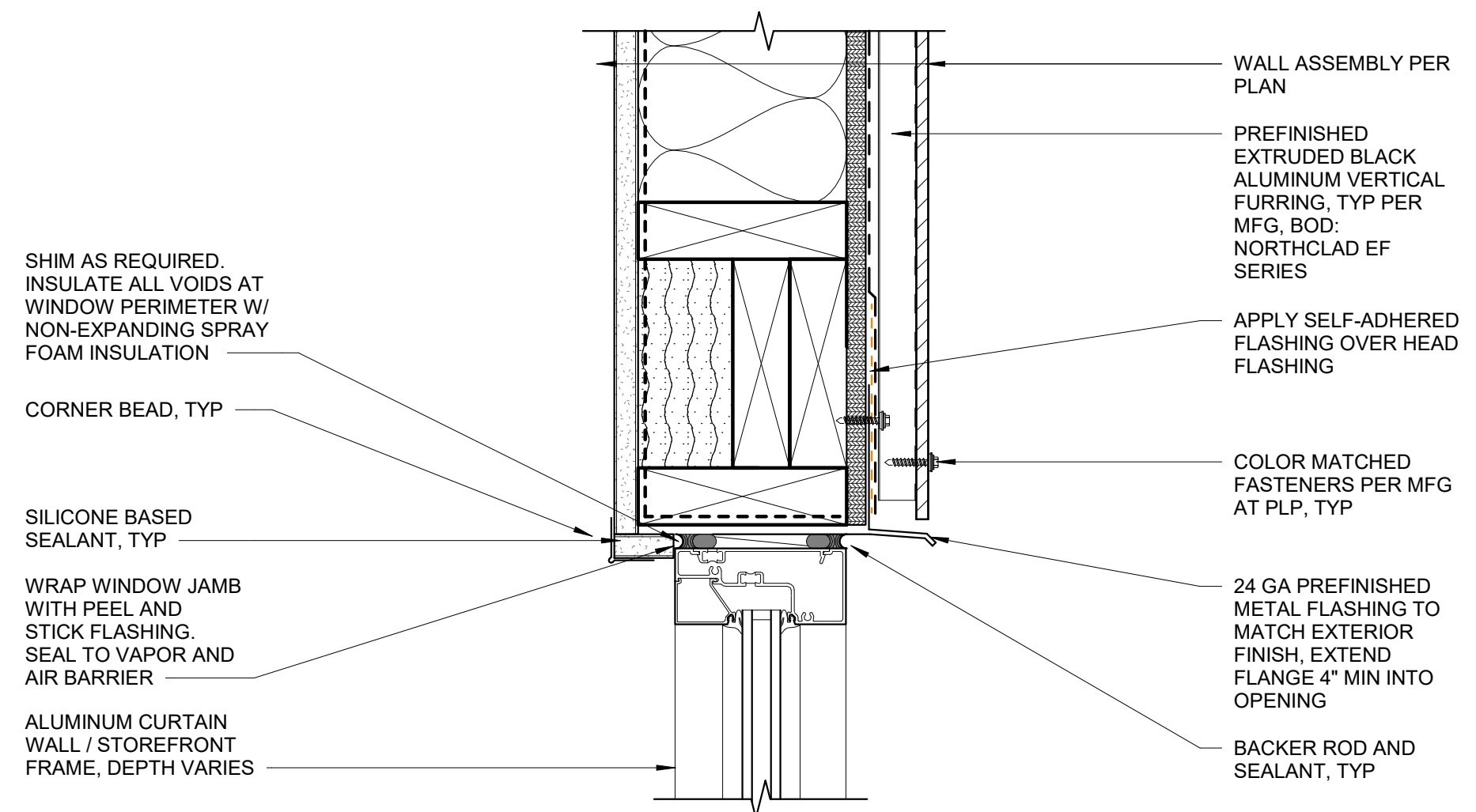
6 HEAD AT SF2
3" = 1'-0"



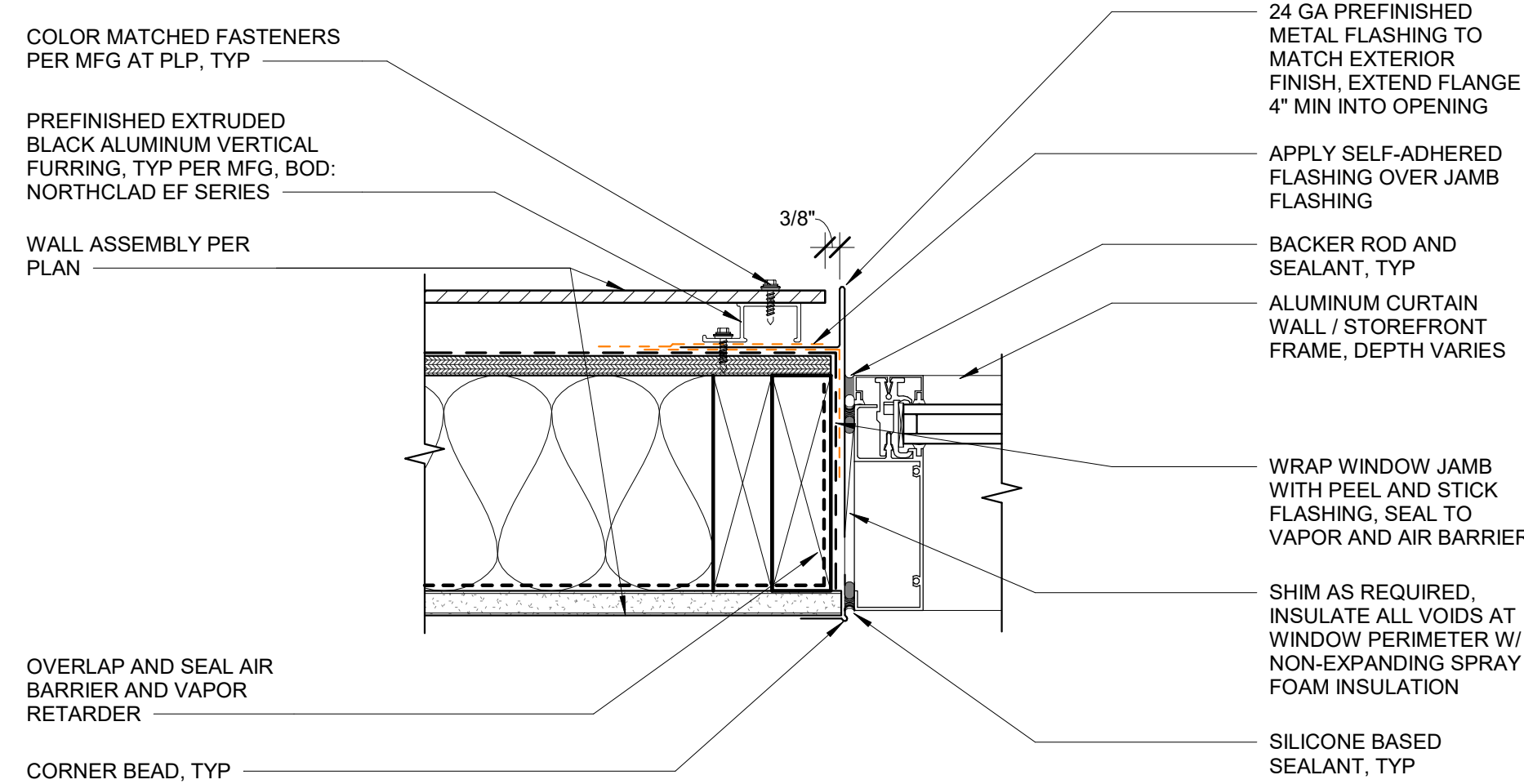
5 JAMB AT SF2
3" = 1'-0"



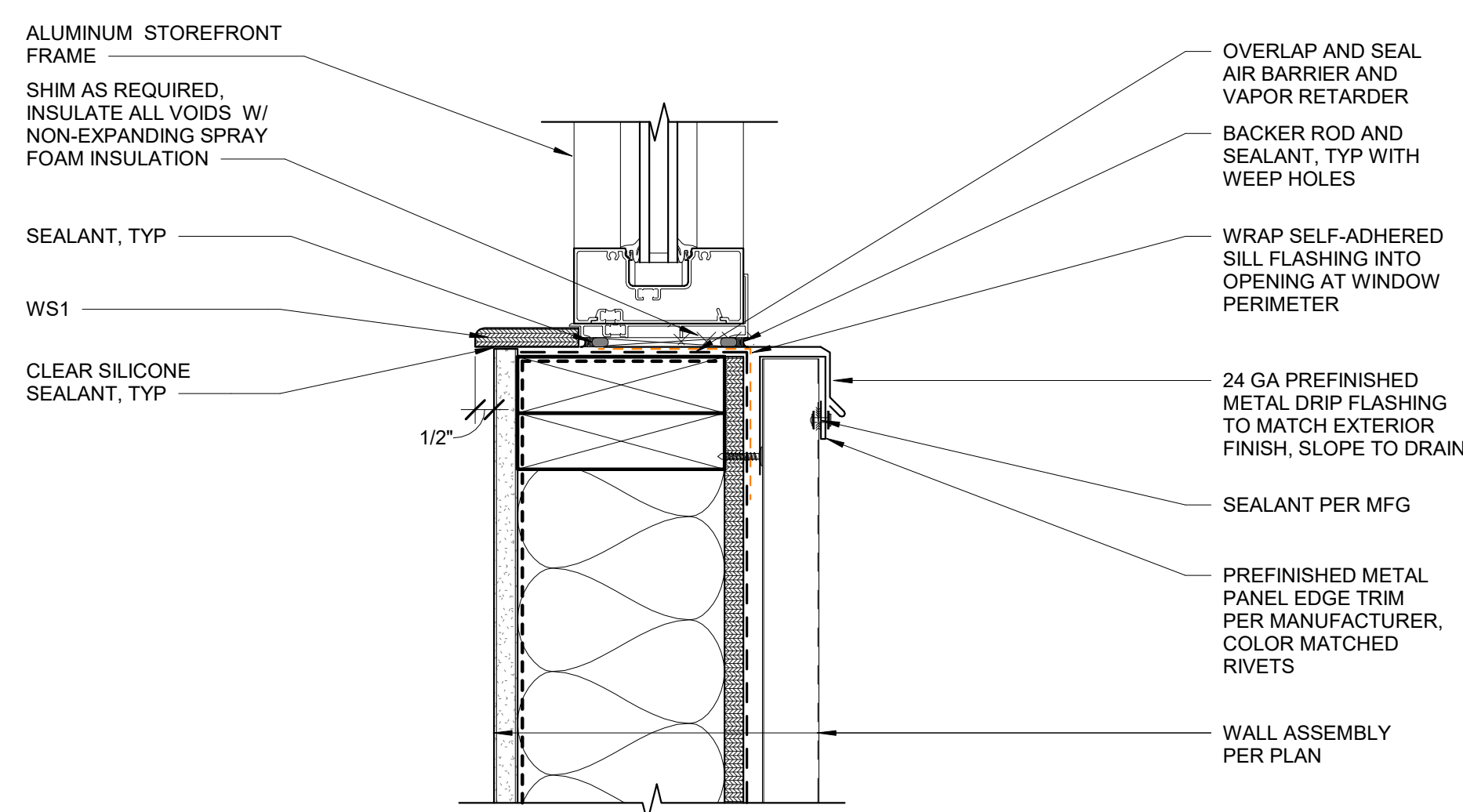
4 CURTAIN WALL / STOREFRONT BASE AT GRADE
3" = 1'-0"



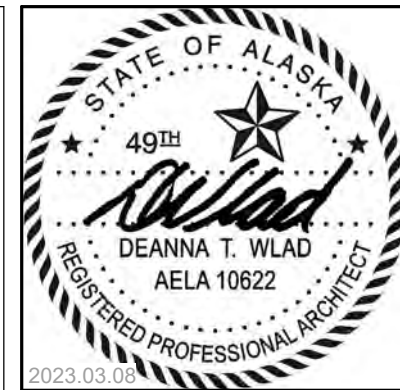
3 STOREFRONT HEAD AT PLP
3" = 1'-0"



2 STOREFRONT JAMB AT PLP
3" = 1'-0"



1 CURTAIN WALL / STOREFRONT SILL DETAIL AT MP
3" = 1'-0"



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ANCHORAGE, ALASKA

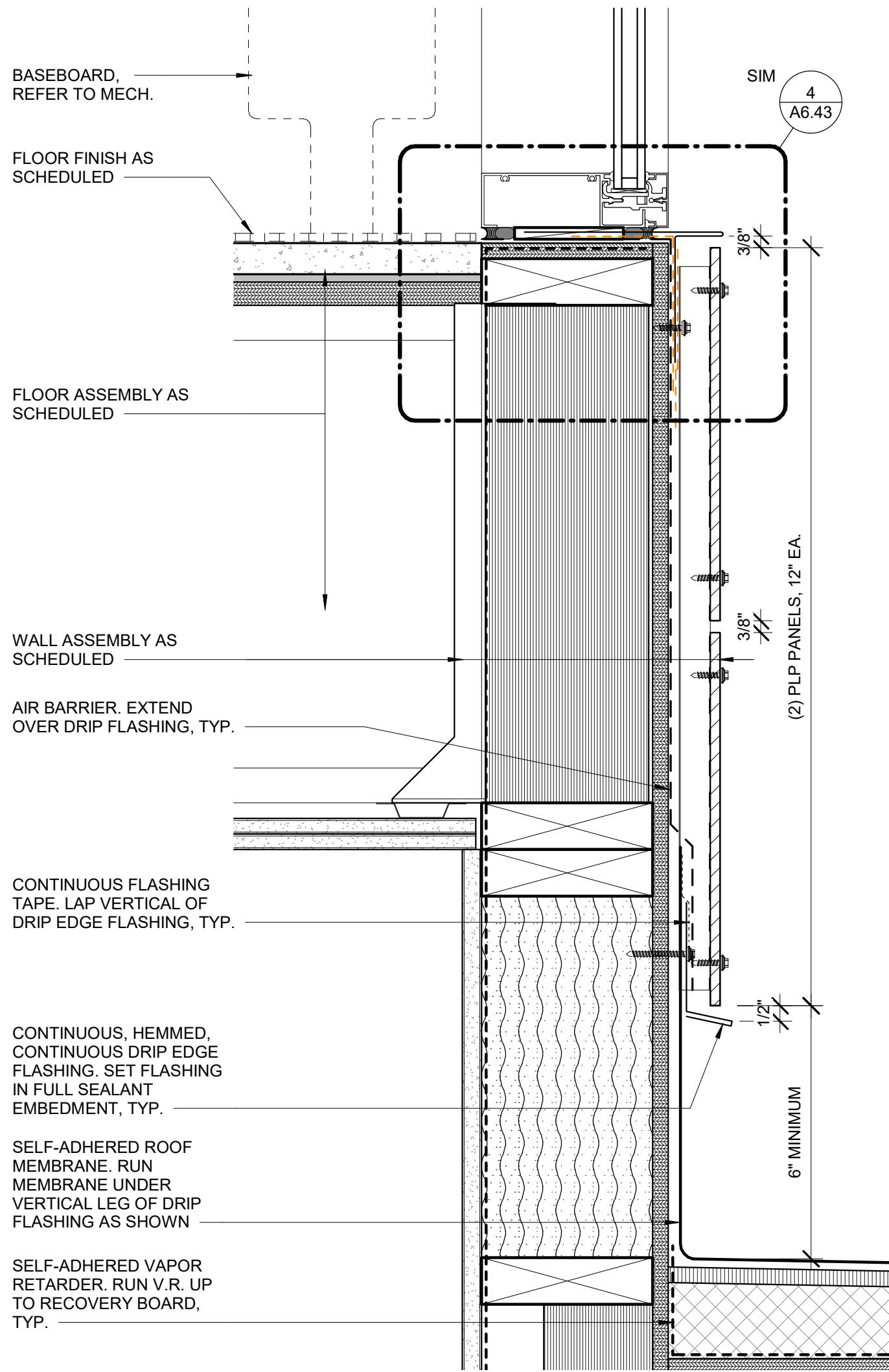
REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN KA
REVIEWED DTW

SHEET NAME
EXTERIOR DETAILS - CURTAIN
WALL / STOREFRONT

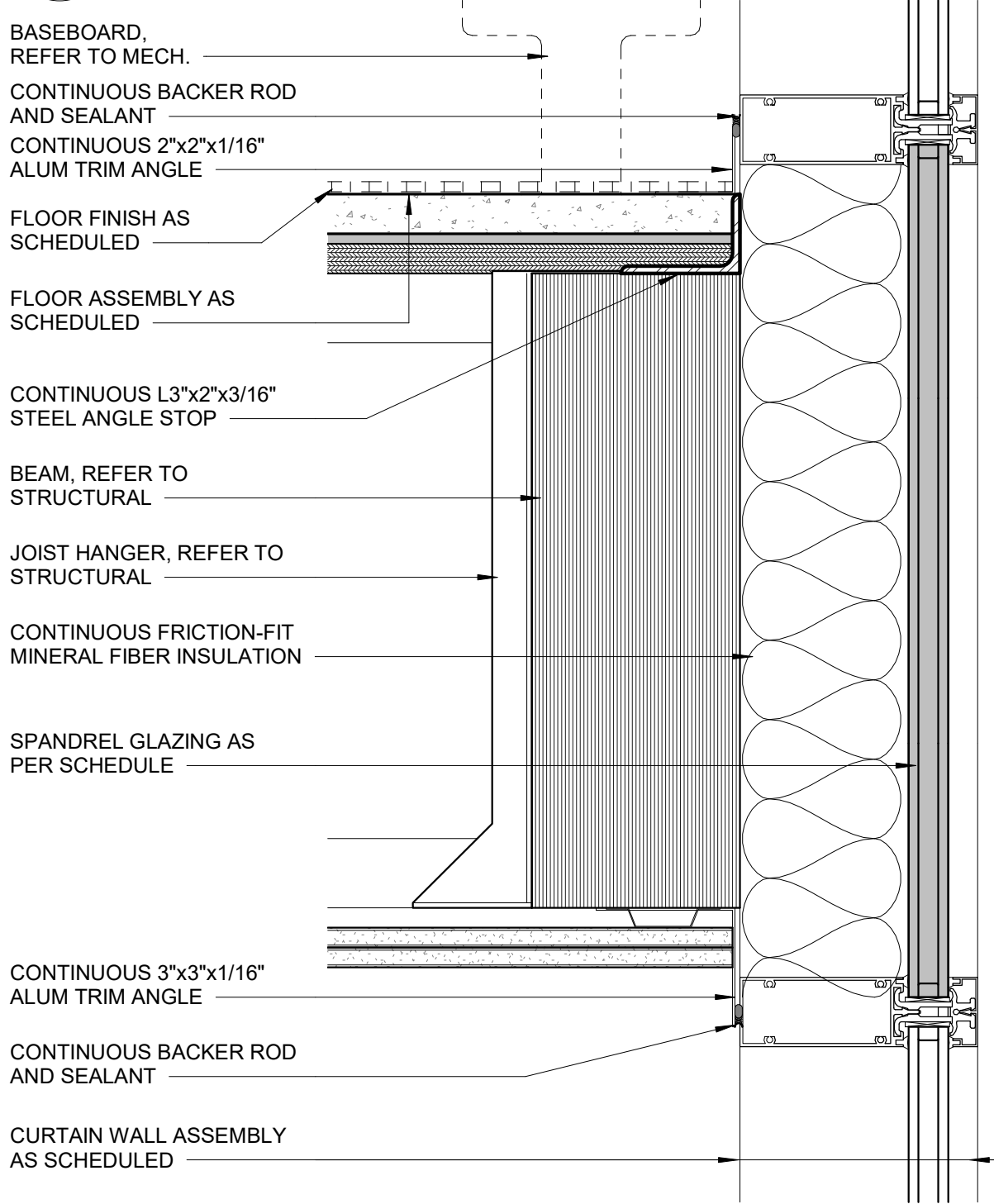
SHEET NO.
A6.42

9 JAMB AT CW1
3" = 1'-0"

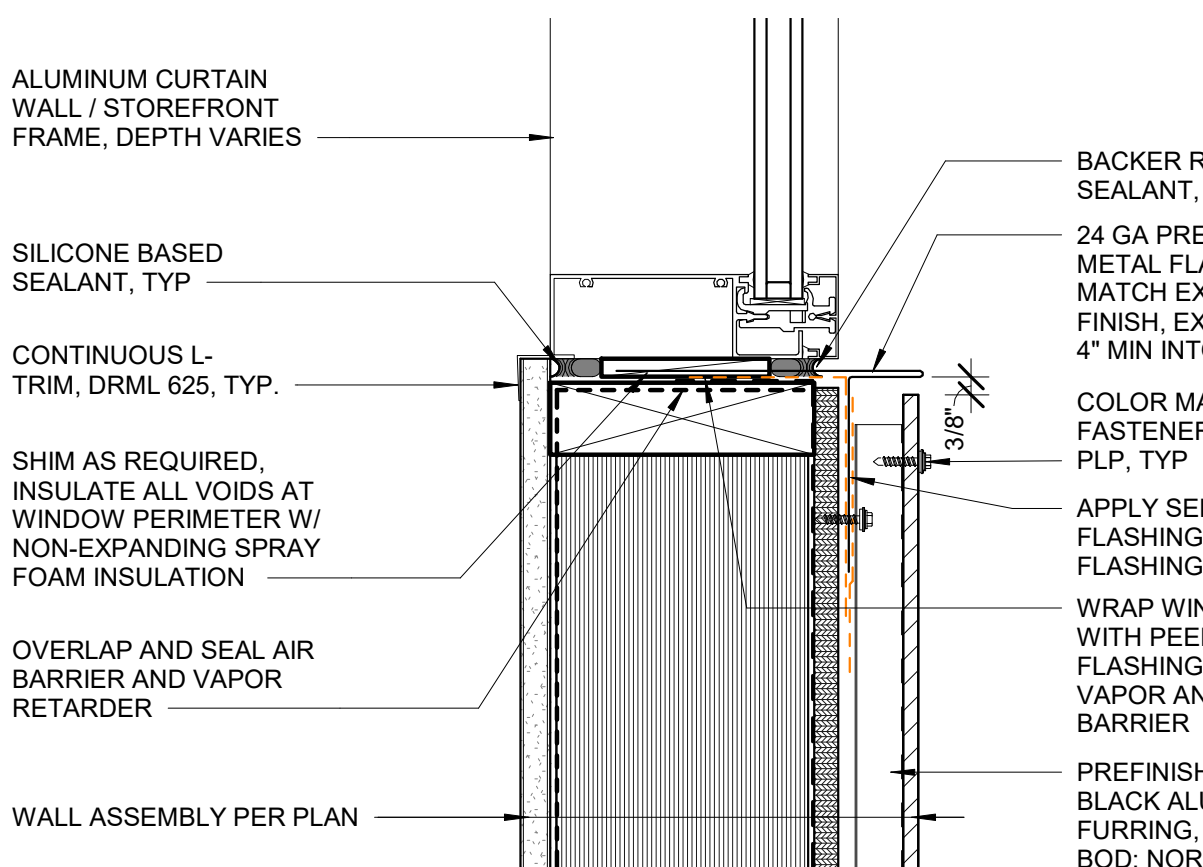


7 SILL AT CW1
3" = 1'-0"

6 JAMB AT CW1
3" = 1'-0"

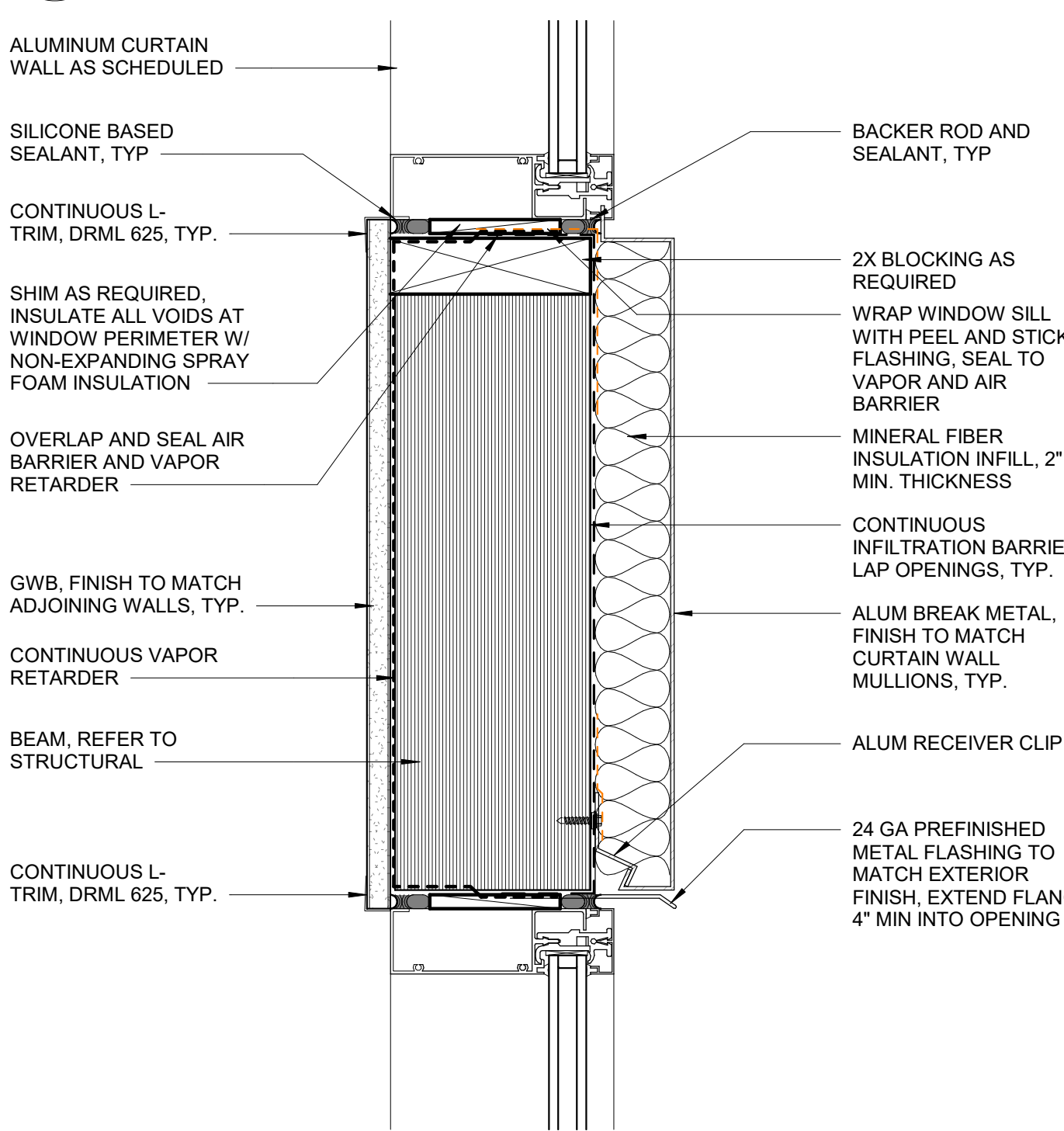


5 INTERMEDIATE MULLIONS AT CW1
3" = 1'-0"

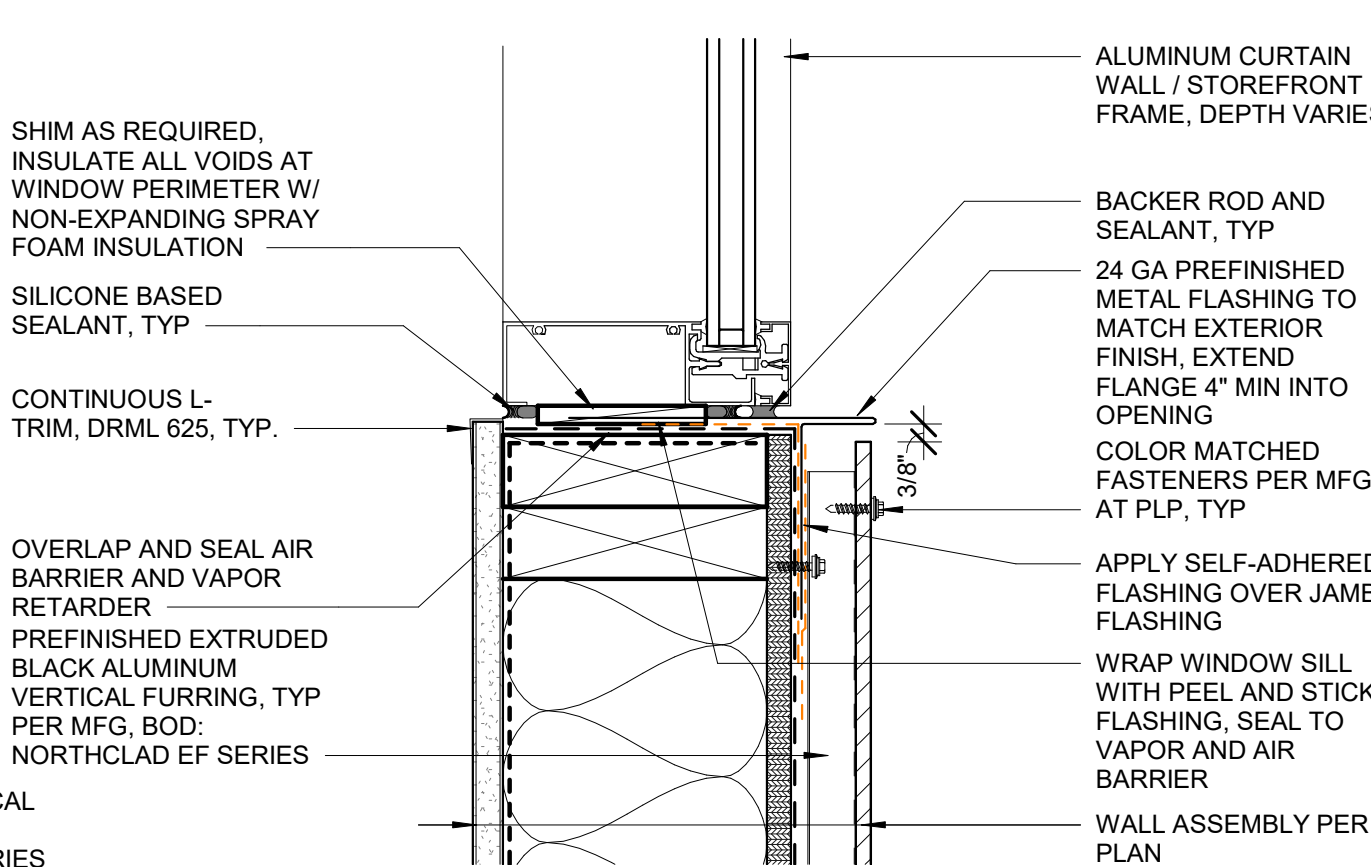


4 SILL AT CW2
3" = 1'-0"

3 HEAD AT CW3
3" = 1'-0"



2 INTERMEDIATE MULLION AT CW3
3" = 1'-0"



1 SILL AT CW3
3" = 1'-0"

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STATE OF ALASKA
49th
DEANNA T. WLAD
AELA 10622
REGISTERED PROFESSIONAL ARCHITECT
2023.03.08
CERTIFICATE OF AUTHORIZATION NO.
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BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE
JOB NO.	22-018	
DATE	2023.03.08	
DRAWN	KA	
REVIEWED	DTW	
SHEET NAME EXTERIOR DETAILS - CURTAIN WALL / STOREFRONT		
SHEET NO. A6.43		

EXTEND ROOFING MEMBRANE OVER MTL FLASHING. TERMINATE AT EDGE OF FLASHING, SEAL OR USE TERMINATION BAR AS REQUIRED

PREFINISHED MTL DRIP FLASHING
CONTINUOUS VAPOR RETARDER, WRAP BLOCKING AND LAP VERTICAL WEATHER BARRIER

BLOCKING AS REQUIRED
MAINTAIN 1 HR FIRE BARRIER FULL HEIGHT TO UNDERSIDE OF ELEVATOR ROOF DECK. ADD ONE LAYER EXTERIOR GWB SHEATHING AT EXTERIOR PARAPET WALL

RIM JOIST, 3" MINIMUM TO MAINTAIN 1HR RATING

3" MINIMUM CLOSED-CELL SPRAY FOAM INSULATION AT ALL RIM JOISTS, TYP

CONTINUOUS VAPOR RETARDER, WRAP BLOCKING AND LAP VERTICAL WEATHER BARRIER

CLOSED-CELL SPRAY FOAM INSULATION, R-21 MINIMUM

CONTINUOUS VERTICAL ROOF MEMBRANE UP HEAD WALL, LAP AND TIE-IN TO HORIZONTAL ROOF MEMBRANE, TYP

SHAFT

1-HR FIRE BARRIER AS SCHEDULED PER G1.01 & G3.00

FIRE RESISTANCE RATED FLOOR / CEILING ASSEMBLY, PER G1.02 & G3.00

BEAM, REFER TO STRUCTURAL 3" MINIMUM TO MAINTAIN 1-HOUR RATING

CONTINUOUS SHAFTWALL LINER BETWEEN FLOORS

1-HR FIRE BARRIER AS SCHEDULED PER G1.01 & G3.00

GA FILE NO. CM 1850

STEEL COLUMN, REFER TO STRUCTURAL

5/8" TYPE 'X' GWB ON ALL SIDES

STEEL COLUMN, REFER TO STRUCTURAL

2X NON-BEARING FRAMING ACTING AS FIRE PROTECTION

WOOD OR STEEL COLUMN, REFER TO STRUCTURAL

*THIS DETAIL APPLIES ONLY TO COLUMNS IDENTIFIED ON THE LIFE SAFETY PLANS

FIRE RESISTANCE RATED FLOOR / CEILING ASSEMBLY PER G3.00

WHERE BEAM SIZES ARE LESS THAN 6" NOMINAL BY 8" NOMINAL PER IBC 602.4.2, WRAP ALL EXPOSED SIDES BELOW 1-HOUR FLOOR/CEILING ASSEMBLY WITH (2) LAYERS 5/8" TYPE 'X' GWB. REFERENCE IBC TABLE 602.4 FOR WOOD MEMBER SIZE EQUIVALENCES FOR MINIMUM GLUED, LAMINATED NET SIZES

9 FIRE BARRIER - SHAFT AT FLOOR/CEILING

3" = 1'-0"

ROOF

NON-RATED ROOF / CEILING ASSEMBLY, REFER TO G1.02 & G3.00

WOOD JOIST ORIENTATION AND CONNECTIONS VARY, REFER TO STRUCTURAL

5/8" TYPE 'X' GWB, FIRE CAULK PERIMETER

WEB FILLER BEYOND AT VOID BETWEEN RIM JOIST AND ROOF JOIST

1 1/2" MINIMUM SOLID WOOD RIM JOIST (FIREBLOCKING) IN LINE WITH WALL BELOW, FIRE CAULK PERIMETER TYPICAL

2X NON-BEARING FRAMING ACTING AS FIRE PROTECTION

1-HR FIRE BARRIER AS SCHEDULED PER G1.01 & G3.00

6 RATED COLUMN WRAPS

3" = 1'-0"

ROOF

NON-RATED ROOF / CEILING ASSEMBLY, REFER TO G1.02 & G3.00

WOOD JOIST ORIENTATION AND CONNECTIONS VARY, REFER TO STRUCTURAL

5/8" TYPE 'X' GWB, FIRE CAULK PERIMETER

2X NAILER

1-HR FIRE PARTITION AS SCHEDULED PER G1.01 & G3.00

3 TYPICAL RATED BEAM WRAP

3" = 1'-0"

ROOF

NON-RATED ROOF / CEILING ASSEMBLY, REFER TO G1.02 & G3.00

5/8" TYPE 'X' GWB, FIRE CAULK PERIMETER

WEB FILLER BEYOND AT VOID BETWEEN RIM JOIST AND ROOF JOIST

HANGER, REFER TO STRUCTURAL

2X NAILER

FIRE CAULK INTERSECTION, TYP

1 1/2" MIN SOLID WOOD RIM JOIST (FIREBLOCKING) IN LINE WITH WALL, FIRE CAULK PERIMETER TYP

2X NON-BEARING FRAMING ACTING AS FIRE PROTECTION

1/2-HR FIRE PARTITION AS SCHEDULED PER G1.01 & G3.00

8 1-HR FIRE BARRIER TO ROOF/CEILING

3" = 1'-0"

ROOF

FIRE RESISTANCE RATED FLOOR / CEILING ASSEMBLY, PER G1.02 & G3.00

WOOD JOIST, ORIENTATION AND CONNECTIONS VARY, REFER TO STRUCTURAL

5/8" TYPE 'X' GWB, FIRE CAULK PERIMETER

1 1/2" MIN SOLID WOOD RIM JOIST (FIREBLOCKING) IN LINE WITH WALL BELOW, FIRE CAULK PERIMETER TYPICAL

WEB FILLER BEYOND AT VOID BETWEEN RIM JOIST AND ROOF JOIST

2X NON-BEARING FRAMING ACTING AS FIRE PROTECTION

FIRE CAULK INTERSECTION, TYP

1-HR FIRE BARRIER AS SCHEDULED PER G1.01 & G3.00

5 1-HR FIRE PARTITION AT ROOF/CEILING

3" = 1'-0"

ROOF

FIRE RESISTANCE RATED FLOOR / CEILING ASSEMBLY, PER G1.02 & G3.00

WOOD JOIST, ORIENTATION AND CONNECTIONS VARY, REFER TO STRUCTURAL

5/8" TYPE 'X' GWB, FIRE CAULK PERIMETER

1 1/2" MINIMUM SOLID WOOD RIM JOIST (FIREBLOCKING) IN LINE WITH WALL BELOW, FIRE CAULK PERIMETER TYPICAL

2X NON-BEARING FRAMING ACTING AS FIRE PROTECTION

2X NAILER

FIRE CAULK INTERSECTION, TYP

1-HOUR FIRE PARTITION PER G1.01 & G3.00

2 1/2-HR FIRE PARTITION AT ROOF/CEILING

3" = 1'-0"

ROOF

FIRE RESISTANCE RATED FLOOR / CEILING ASSEMBLY, PER G1.02 & G3.00

5/8" TYPE 'X' GWB, FIRE CAULK PERIMETER

1 1/2" MINIMUM SOLID WOOD RIM JOIST (FIREBLOCKING) IN LINE WITH WALL BELOW, FIRE CAULK PERIMETER TYPICAL

WEB FILLER AT VOID BETWEEN RIM JOIST AND FLOOR JOIST

HANGER, REFER TO STRUCTURAL

FIRE CAULK INTERSECTION, TYP

2X NON-BEARING FRAMING ACTING AS FIRE PROTECTION

1/2-HR FIRE PARTITION AS SCHEDULED PER G1.01 & G3.00

CEILING PER RCP

7 1-HR FIRE BARRIER AT FLOOR/CEILING

3" = 1'-0"

ROOF

FIRE RESISTANCE RATED FLOOR / CEILING ASSEMBLY, PER G1.02 & G3.00

WOOD JOIST, ORIENTATION AND CONNECTIONS VARY, REFER TO STRUCTURAL

5/8" TYPE 'X' GWB, FIRE CAULK PERIMETER

1 1/2" MIN SOLID WOOD RIM JOIST (FIREBLOCKING) IN LINE WITH WALL BELOW, FIRE CAULK PERIMETER TYPICAL

WEB FILLER BEYOND AT VOID BETWEEN RIM JOIST AND ROOF JOIST

2X NON-BEARING FRAMING ACTING AS FIRE PROTECTION

FIRE CAULK INTERSECTION, TYP

1-HR FIRE BARRIER AS SCHEDULED PER G1.01 & G3.00

4 1-HR FIRE PARTITION AT FLOOR/CEILING

3" = 1'-0"

ROOF

FIRE RESISTANCE RATED FLOOR / CEILING ASSEMBLY, PER G1.02 & G3.00

WOOD JOIST, ORIENTATION AND CONNECTIONS VARY, REFER TO STRUCTURAL

5/8" TYPE 'X' GWB, FIRE CAULK PERIMETER

1 1/2" MINIMUM SOLID WOOD RIM JOIST (FIREBLOCKING) IN LINE WITH WALL BELOW, FIRE CAULK PERIMETER TYPICAL

2X NON-BEARING FRAMING ACTING AS FIRE PROTECTION

2X NAILER

FIRE CAULK INTERSECTION, TYP

1-HOUR FIRE PARTITION PER G1.01 & G3.00

1 1/2-HR FIRE PARTITION AT FLOOR/CEILING

3" = 1'-0"

ROOF

FIRE RESISTANCE RATED FLOOR / CEILING ASSEMBLY, PER G1.02 & G3.00

5/8" TYPE 'X' GWB, FIRE CAULK PERIMETER

1 1/2" MINIMUM SOLID WOOD RIM JOIST (FIREBLOCKING) IN LINE WITH WALL BELOW, FIRE CAULK PERIMETER TYPICAL

WEB FILLER AT VOID BETWEEN RIM JOIST AND FLOOR JOIST

HANGER, REFER TO STRUCTURAL

FIRE CAULK INTERSECTION, TYP

2X NON-BEARING FRAMING ACTING AS FIRE PROTECTION

1/2-HR FIRE PARTITION AS SCHEDULED PER G1.01 & G3.00

CEILING PER RCP

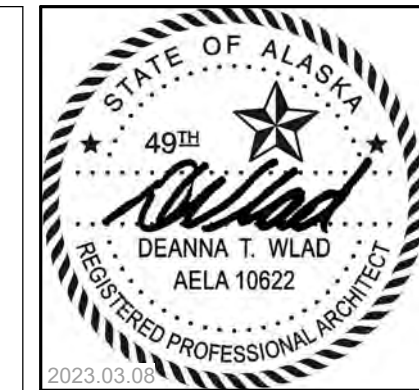
10 ELEVATOR SHAFT AT ROOF

3" = 1'-0"

CONTINUOUS 5/8" TYPE 'X' GWB BETWEEN FLOORS

2x NAILER

FIRE RESISTANCE RATED WALL PER FLOOR PLAN



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**COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA**

REVISION SCHEDULE		
#	DESCRIPTION	DATE

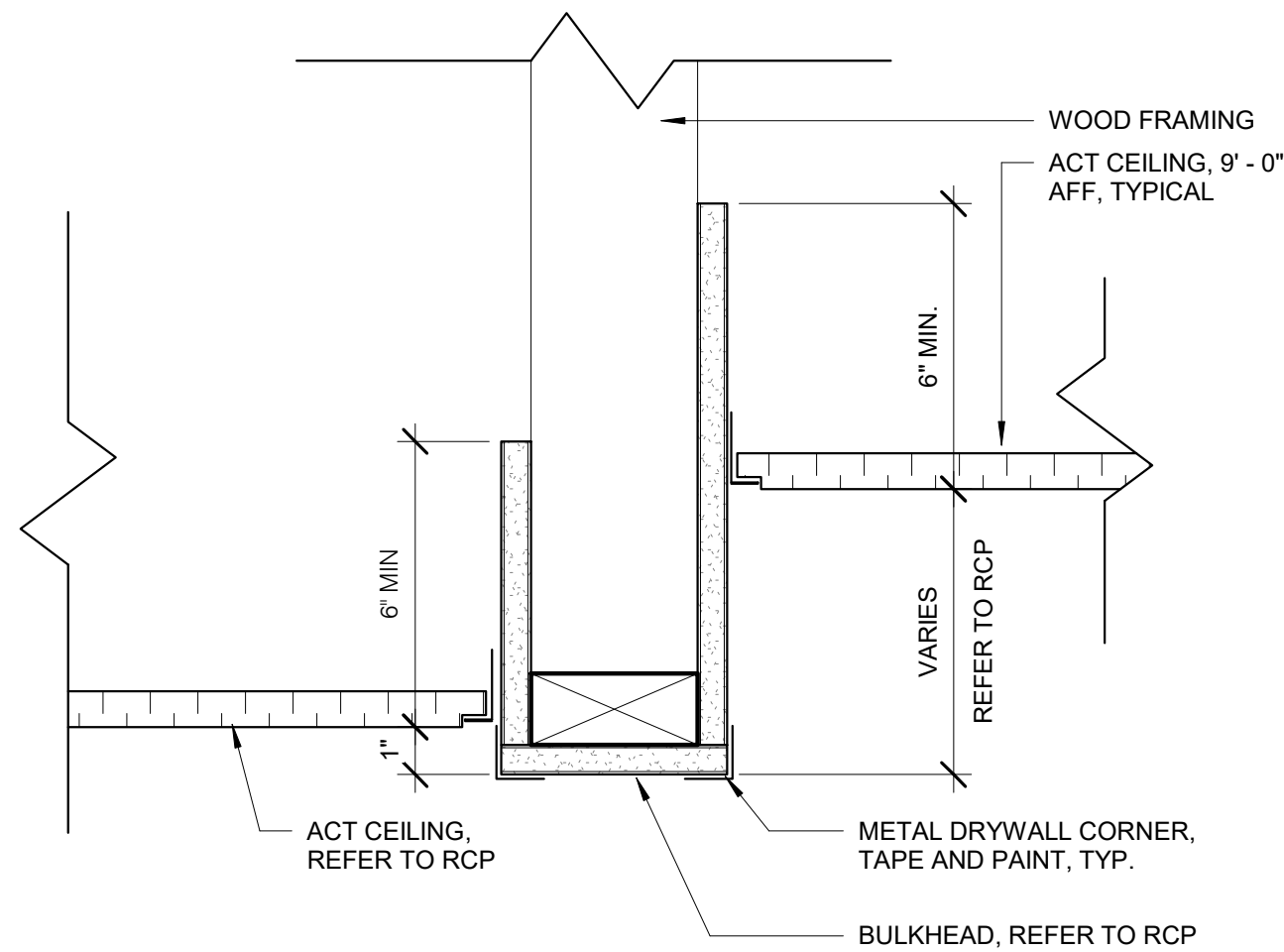
JOB NO. 22-018
DATE 2023.03.08
DRAWN DN
REVIEWED DTW

SHEET NAME
INTERIOR DETAILS - RATED ASSEMBLIES

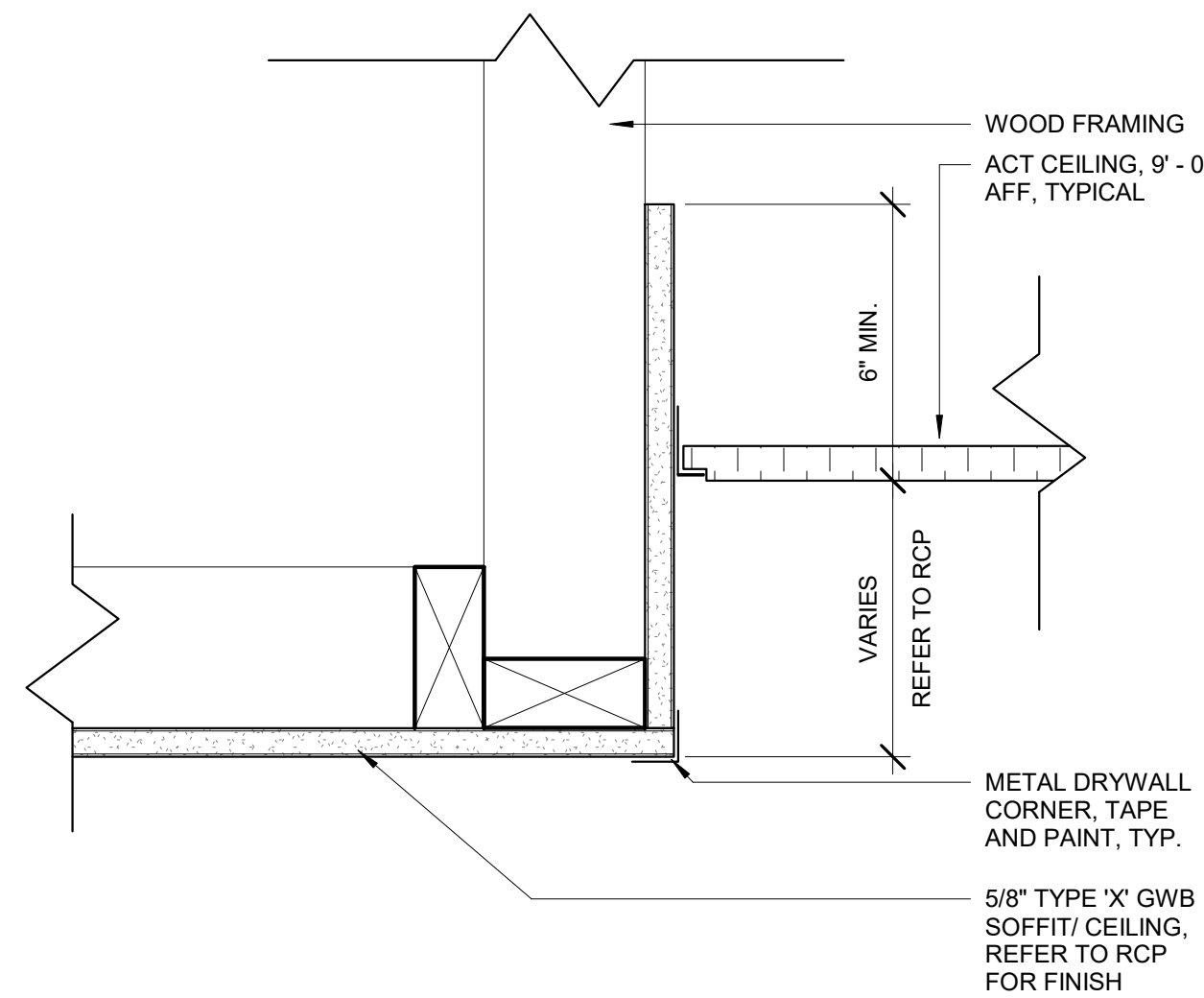
SHEET NO.
A6.50

HALF SCALE WHEN PRINTED AT 11x17

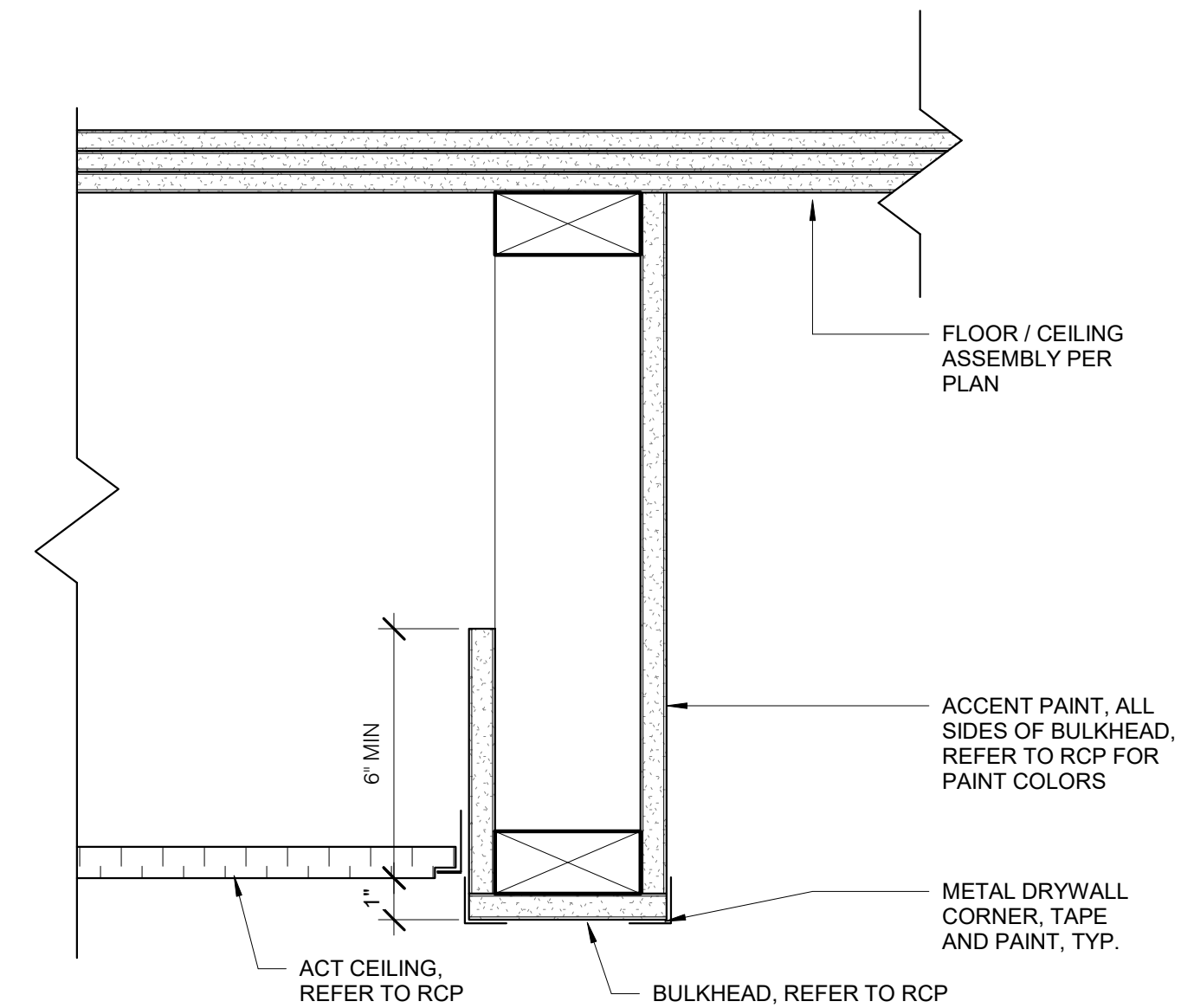
PERMIT DOCUMENTS



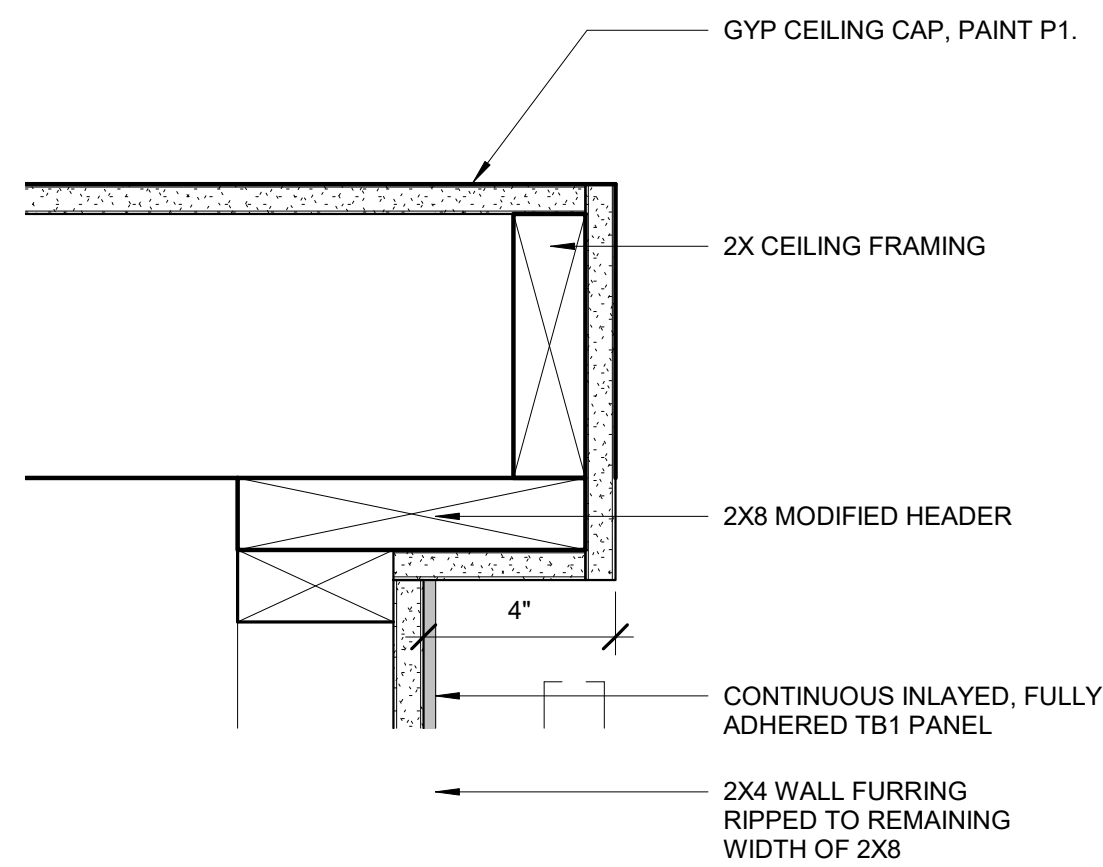
7 ACT TO ACT AT LOBBY
3" = 1'-0"



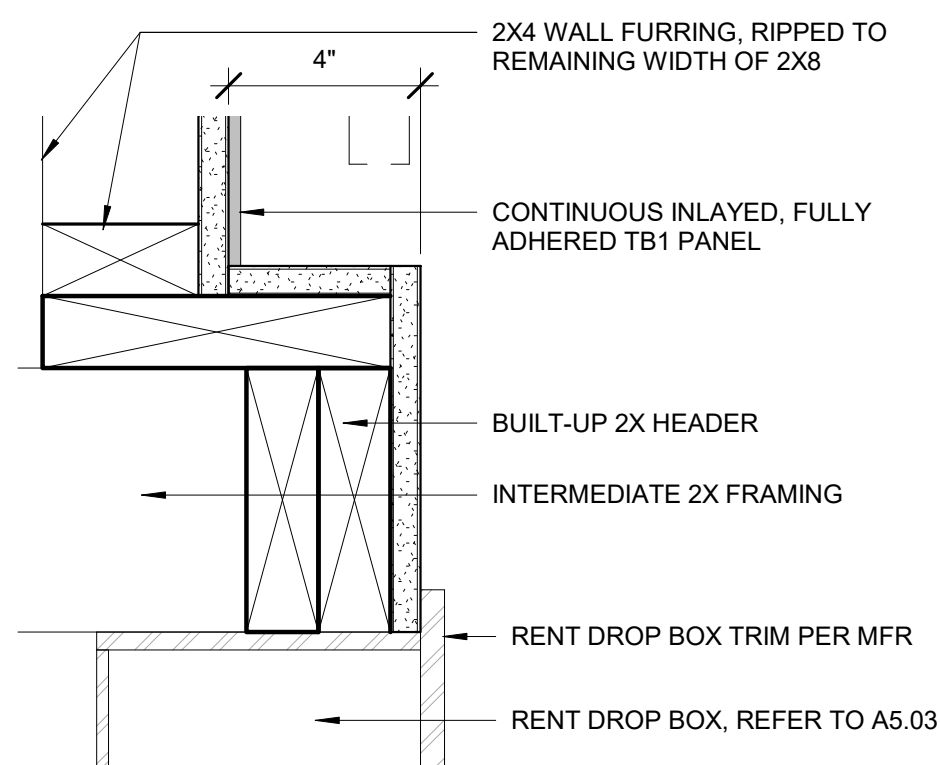
4 CEILING GWB TO ACT, TYPICAL
3" = 1'-0"



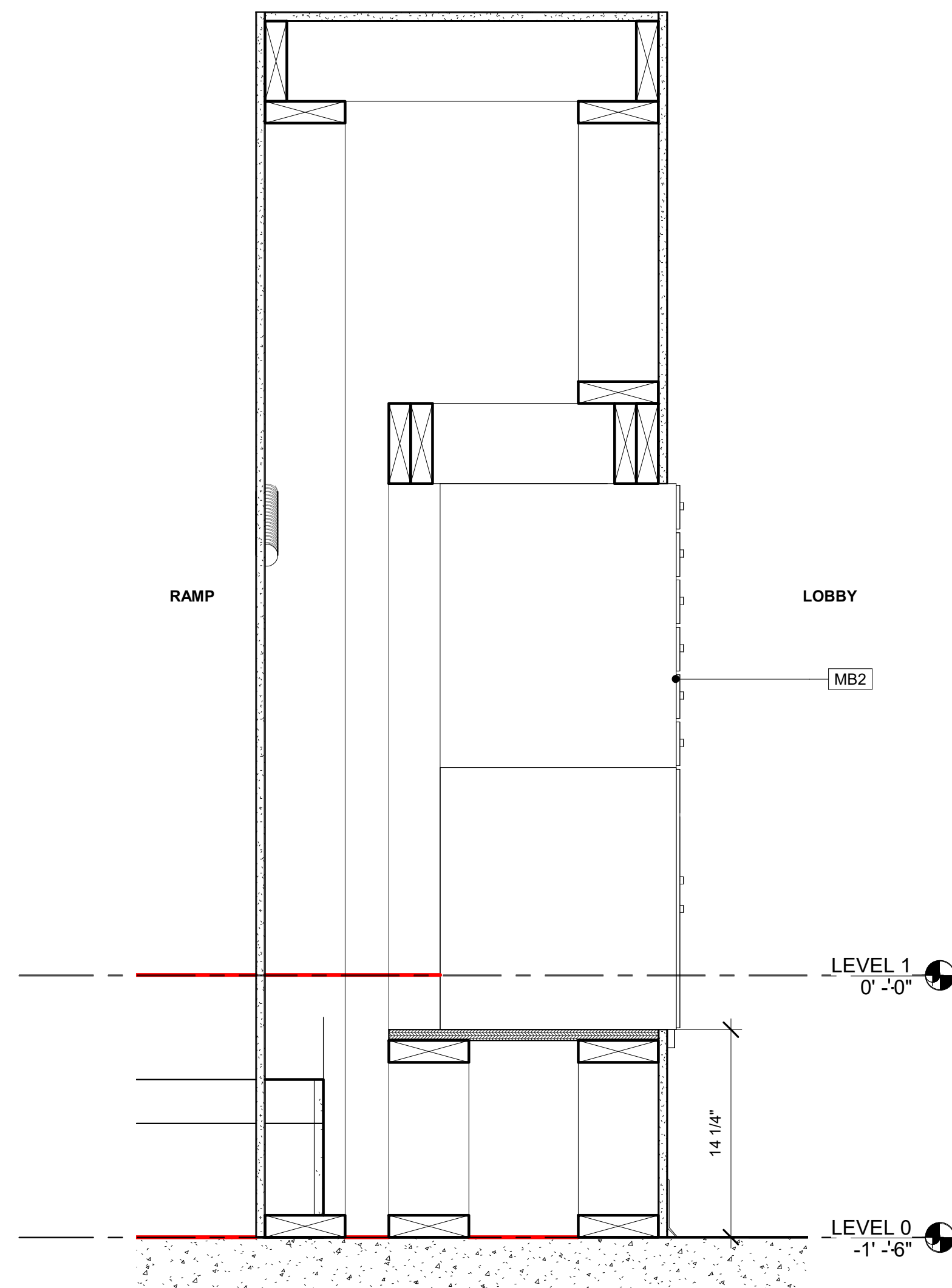
2 ACT TO BULKHEAD AT LOBBY
3" = 1'-0"



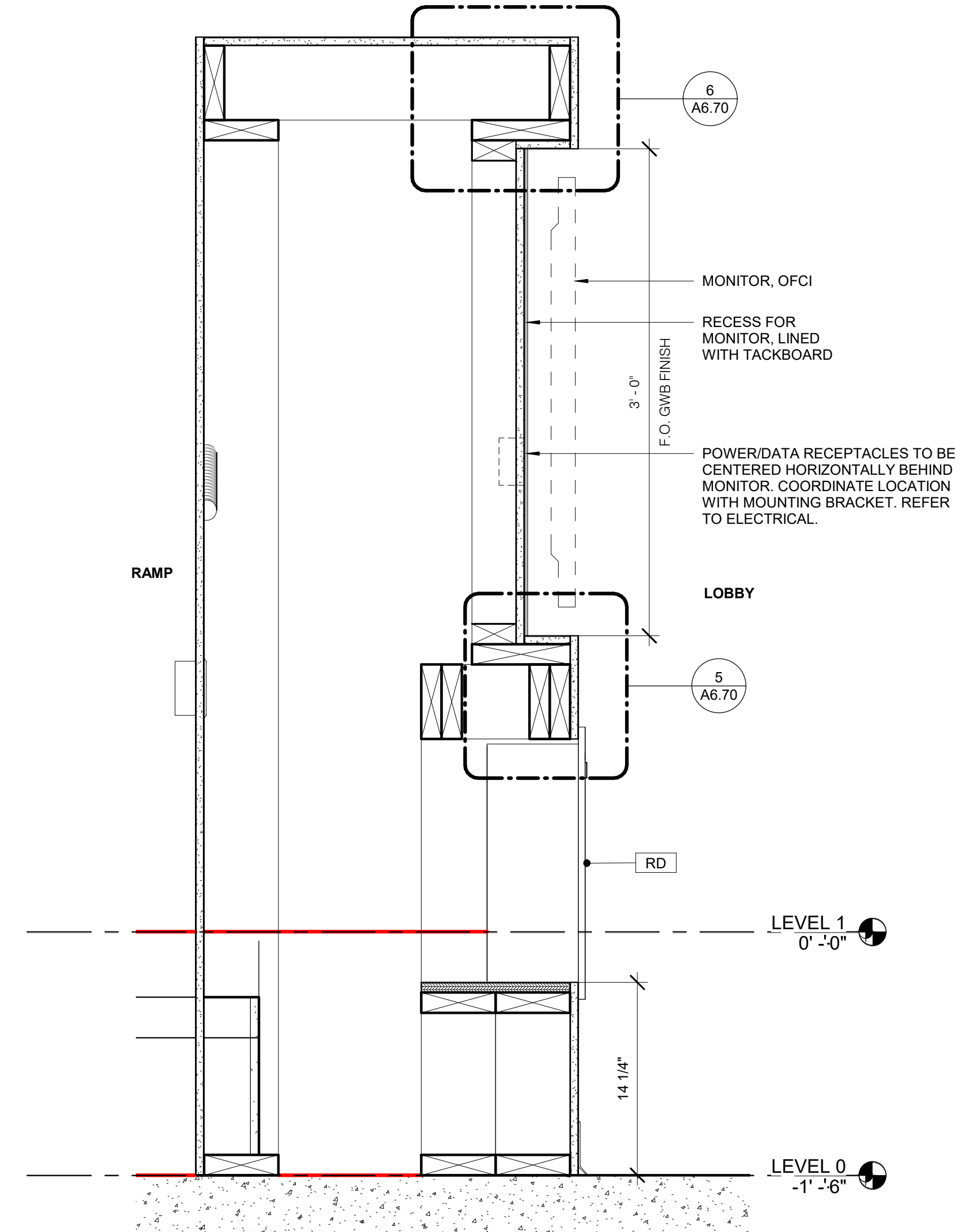
6 HEAD AT DISPLAY MONITOR
3" = 1'-0"



5 SILL AT DISPLAY MONITOR
3" = 1'-0"



3 MAILBOX SECTION
1 1/2" = 1'-0"



1 DISPLAY MONITOR / RENT DROP BOX SECTION
1 1/2" = 1'-0"



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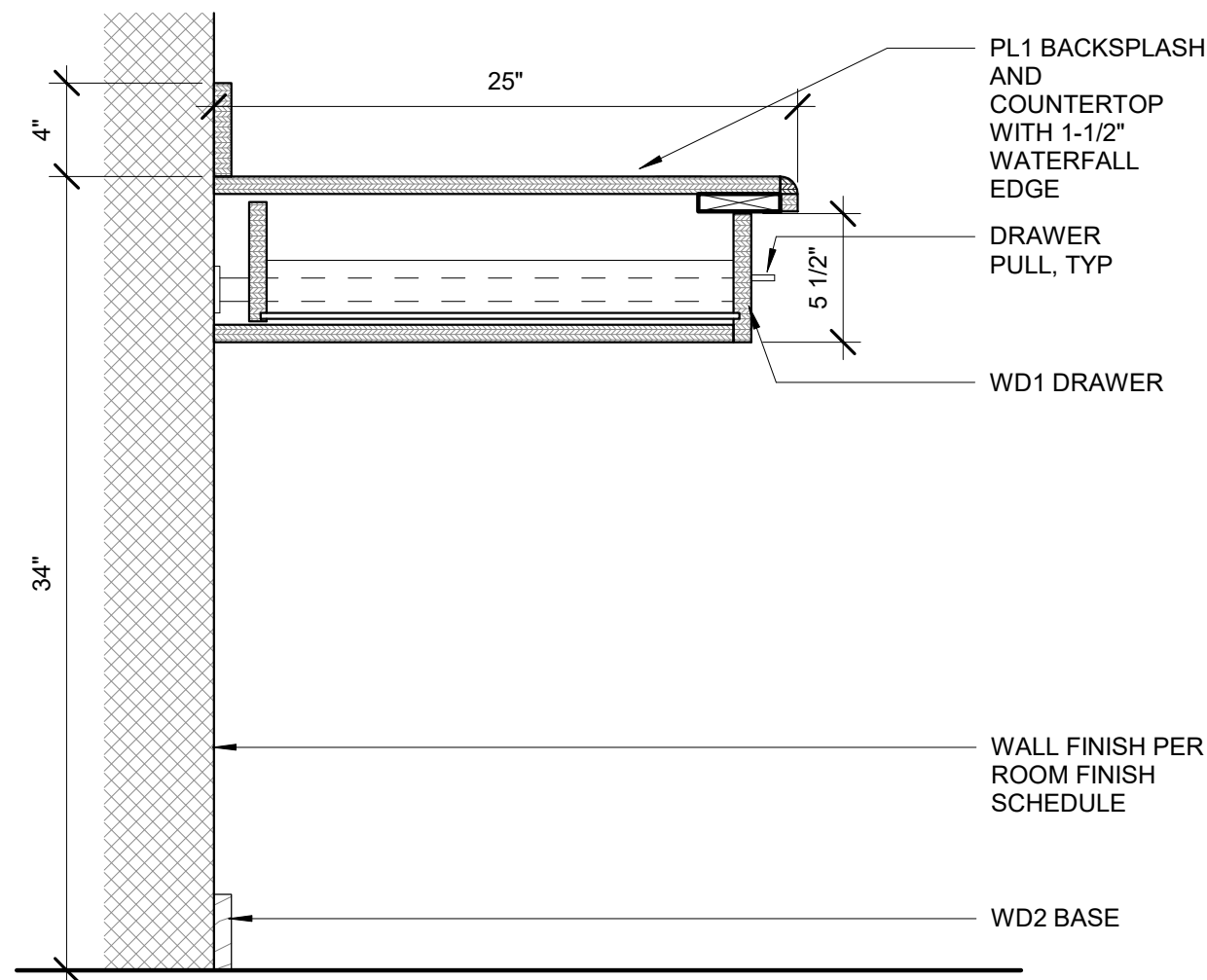
COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

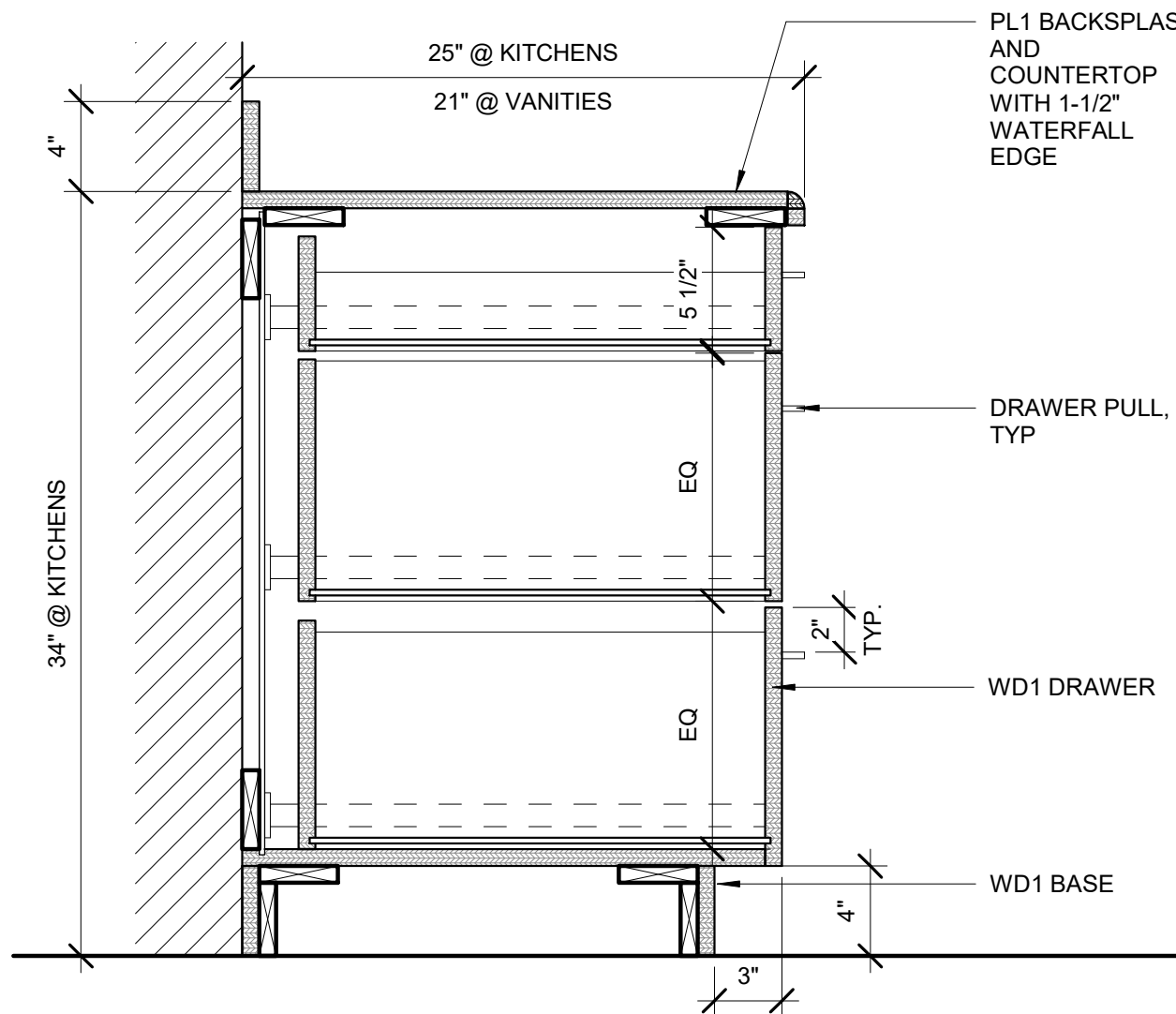
JOB NO. 22-018
DATE 2023.03.08
DRAWN JACS
REVIEWED DTW

SHEET NAME
INTERIOR CEILING AND WALL
DETAILS

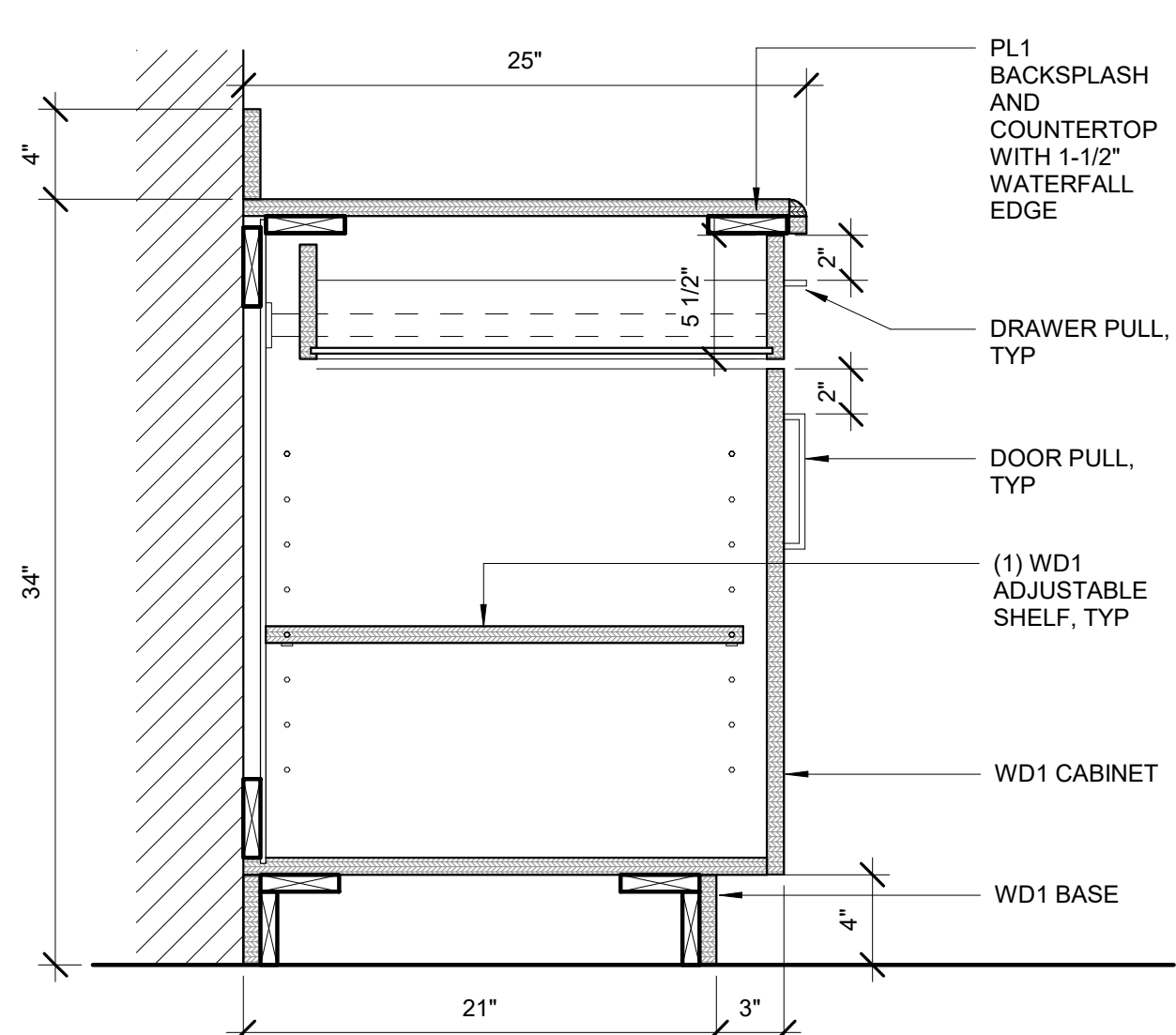
SHEET NO.
A6.70



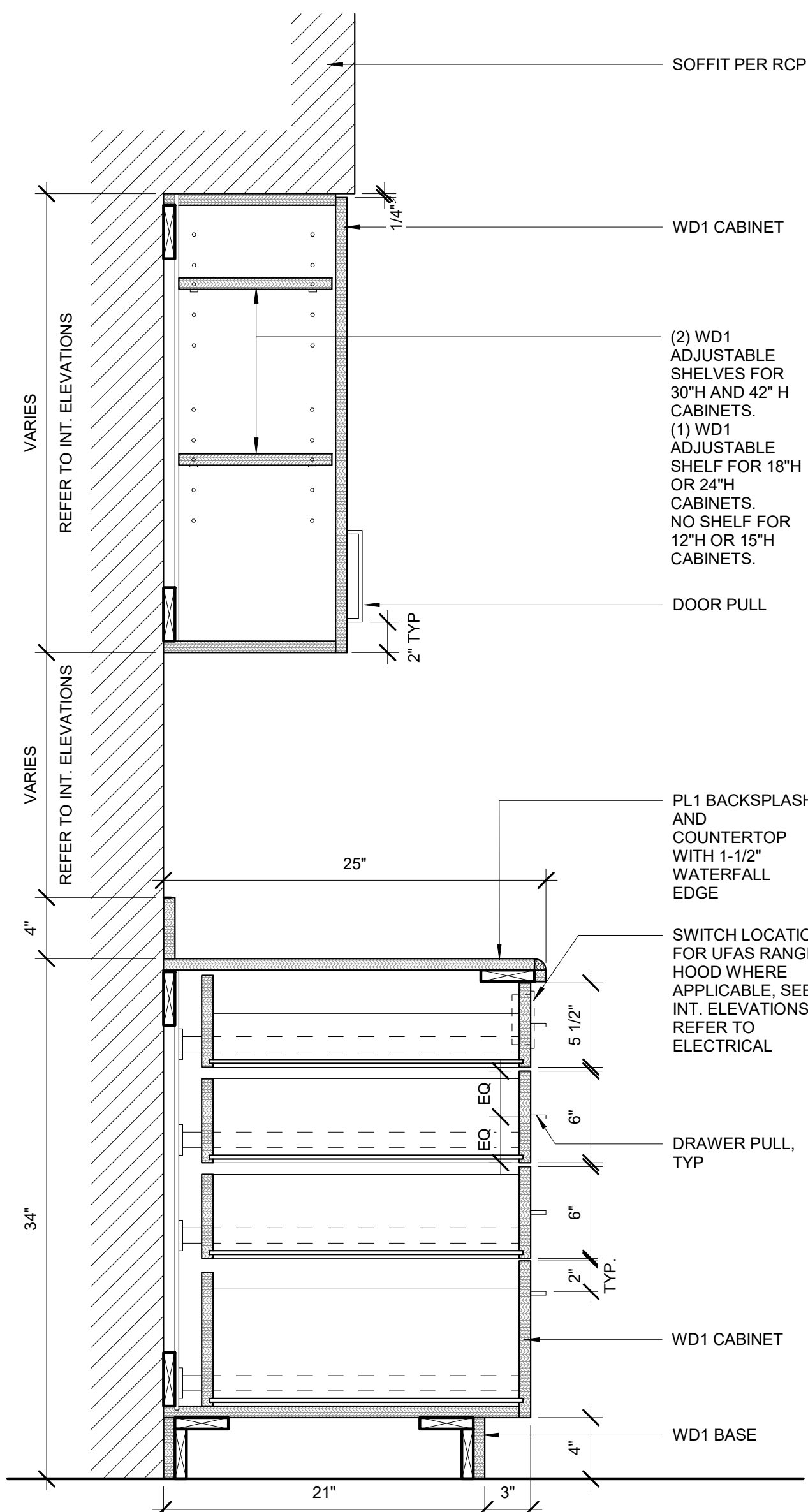
8 CASEWORK - OPEN WORKSPACE W/ DRAWER
1 1/2" = 1'-0"



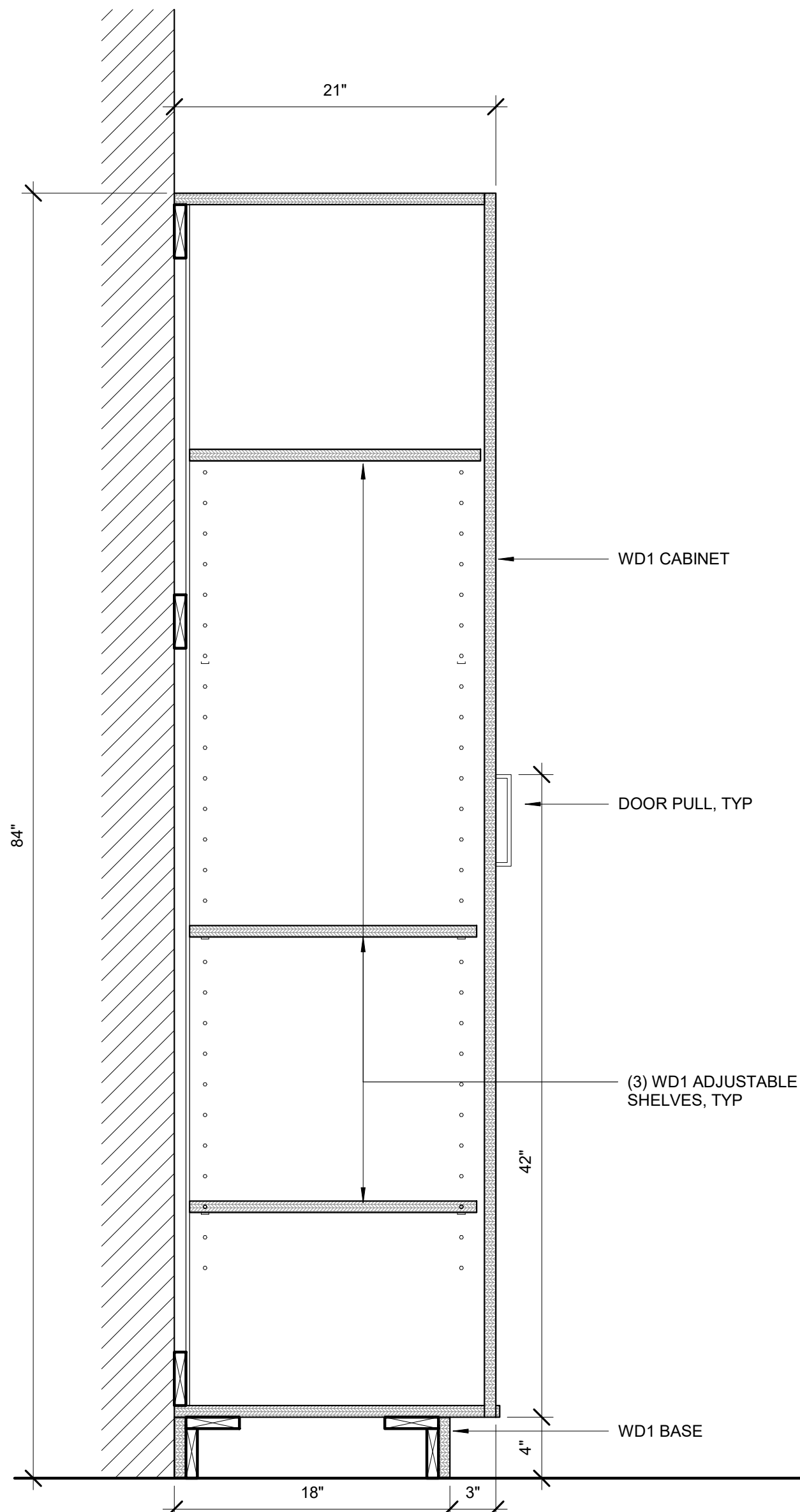
4 CASEWORK - 3 DRAWER BASE
1 1/2" = 1'-0"



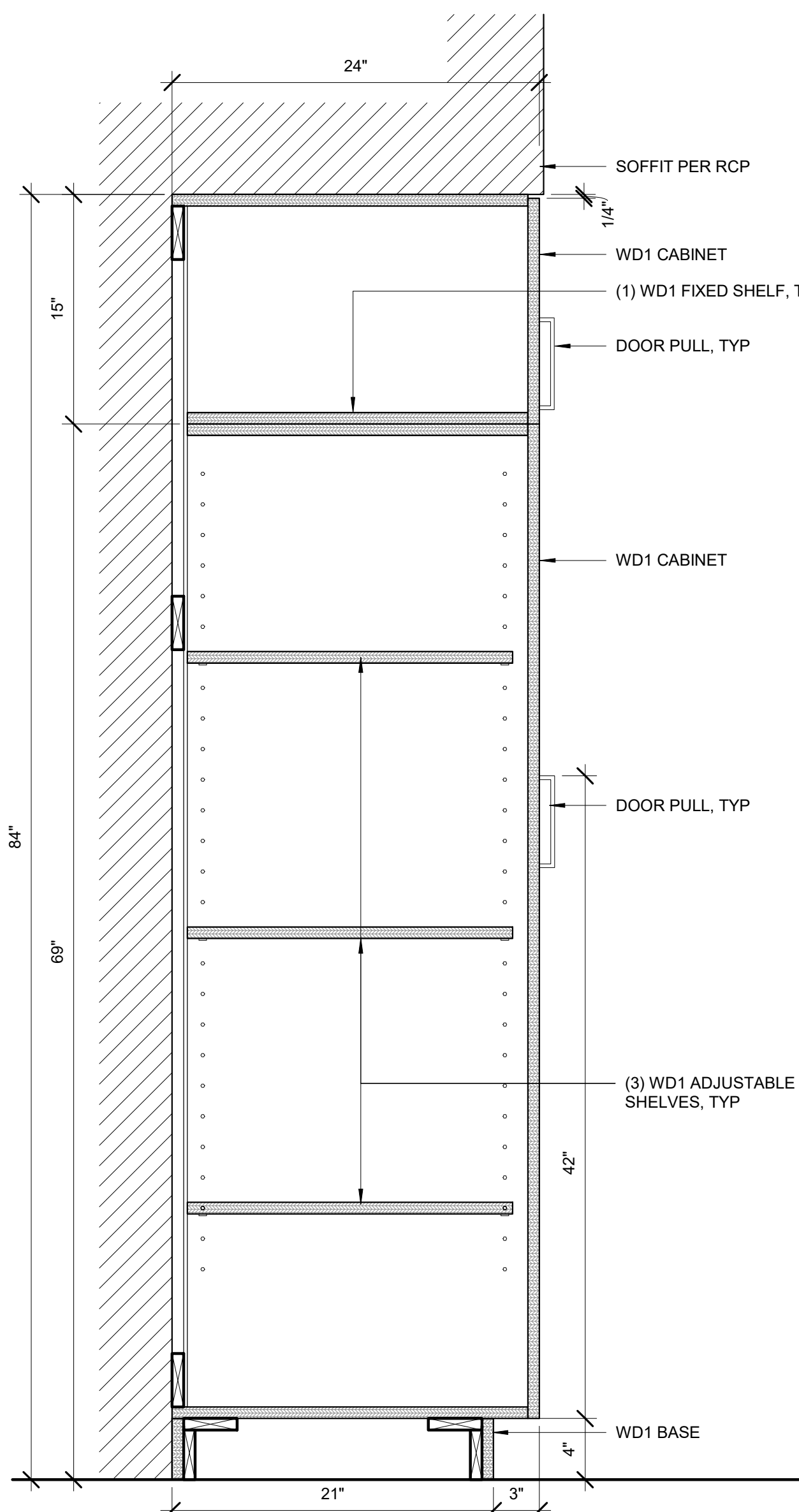
2 CASEWORK - 1 DRAWER / CAB BASE
1 1/2" = 1'-0"



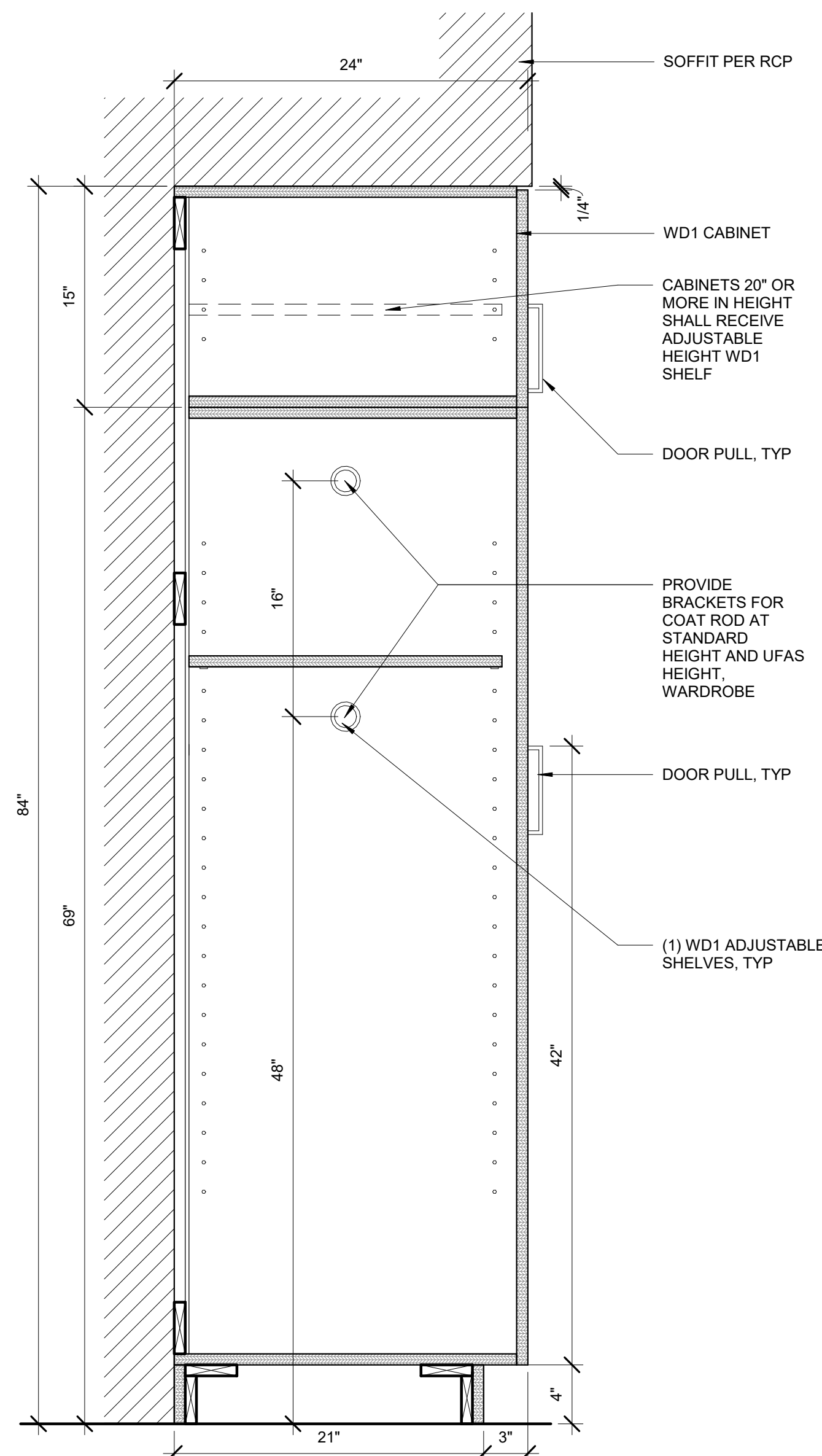
7 CASEWORK - TYP UPPER AND 4-DRW BASE CAB
1 1/2" = 1'-0"



5 CASEWORK - FULL HEIGHT CABINET (LINEN)
1 1/2" = 1'-0"



3 CASEWORK - FULL HEIGHT CABINET (PANTRY)
1 1/2" = 1'-0"



1 CASEWORK - FULL HEIGHT CABINET (COATS)
1 1/2" = 1'-0"



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COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN JACS
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SHEET NAME
CASEWORK DETAILS

SHEET NO.
A6.80

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ANCHORAGE, ALASKA

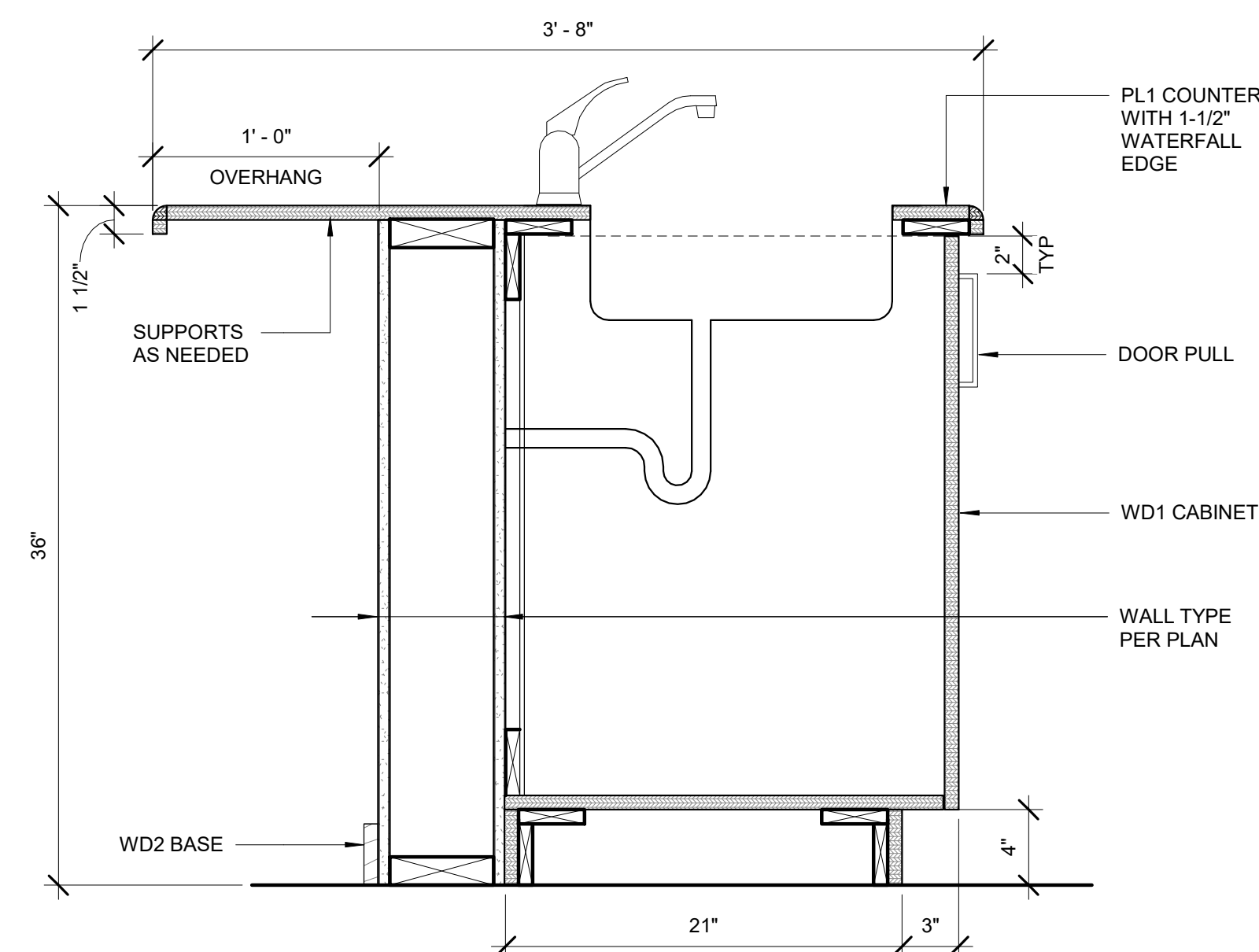
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JOB NO.	22-018
DATE	2023.03.08
DRAWN	JACS
REVIEWED	DTW

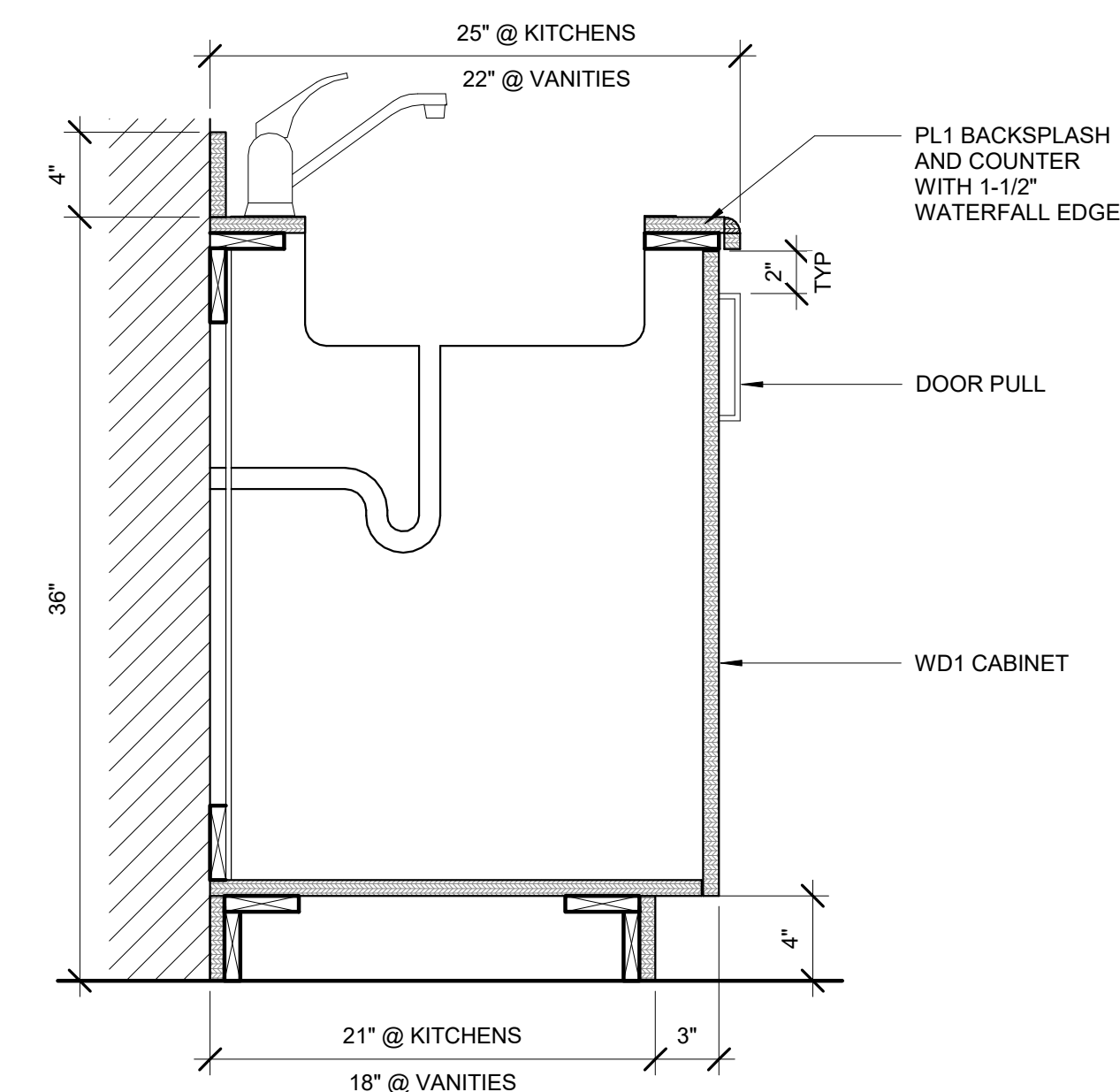
SHEET NAME
CASEWORK DETAILS

SHEET NO.

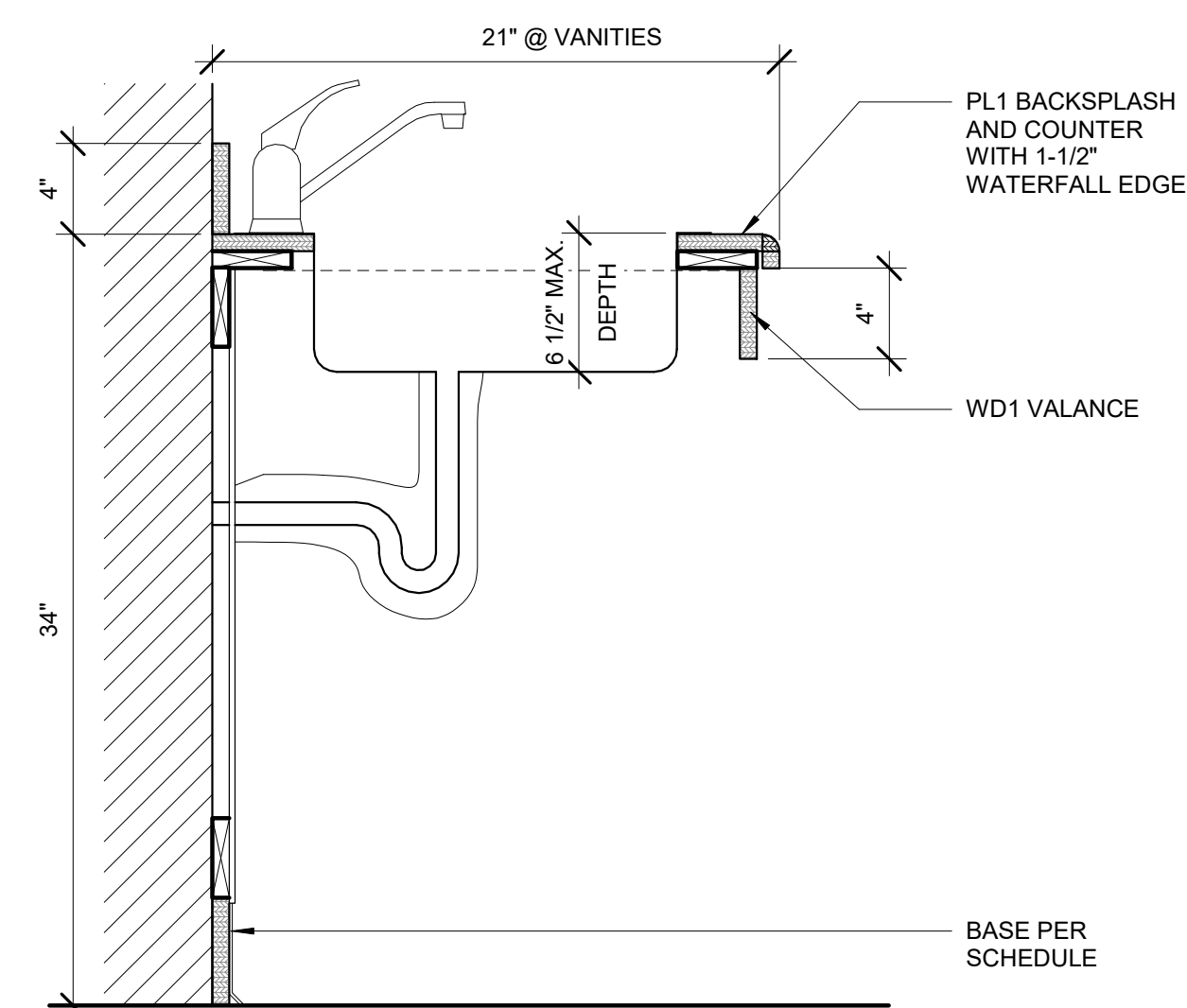
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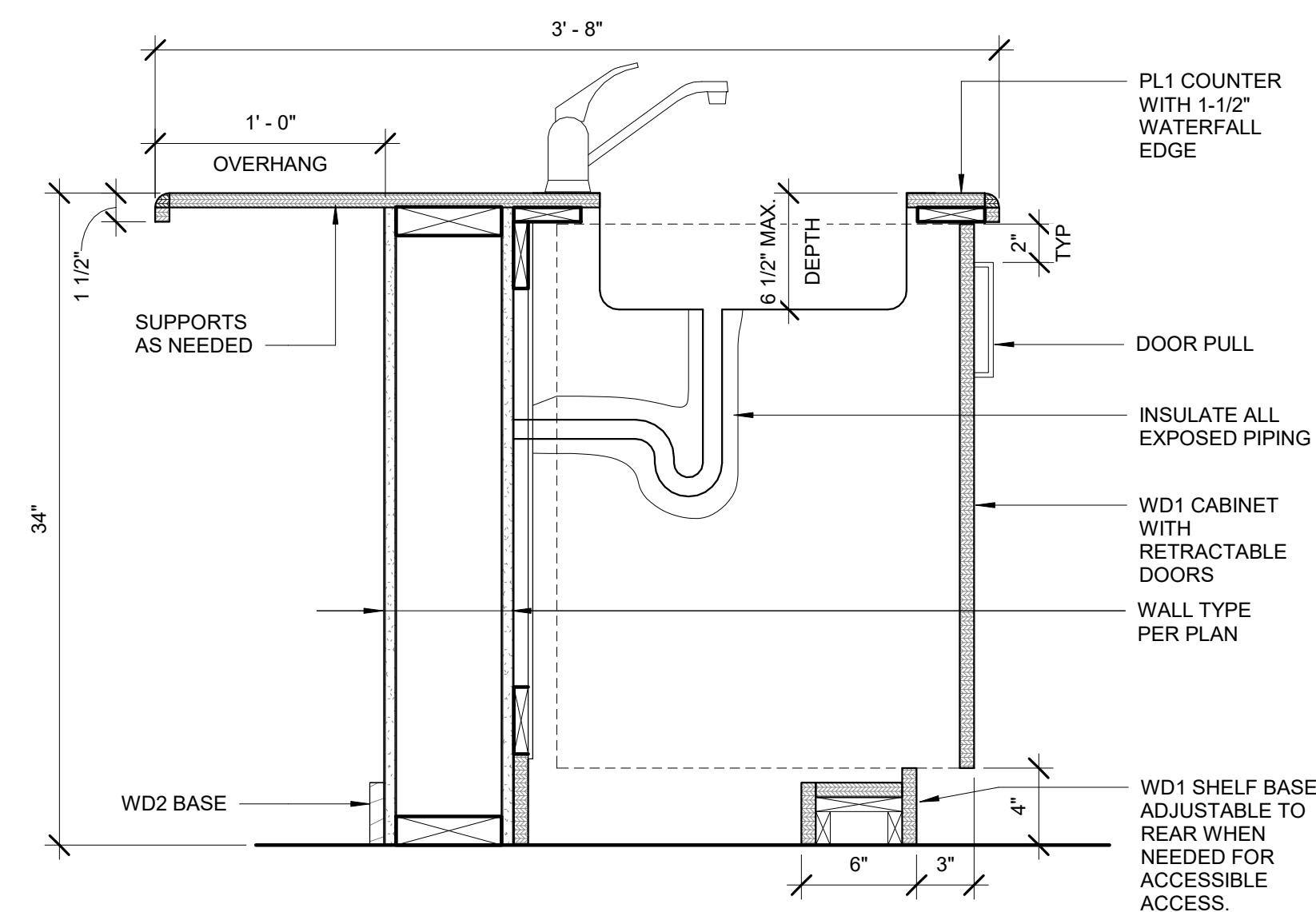
5 CASEWORK - ISLAND SINK



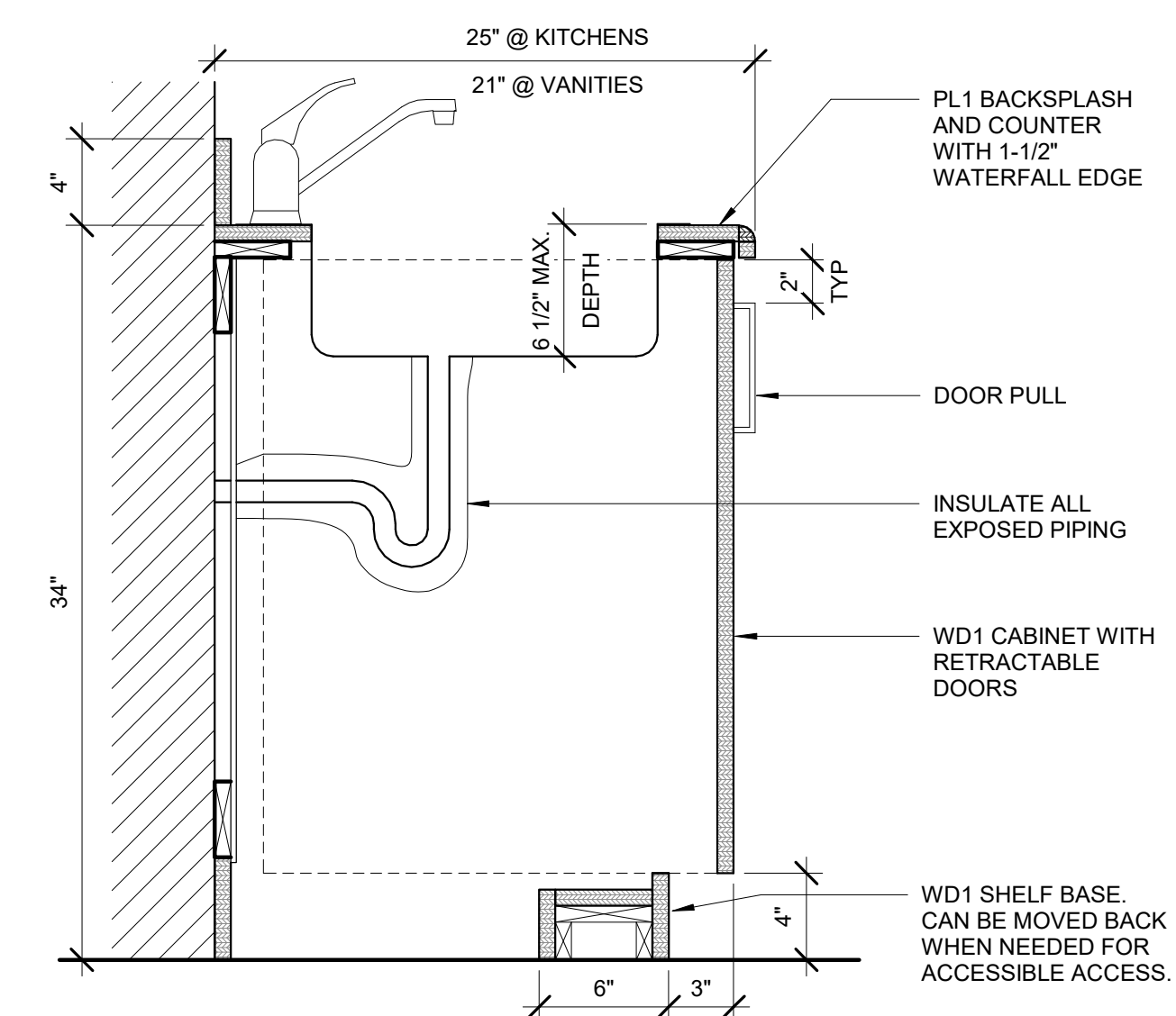
2 CASEWORK - SINK BASE CABINET



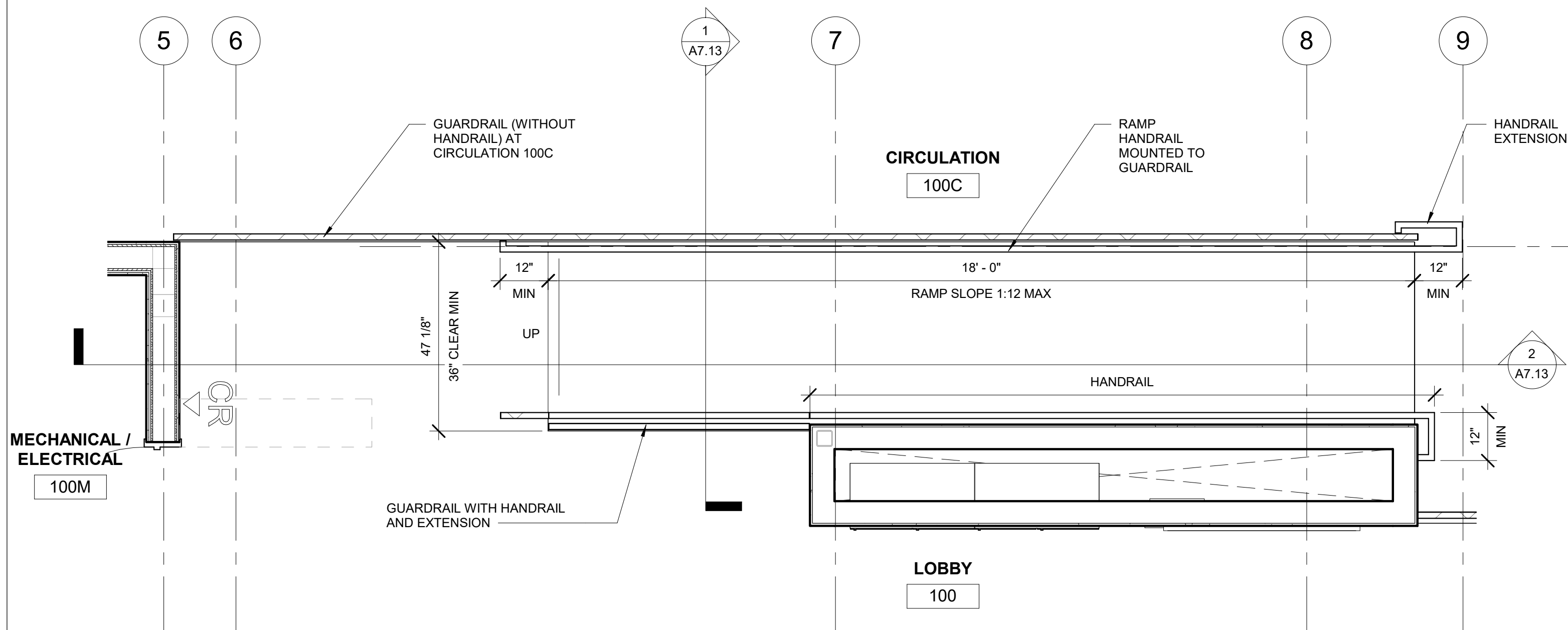
6 CASEWORK - SINK CABINET W/ OPEN BASE
1 1/2" = 1'-0"



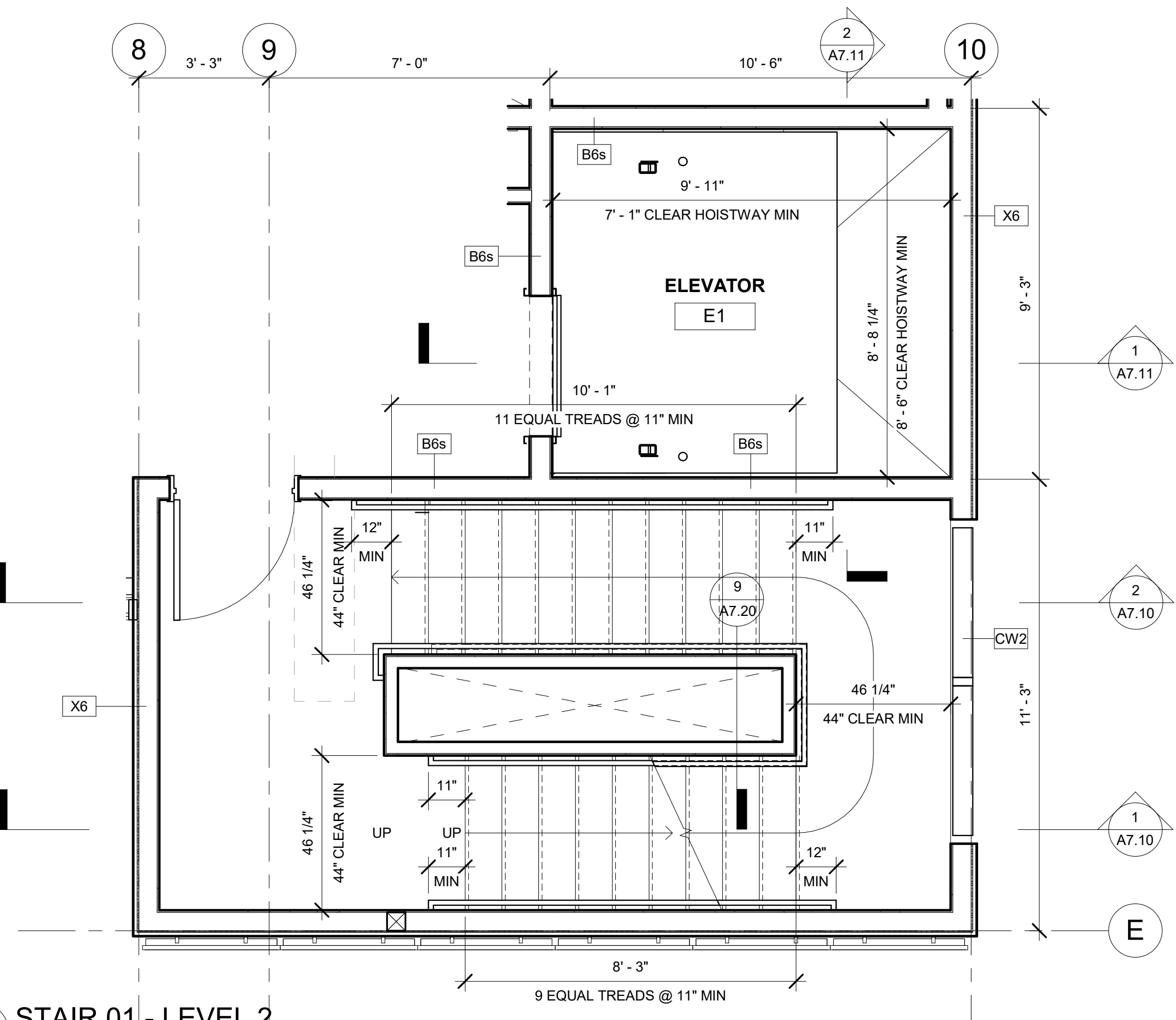
4 CASEWORK - ISLAND SINK W/ REMOVABLE BASE AND RETRACTABLE DOORS
1 1/2" = 1'-0"



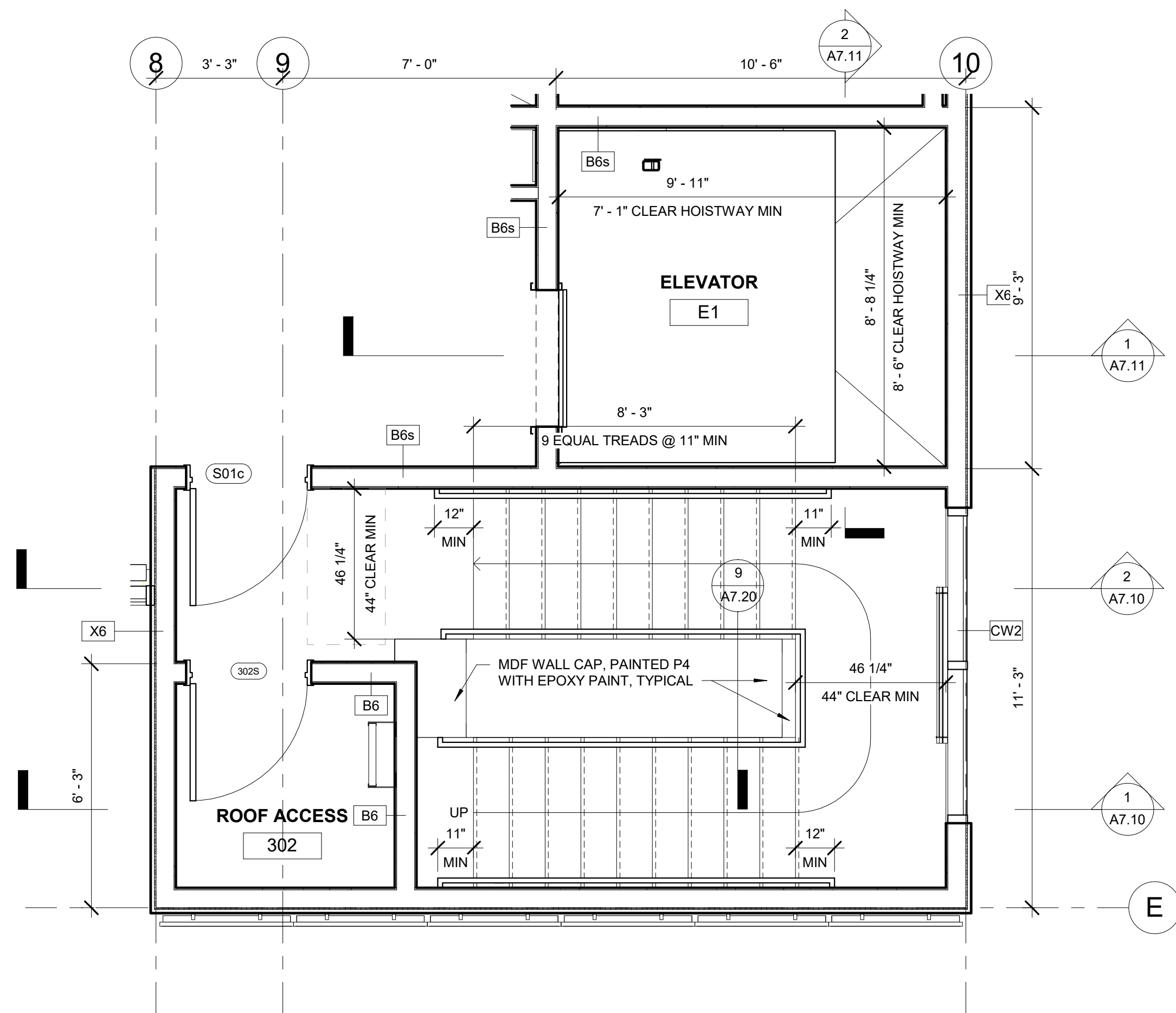
**1 CASEWORK - SINK CABINET W/ REMOVABLE
BASE AND RETRACTABLE DOORS**
1 1/2" = 1'-0"



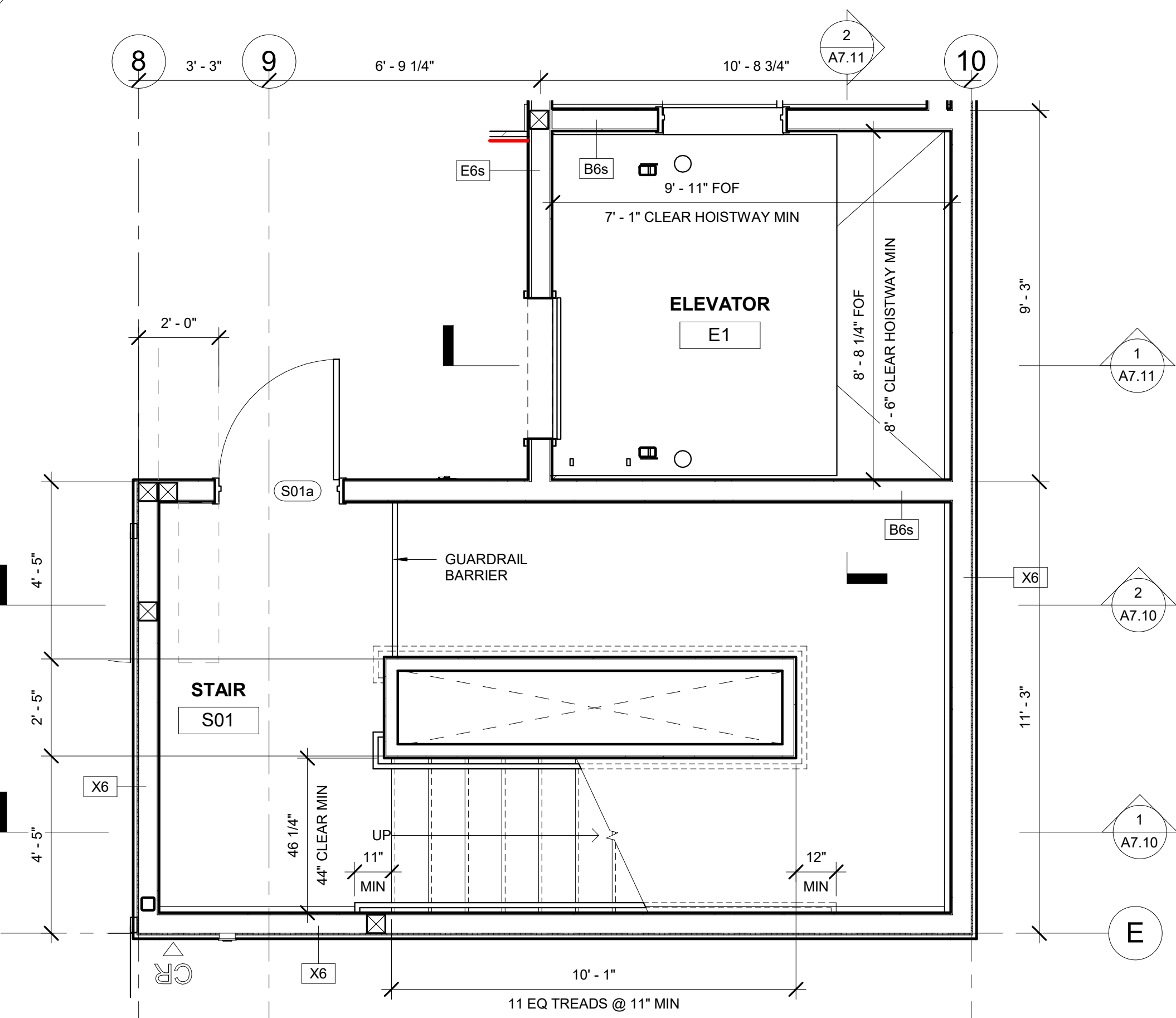
4 RAMP - LEVEL 0
1/2" = 1'-0"



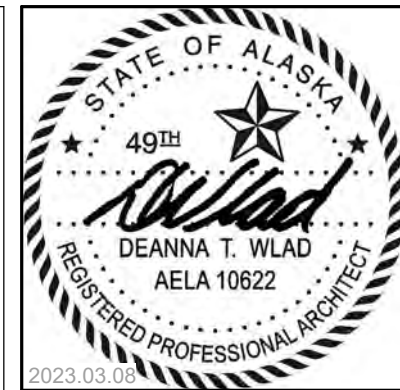
2 STAIR 01 - LEVEL 2
3/8" = 1'-0"



3 STAIR 01 - LEVEL 3
3/8" = 1'-0"



1 STAIR 01 - LEVEL 0
3/8" = 1'-0"



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COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN DN
REVIEWED DTW

SHEET NAME
VERTICAL CIRCULATION PLANS -
STAIR 01, ELEVATOR, AND RAMP

SHEET NO.
A7.00



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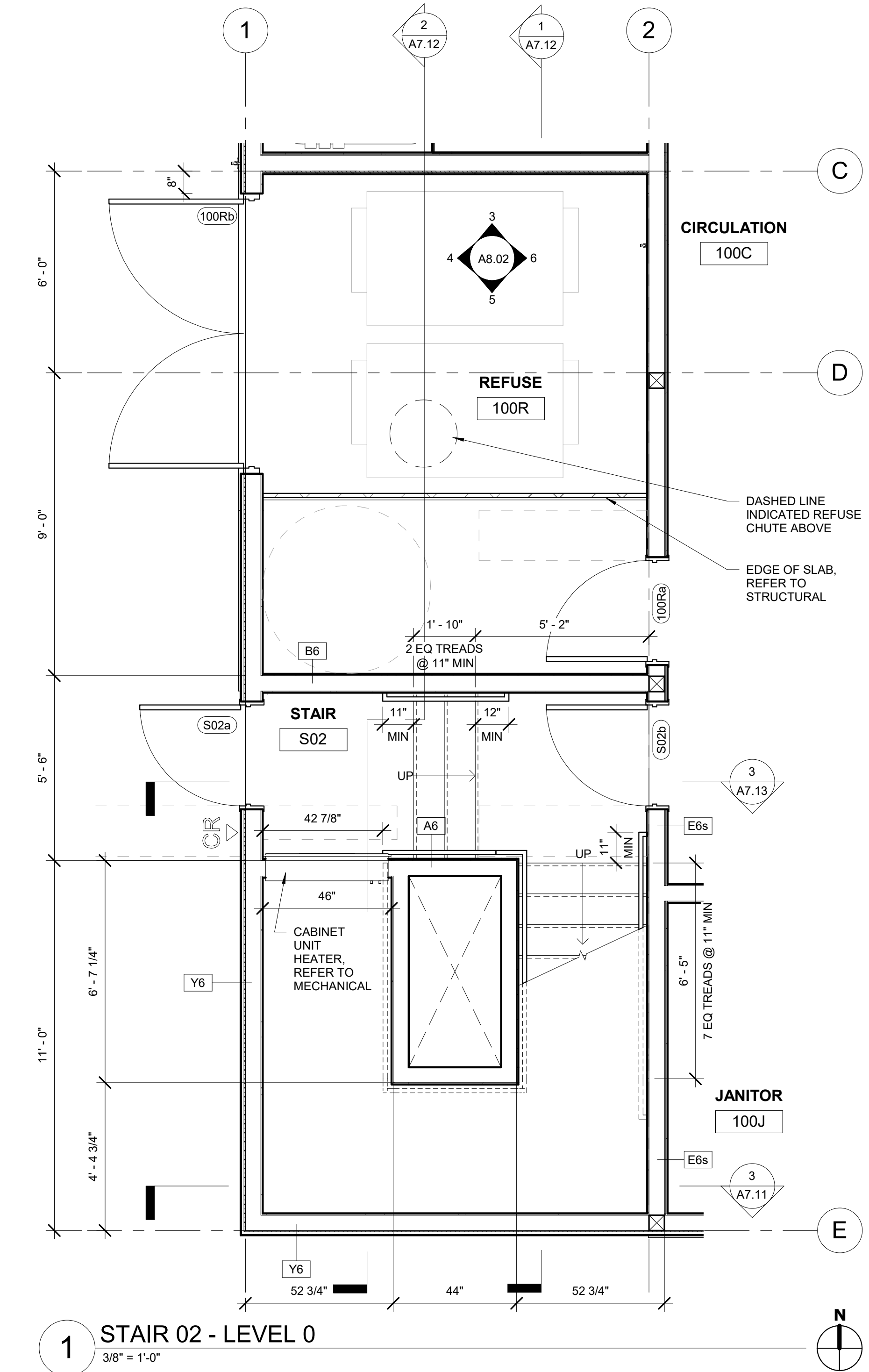
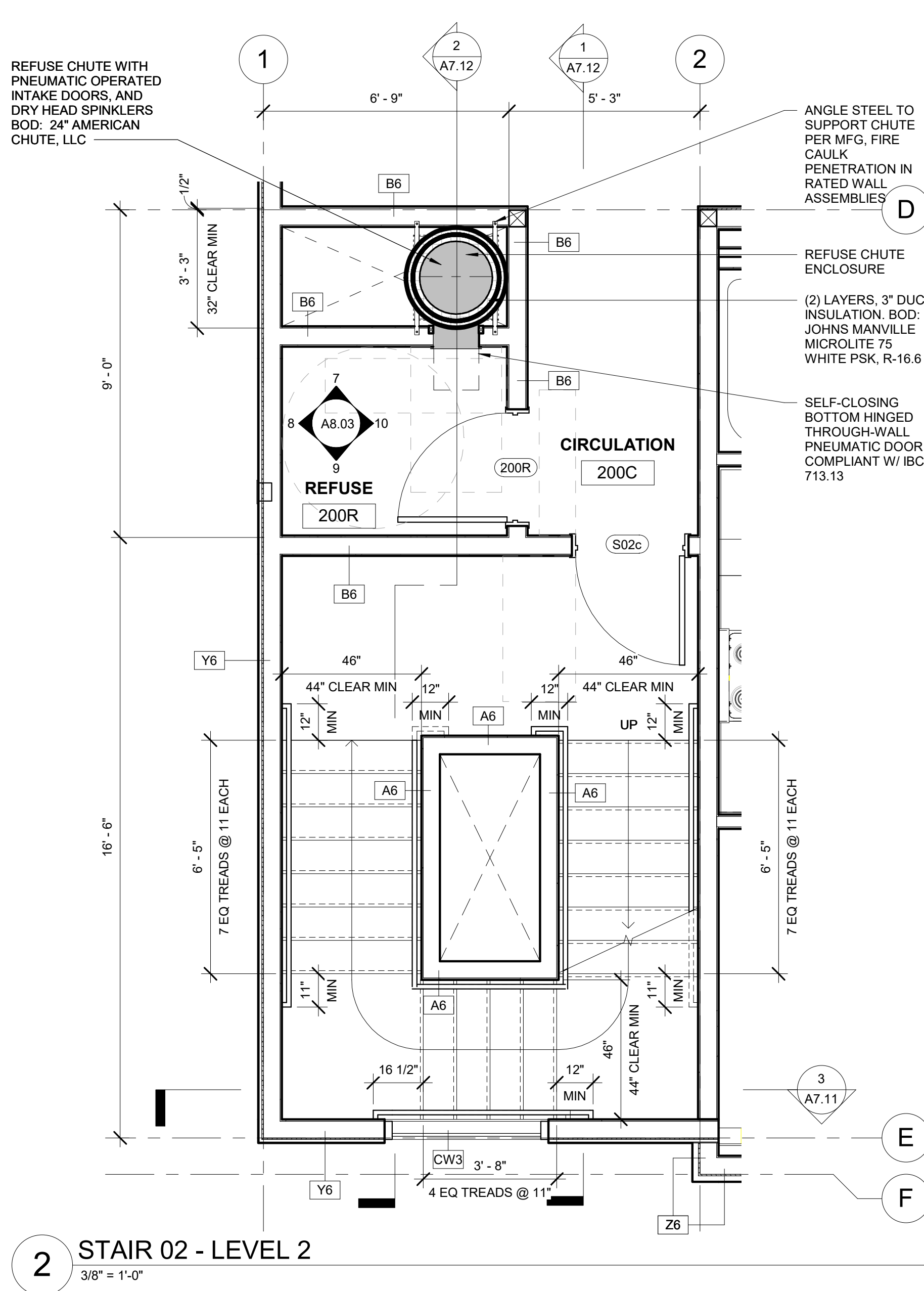
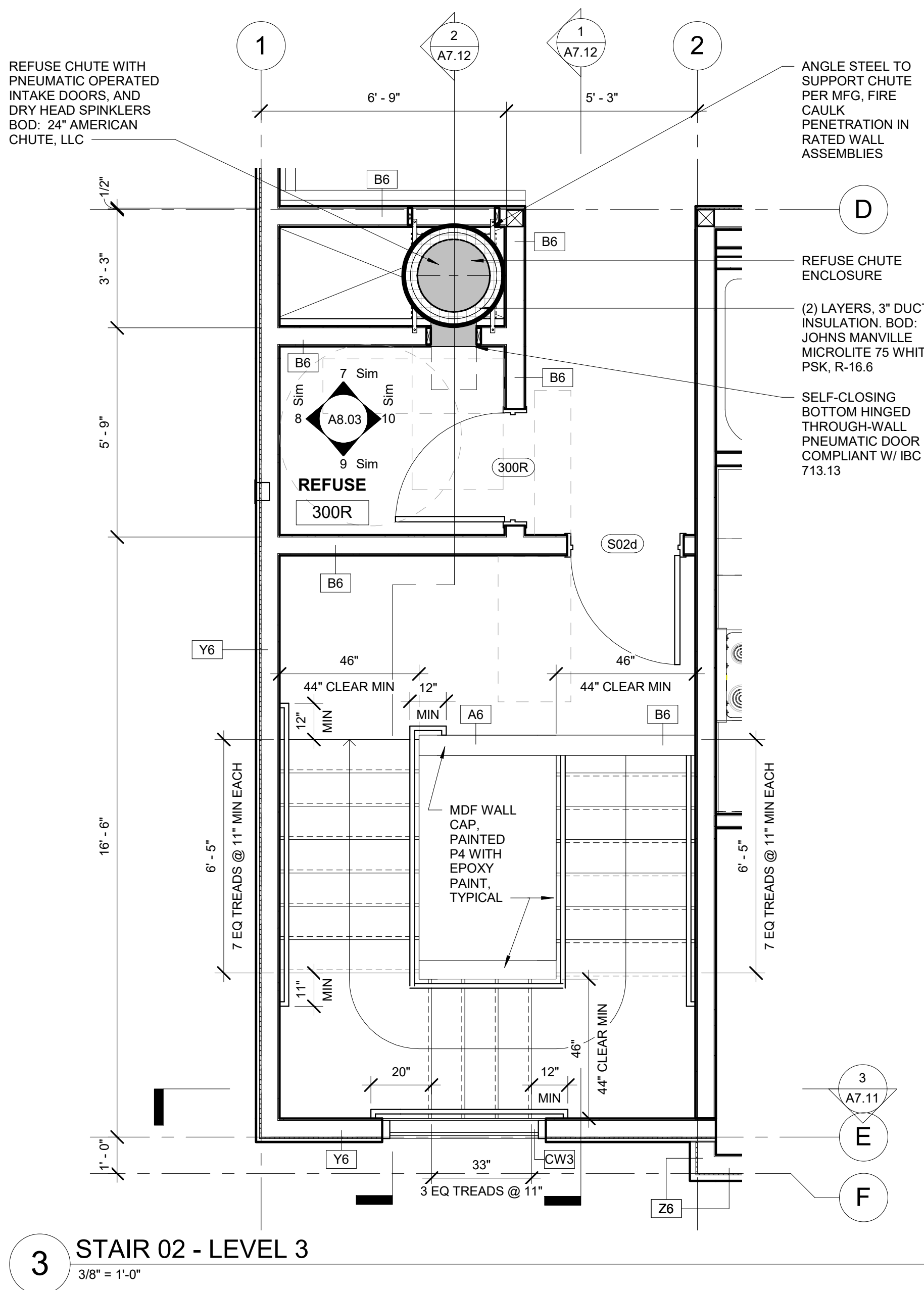
REVISION SCHEDULE		
#	DESCRIPTION	DATE

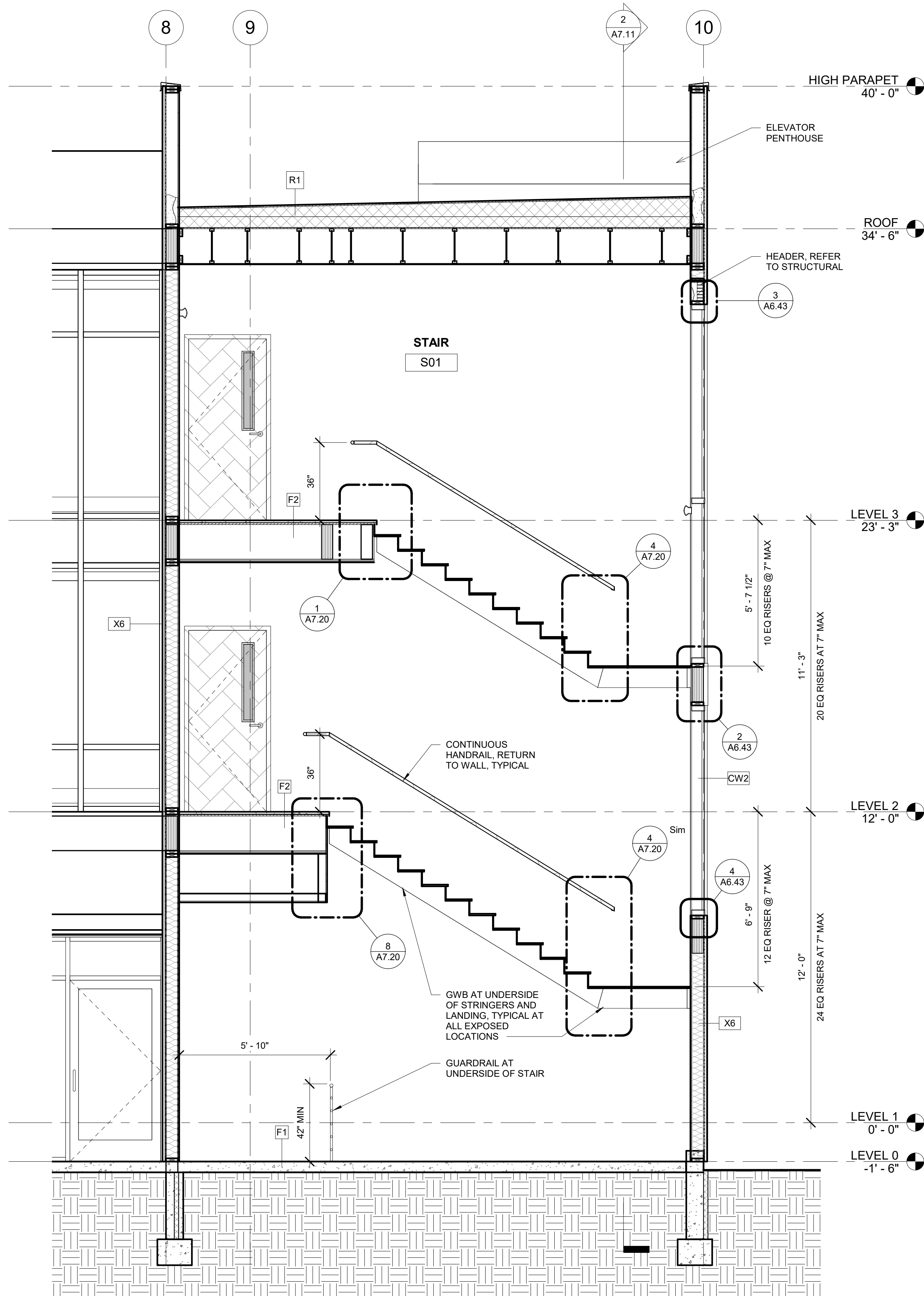
JOB NO. 22-018
DATE 2023.03.08
DRAWN DN
REVIEWED DTW

SHEET NAME
VERTICAL CIRCULATION PLANS -
STAIR 02

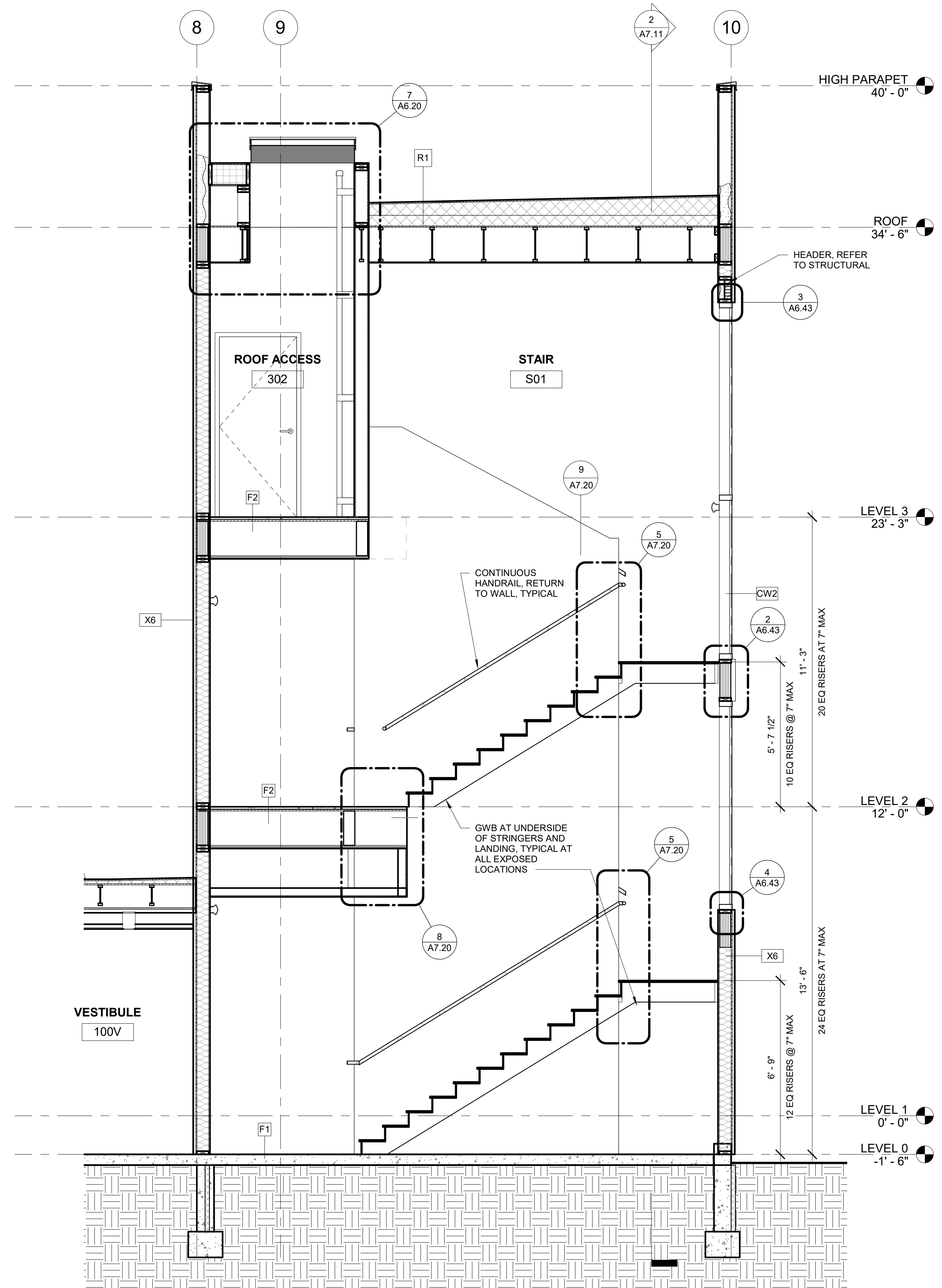
SHEET NO.
A7.01

HALF SCALE WHEN PRINTED AT 11x17





2 STAIR 01 - SECTION D.7
3/8" = 1'-0"



1 STAIR 01 - SECTION D.9
3/8" = 1'-0"



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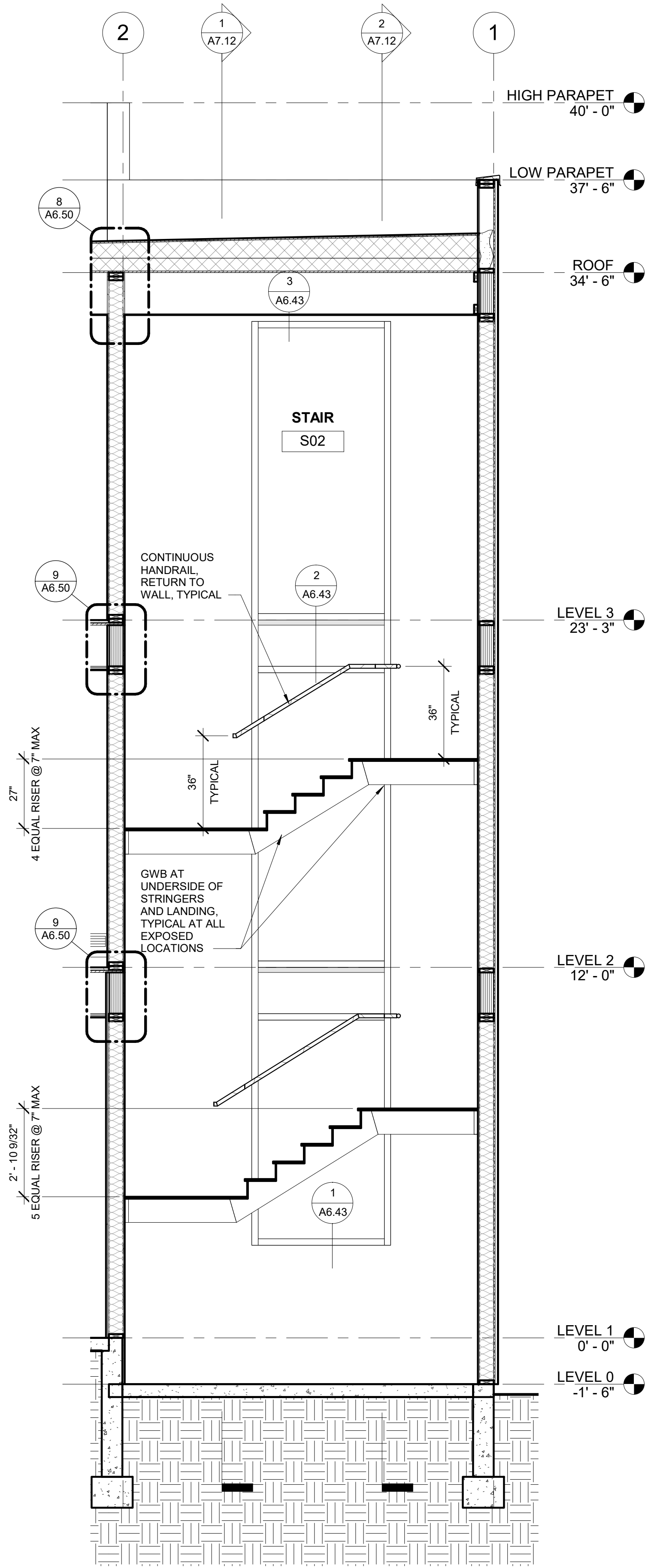
COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
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REVISION SCHEDULE		
#	DESCRIPTION	DATE

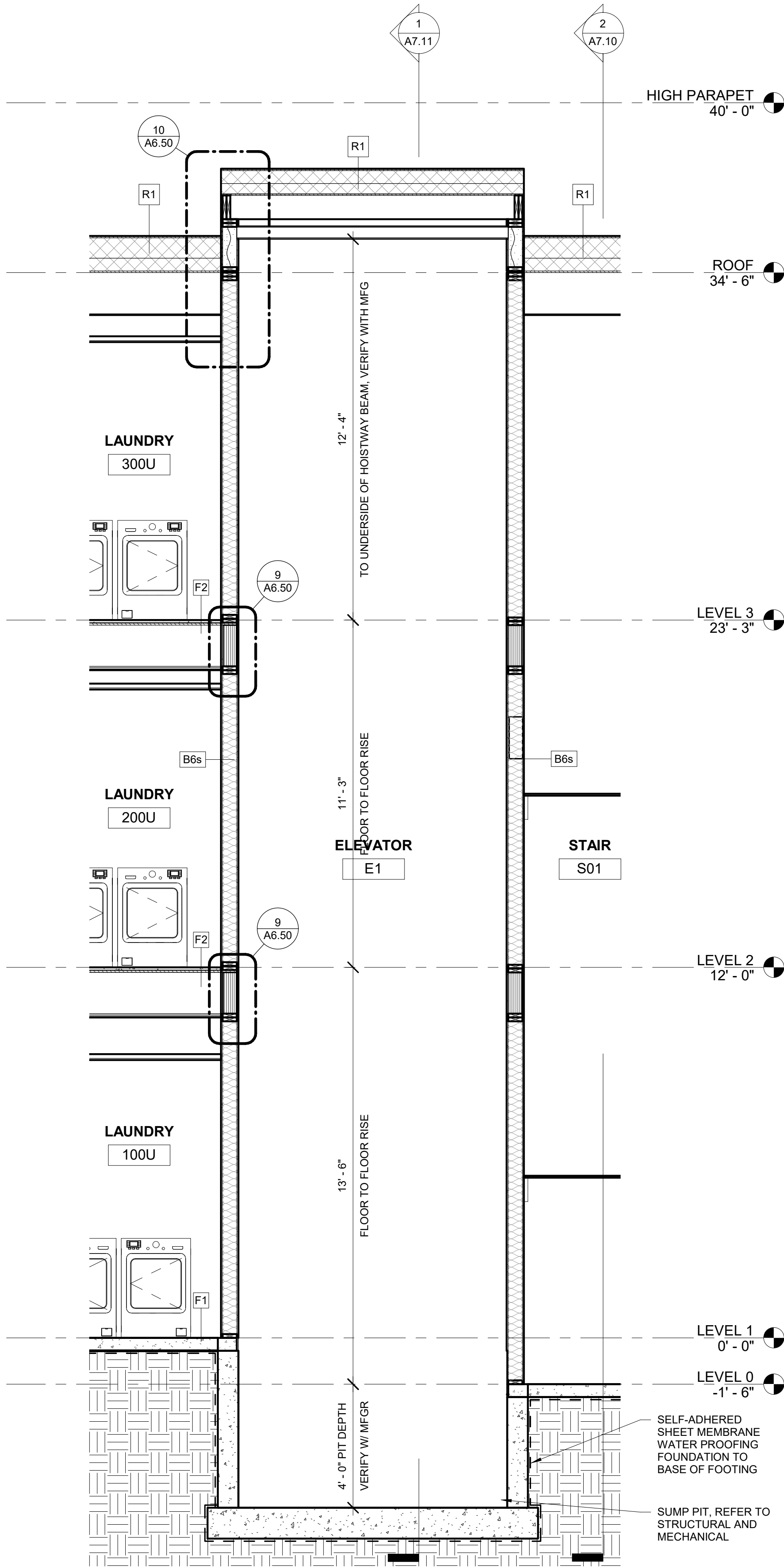
JOB NO. 22-018
DATE 2023.03.08
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SHEET NAME
VERTICAL CIRCULATION
SECTIONS - STAIR 01

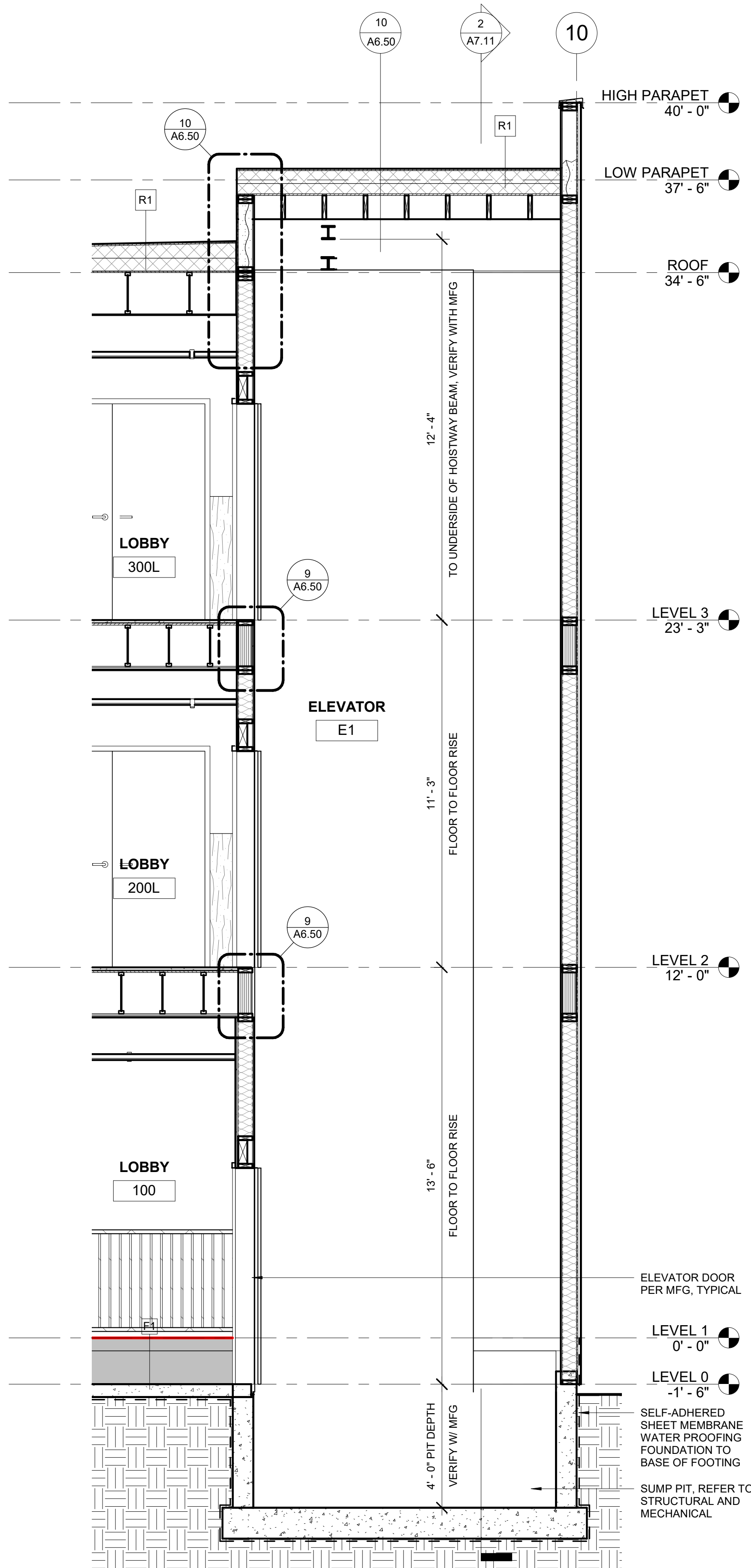
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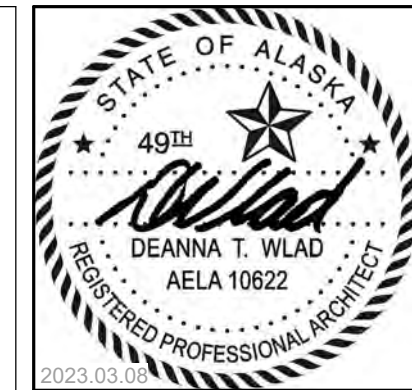
3 STAIR 02 - SECTION D.9
3/8" = 1'-0"



2 ELEVATOR - SECTION 9.8
3/8" = 1'-0"



1 ELEVATOR - SECTION D.4
3/8" = 1'-0"



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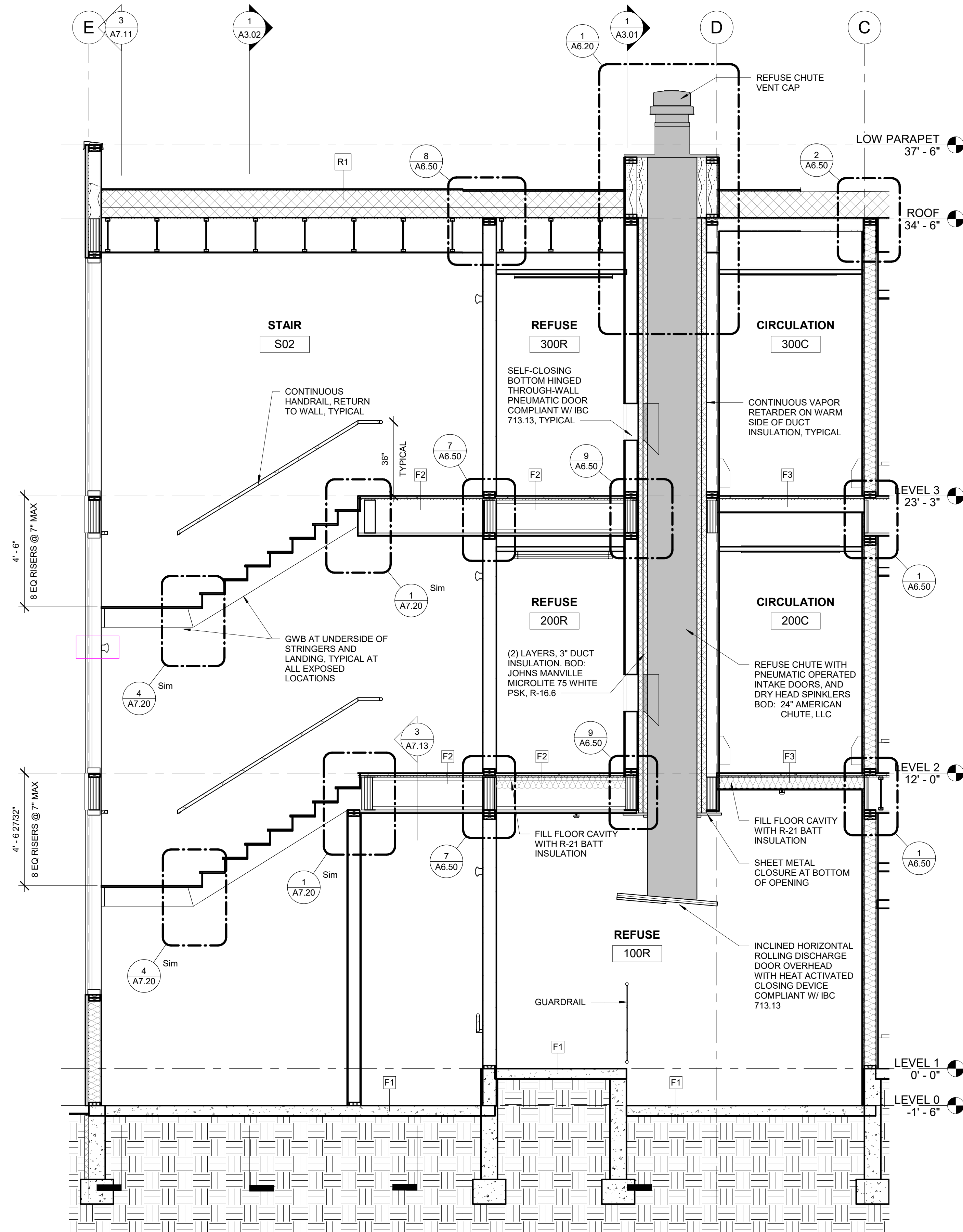
COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

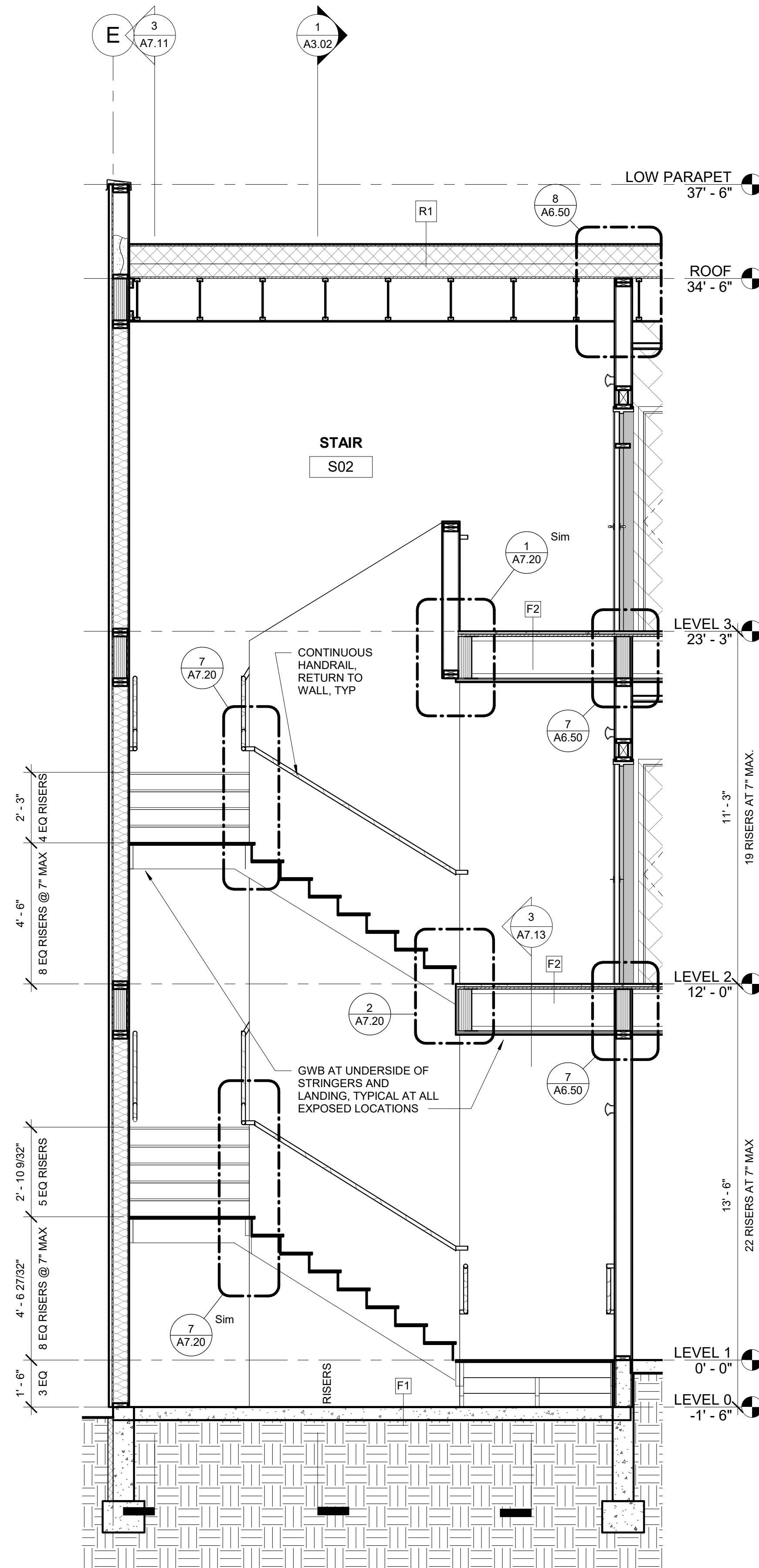
JOB NO. 22-018
DATE 2023.03.08
DRAWN DN
REVIEWED DTW

SHEET NAME
VERTICAL CIRCULATION
SECTIONS - ELEVATOR & STAIR
02

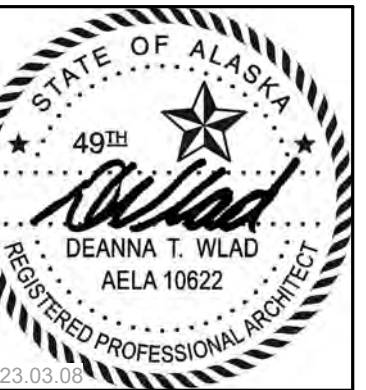
SHEET NO.
A7.11



2 STAIR 02 - SECTION 1.4
3/8" = 1'-0"



1 STAIR 02 - SECTION 1.7
3/8" = 1'-0"



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REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN DN
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SHEET NAME
VERTICAL CIRCULATION
SECTIONS - STAIR 02

SHEET NO.
A7.12



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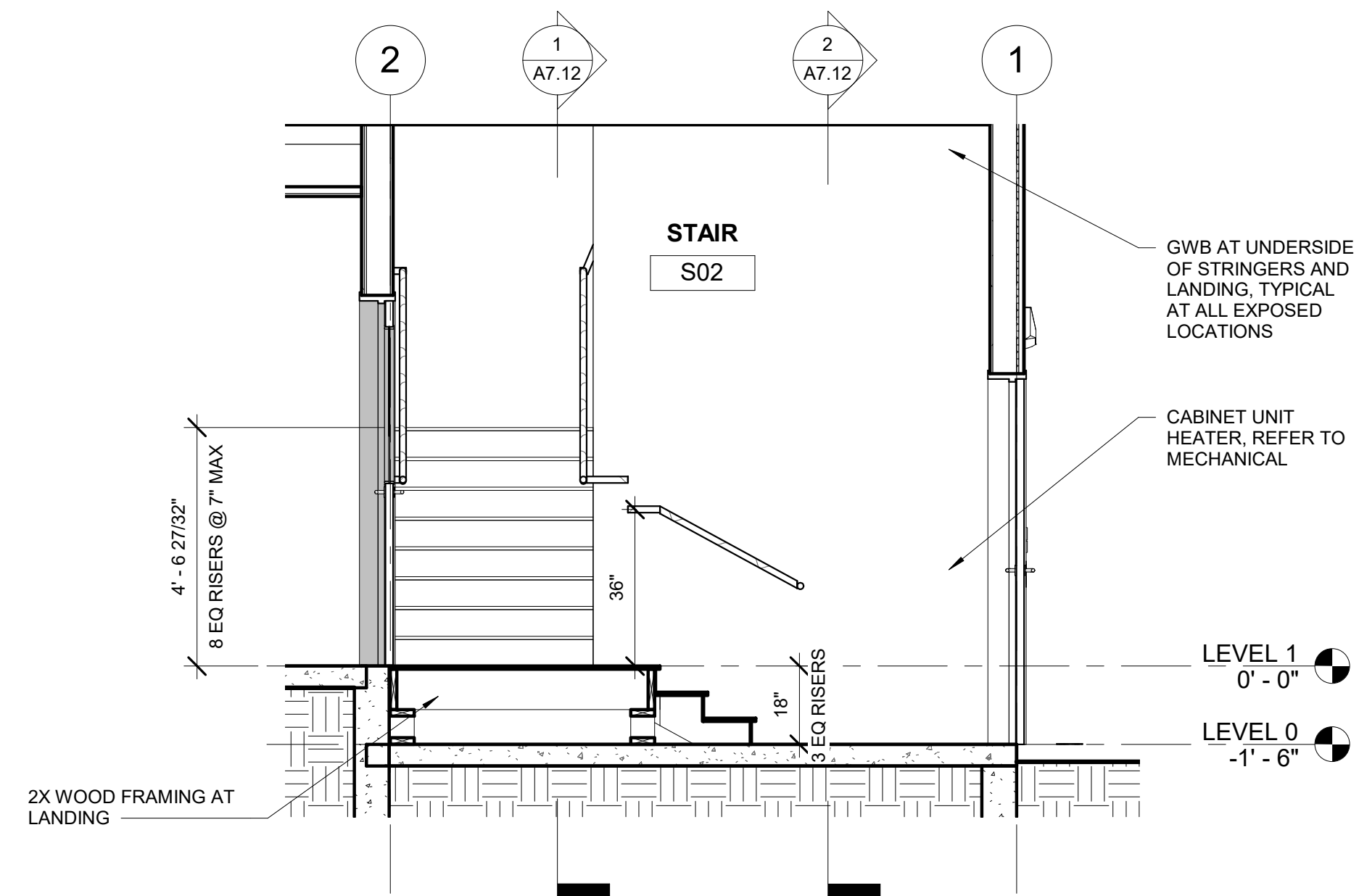
REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN Author
REVIEWED DTW

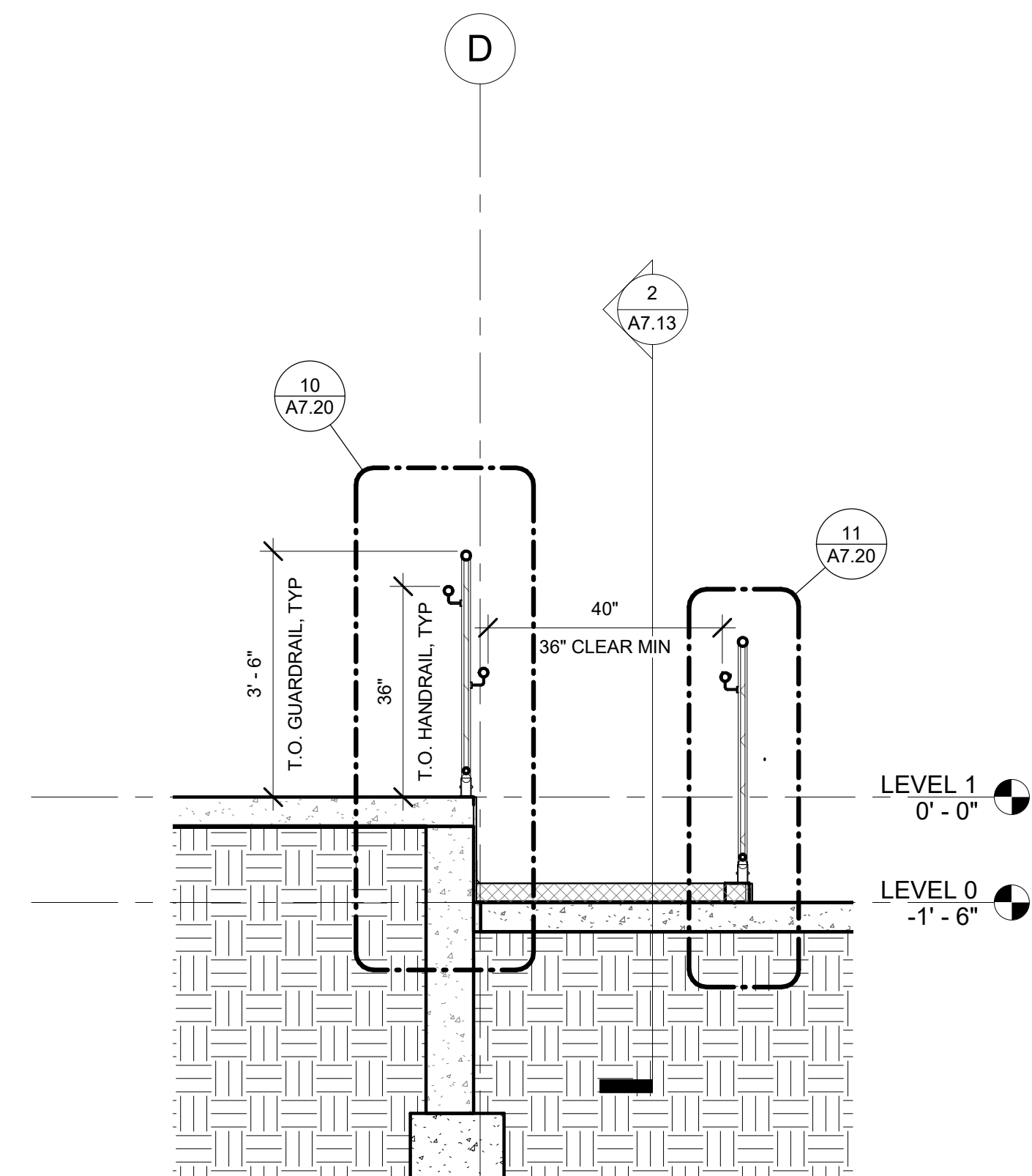
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VERTICAL CIRCULATION
SECTIONS - RAMP

SHEET NO.
A7.13

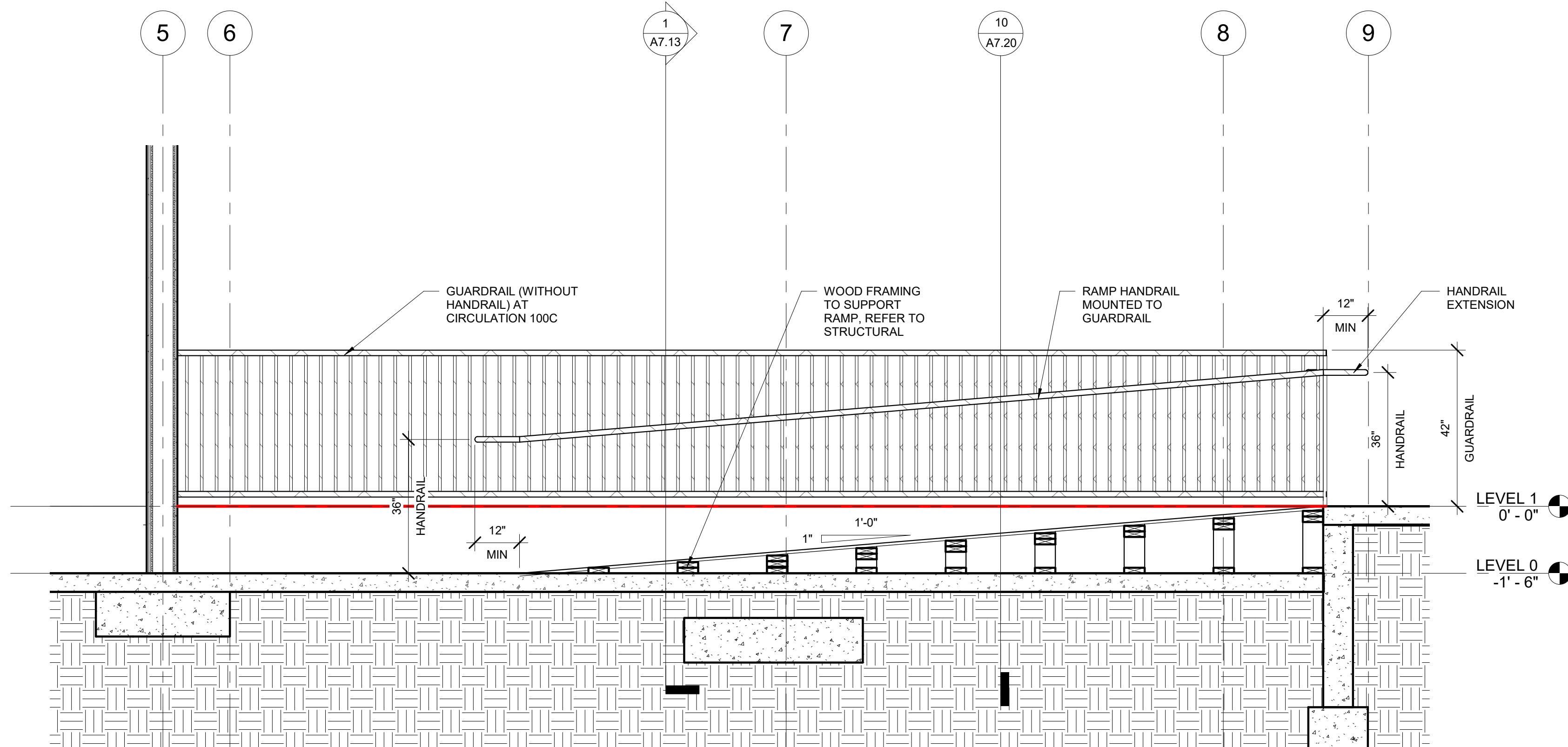
HALF SCALE WHEN PRINTED AT 11x17



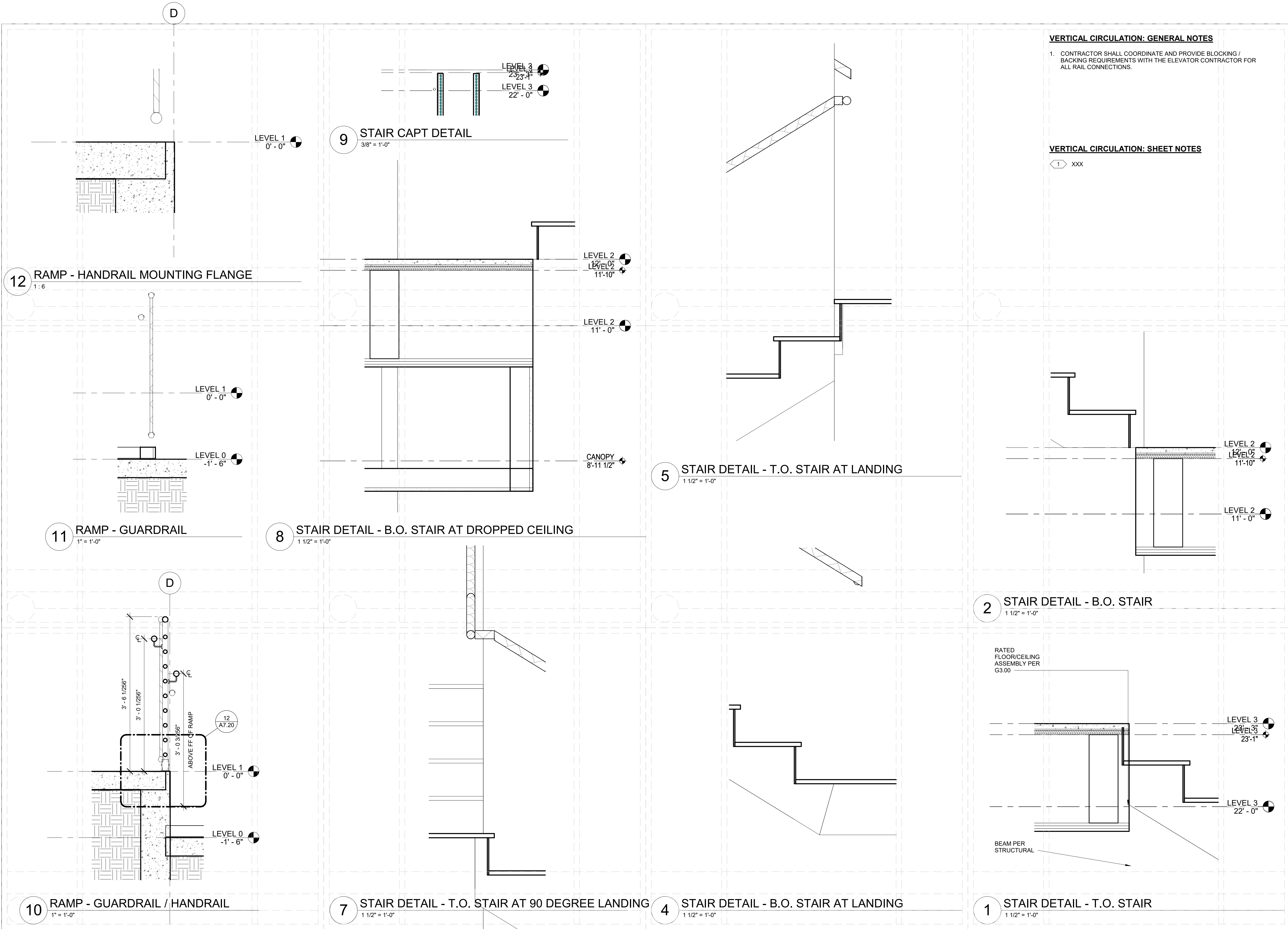
3 STAIR 02 - SECTION D.5
3/8" = 1'-0"



1 RAMP - SECTION 6.8
1/2" = 1'-0"



2 RAMP - SECTION D.2
1/2" = 1'-0"

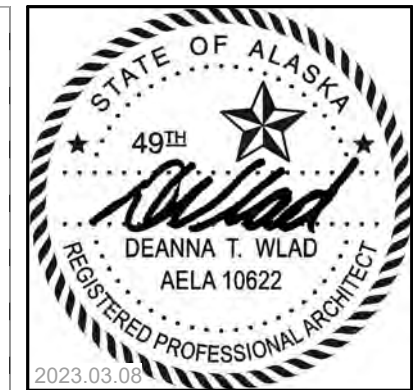


VERTICAL CIRCULATION: GENERAL NOTES

1. CONTRACTOR SHALL COORDINATE AND PROVIDE BLOCKING / BACKING REQUIREMENTS WITH THE ELEVATOR CONTRACTOR FOR ALL RAIL CONNECTIONS.

VERTICAL CIRCULATION: SHEET NOTES

1 XXX



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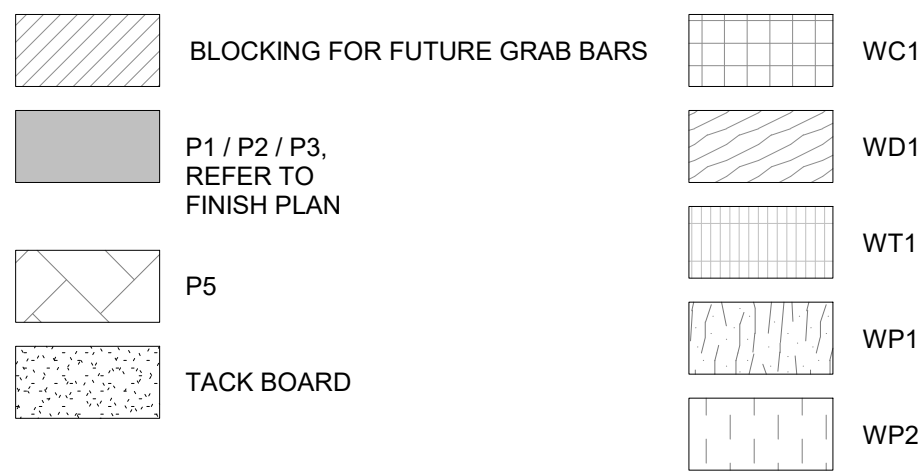
REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN DN
REVIEWED DTW

SHEET NAME
VERTICAL CIRCULATION -
DETAILS

SHEET NO.
A7.20

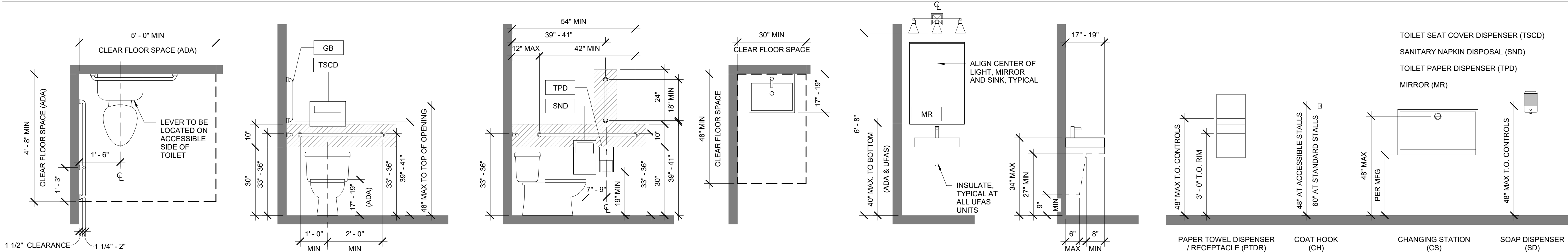
FINISH PLAN: LEGEND



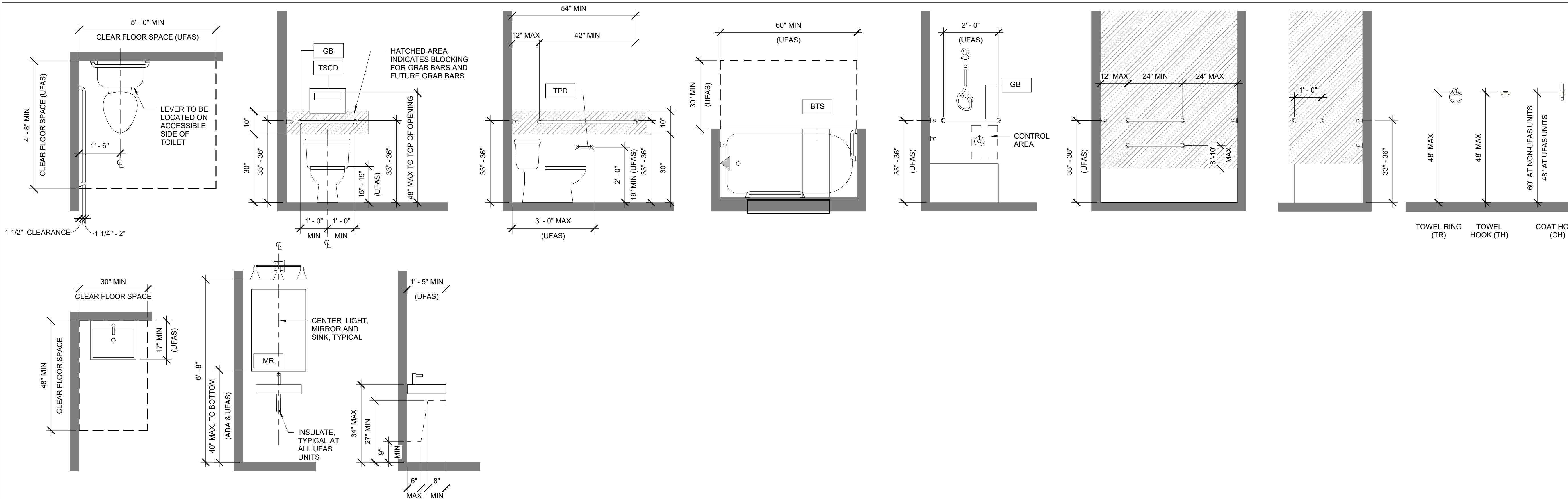
INTERIOR ELEVATIONS: GENERAL NOTES

1. REFER TO A5.03 FOR MATERIAL, APPLIANCE AND TOILET ACCESSORY SCHEDULES.
2. ALL CASEWORK SHALL BE WD1. ALL COUNTERTOPS TO BE PL1, UNLESS OTHERWISE NOTED.
3. ALL BASE CABINETS SHALL BE 24" DEEP, ALL UPPER CABINETS SHALL BE 13" DEEP AND ALL COUNTERTOPS SHALL BE 25 1/2" DEEP, UNLESS OTHERWISE NOTED.
4. COUNTERTOPS AND BACKSPLASHES SHALL RECEIVE COLOR MATCHED SEALANT AT ALL WALL AND WALL/BACKSPLASH INTERSECTIONS.
5. ALL CASEWORK SHALL HAVE 1" MINIMUM FILLER PANELS TO MATCH CASEWORK AT EDGES ADJACENT TO PERPENDICULAR WALLS.
6. 'FE' INDICATES FINISHED END ON EXPOSED SIDE OF CABINET.
7. ALL END PANELS TO BE FINISHED ON EXPOSED SIDE. END PANELS AROUND FRIDGE TO BE 24" DEEP TO SUPPORT 24" DEEP CABINET ABOVE FRIDGE.
8. CASEWORK DOOR/DRAWER PULL BASIS OF DESIGN IS NOTED ON A5.09.
9. REFER TO FINISH PLAN FOR EXTENT OF FLOORING, ACCENT PAINT, WALL COVERINGS AND CORNER GUARD LOCATIONS.
10. CORNER GUARDS ARE NOT CALLED OUT IN THE ELEVATION. REFER TO FINISH PLANS FOR LOCATIONS AND TYPES.
11. INSULATE PIPES AT ALL SINK LOCATIONS WITH EXPOSED PIPING IF SHROUD IS NOT PROVIDED.
12. WHERE 34" IS NOTED, THE 34" HEIGHT SHALL BE MEASURED FROM THE FINISHED FLOOR TO THE TOP OF THE FLOOD RIM OF THE FIXTURE, TYPICAL.
13. CONTRACTOR SHALL BACK CHECK APPLIANCE CUT SHEETS WITH ALL CASEWORK TO CONFIRM ADEQUATE CLEARANCE IS PROVIDED. REFRIGERATORS SHALL BE LOCATED TO ALLOW DOORS TO OPEN SO BINS CAN BE REMOVED.
14. CONTRACTOR TO PROVIDE AND INSTALL BLOCKING FOR WALL MOUNTED TOILET ACCESSORIES, EQUIPMENT, SIGNAGE, ETC.
15. PROVIDE BLOCKING FOR FUTURE GRAB BARS IN NON-UFAS UNITS. REFER TO A8.00 FOR LOCATIONS.
16. REFER TO MECHANICAL DRAWINGS FOR ALL PLUMBING FIXTURES AND ELECTRICAL DRAWINGS FOR ALL LIGHT FIXTURES.

ADA FIXTURE AND ACCESSORY MOUNTING HEIGHTS - PUBLIC RESTROOMS



UFAS FIXTURE AND ACCESSORY MOUNTING HEIGHTS - RESIDENTIAL UNITS



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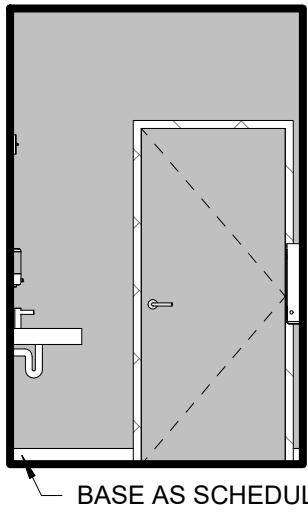
REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN CJF
REVIEWED DTW

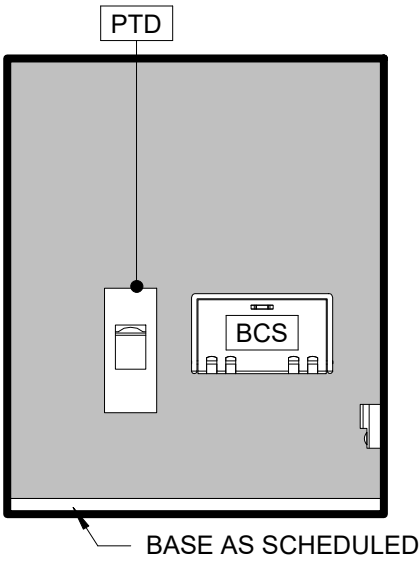
SHEET NAME
STANDARD MOUNTING HEIGHTS
AND CLEARANCES

SHEET NO.
A8.00

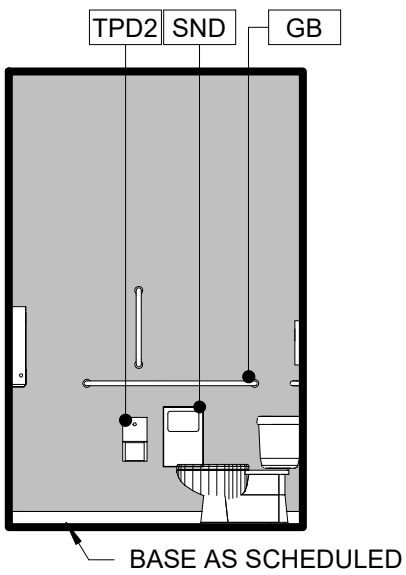
REFER TO A8.00 FOR INTERIOR ELEVATION GENERAL NOTES AND LEGEND



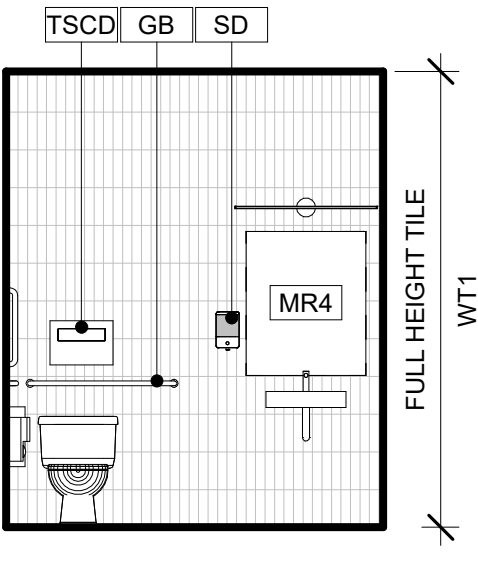
16 100T TOILET - EAST
1/4" = 1'-0"



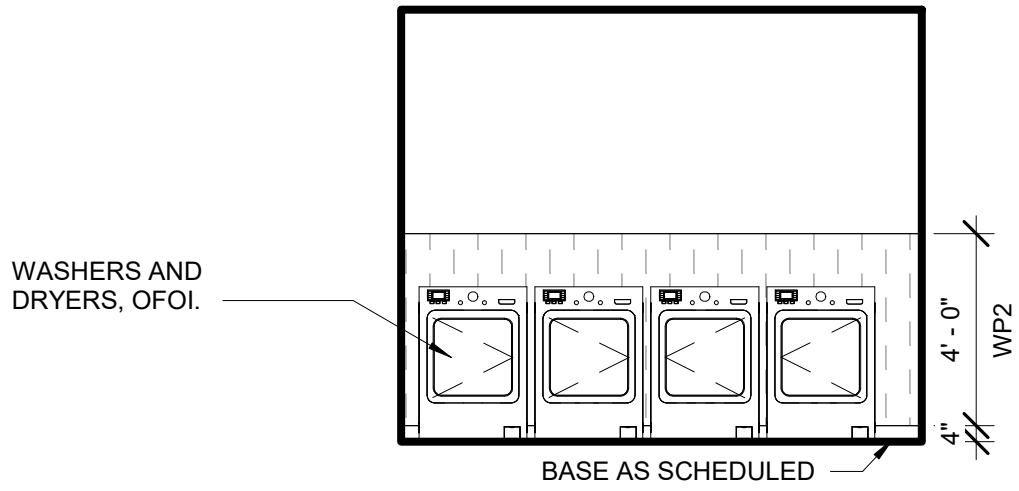
15 100T TOILET - SOUTH
1/4" = 1'-0"



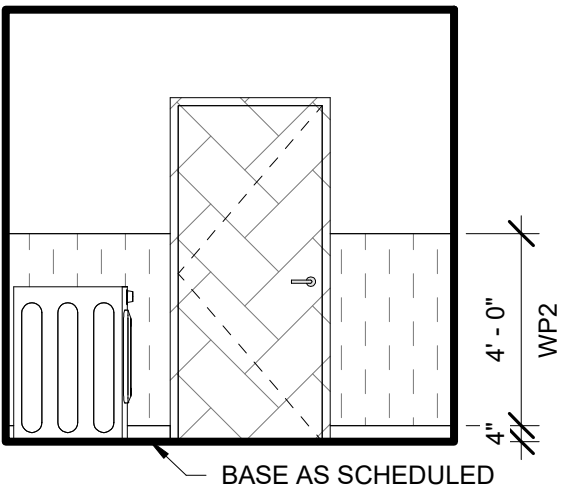
14 100T TOILET - WEST
1/4" = 1'-0"



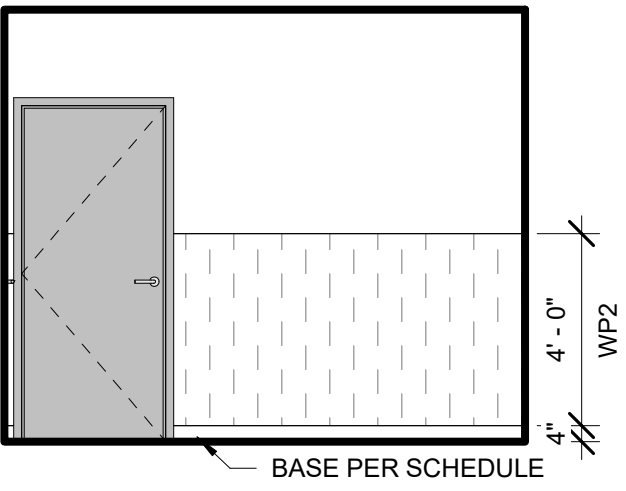
13 100T TOILET - NORTH
1/4" = 1'-0"



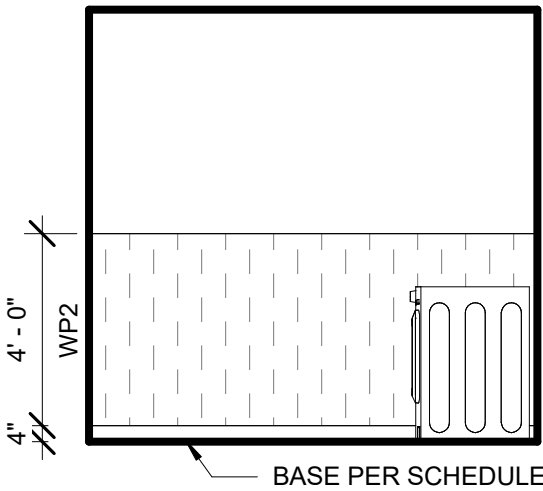
12 100 LAUNDRY - EAST
1/4" = 1'-0"



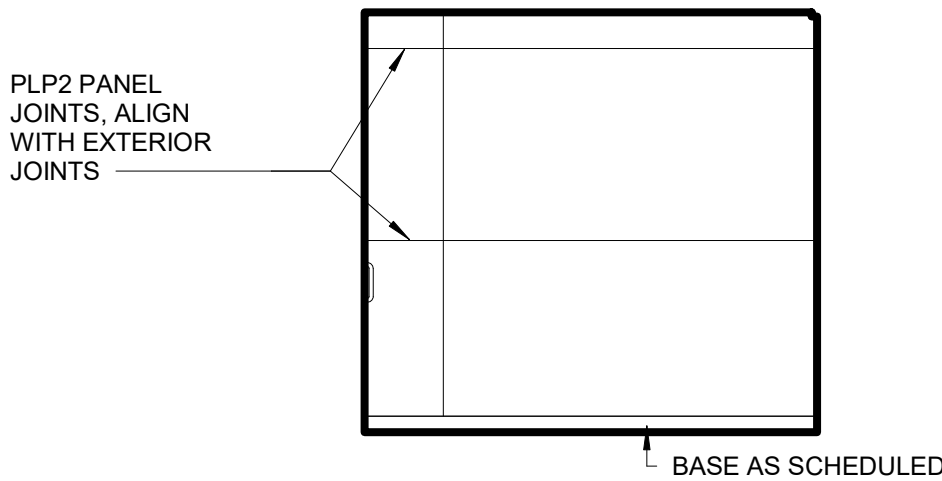
11 100 LAUNDRY - SOUTH
1/4" = 1'-0"



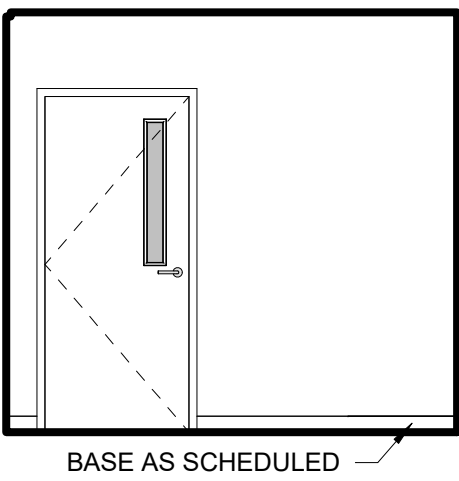
10 100 LAUNDRY - WEST
1/4" = 1'-0"



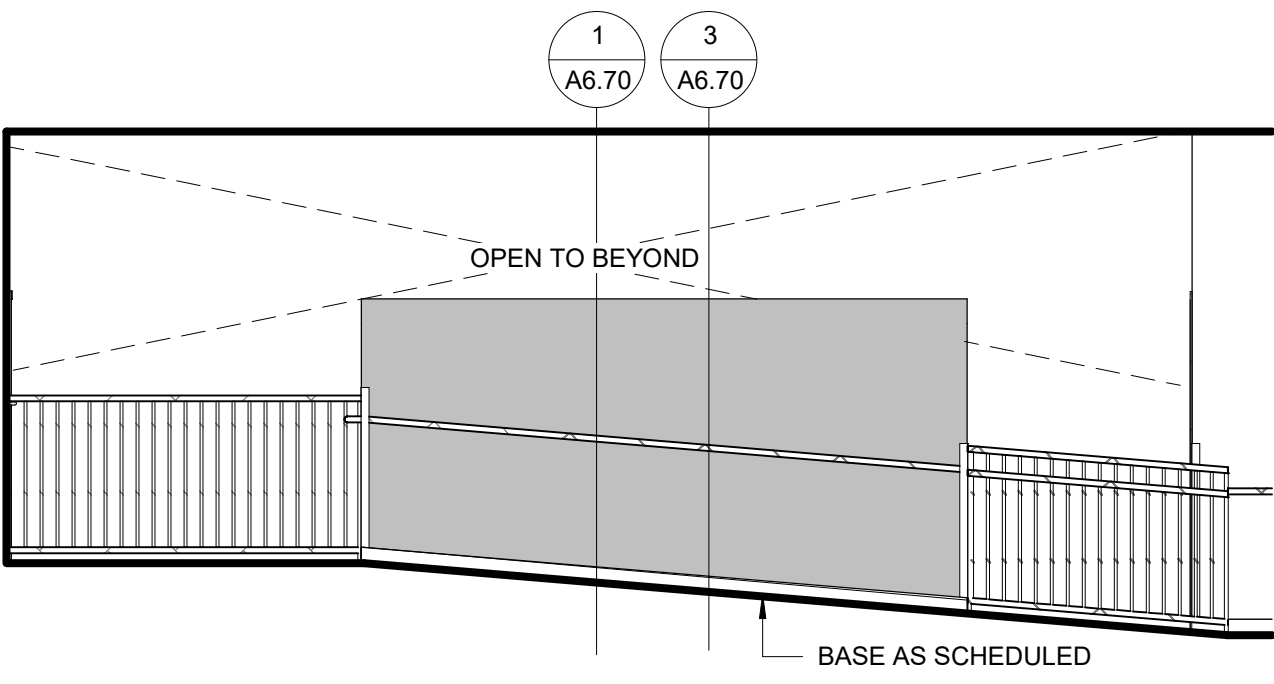
9 100 LAUNDRY - NORTH
1/4" = 1'-0"



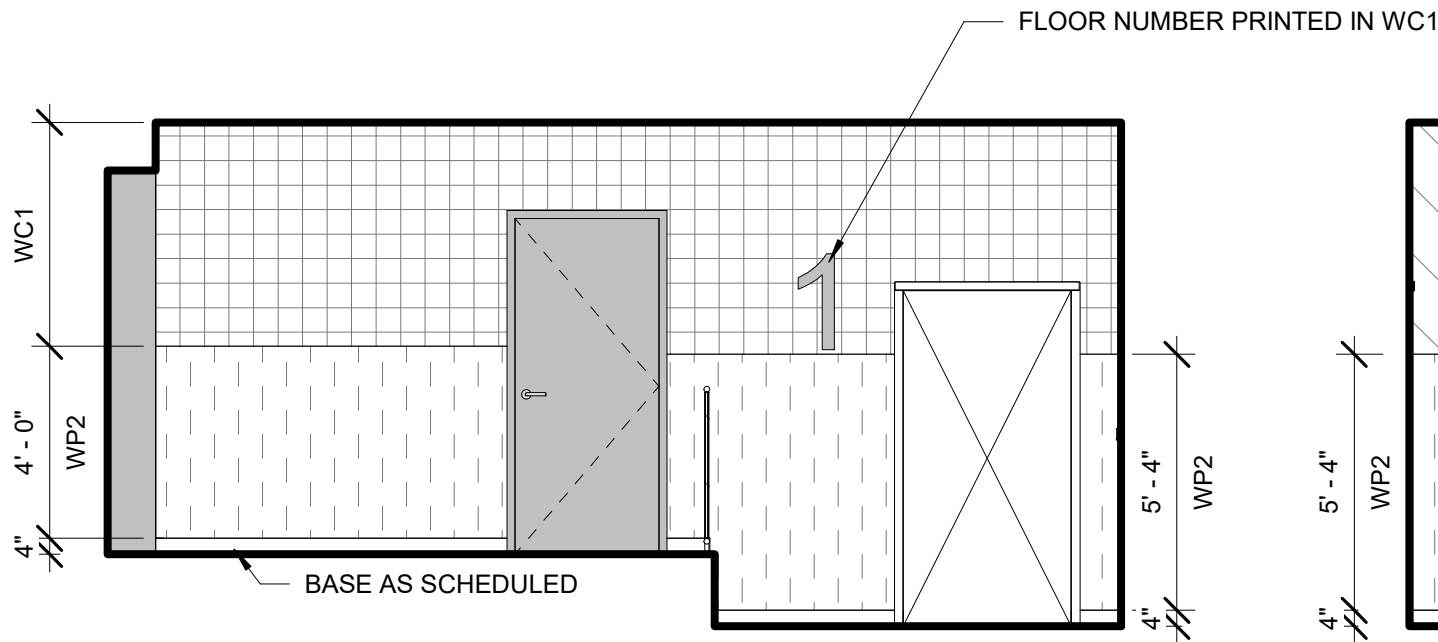
7 100V VESTIBULE - EAST
1/4" = 1'-0"



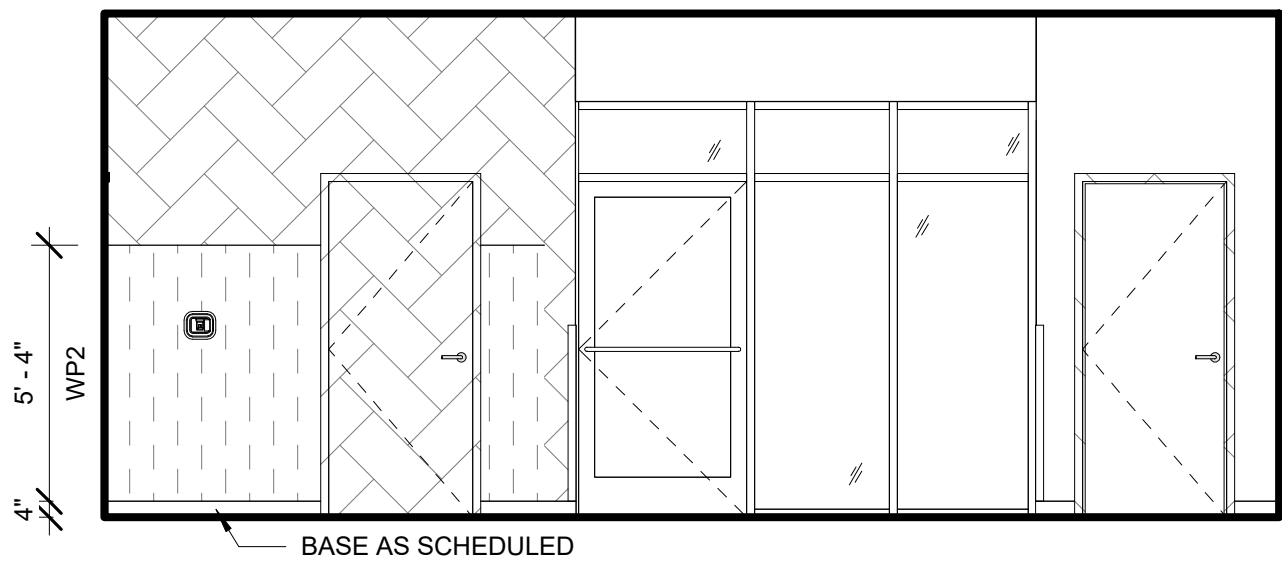
6 100V VESTIBULE - WEST
1/4" = 1'-0"



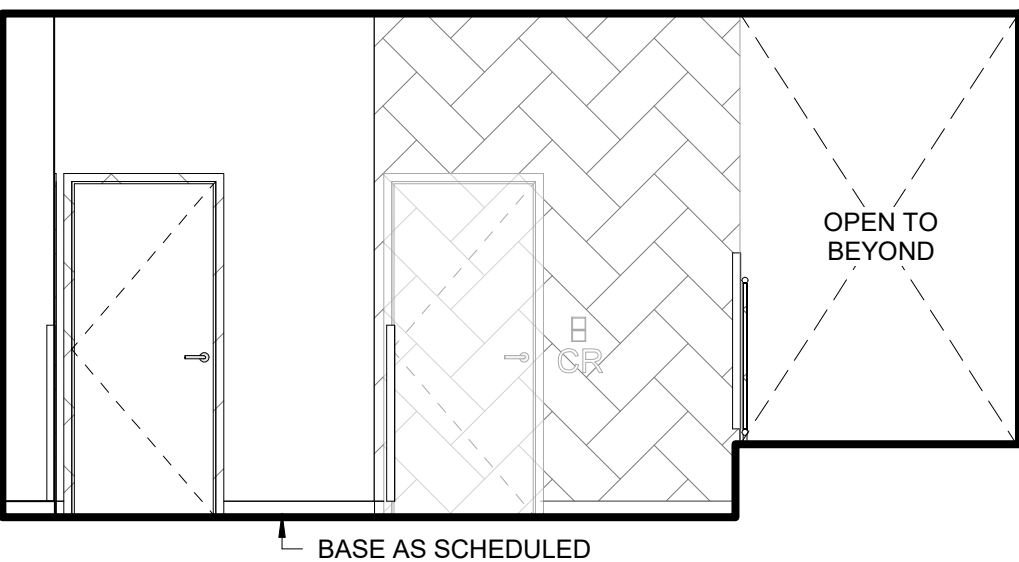
5 100 LOBBY - SOUTH (ON RAMP)
1/4" = 1'-0"



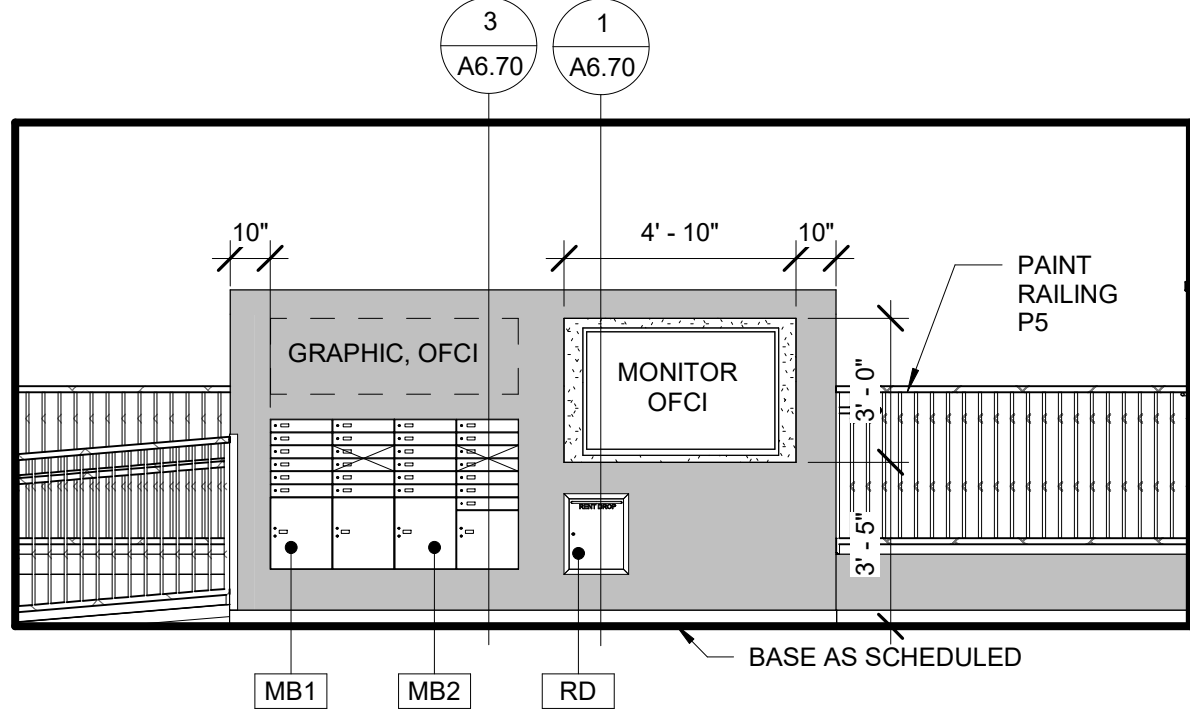
4 100 LOBBY - EAST
1/4" = 1'-0"



3 100 LOBBY - SOUTH
1/4" = 1'-0"



2 100 LOBBY - WEST
1/4" = 1'-0"



1 100 LOBBY - NORTH
1/4" = 1'-0"



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COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN CJF
REVIEWED DTW

SHEET NAME
INTERIOR ELEVATIONS

SHEET NO.
A8.01

REFER TO A8.00 FOR INTERIOR ELEVATION GENERAL NOTES AND LEGEND



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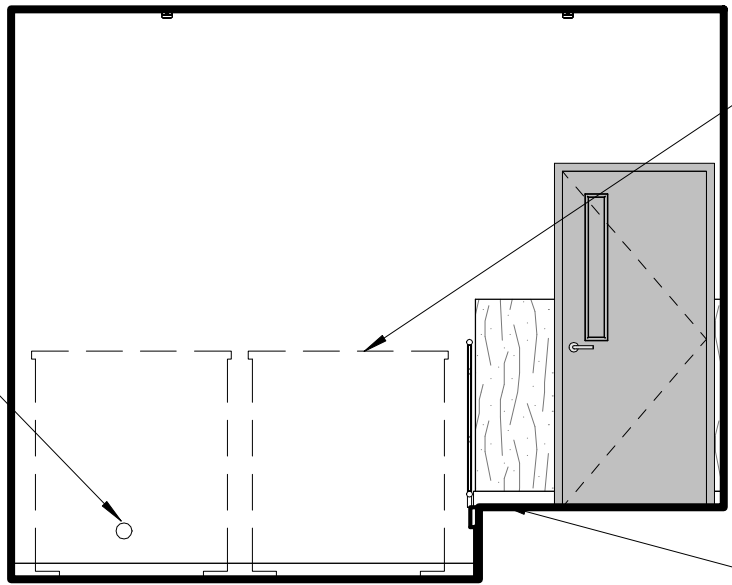
REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN CJF
REVIEWED DTW

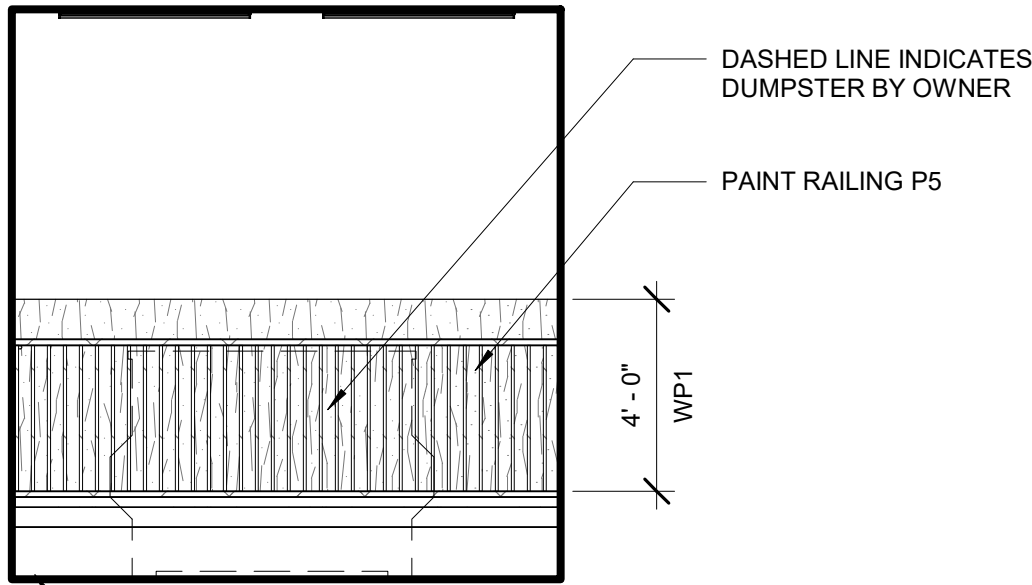
SHEET NAME
INTERIOR ELEVATIONS

SHEET NO.
A8.02

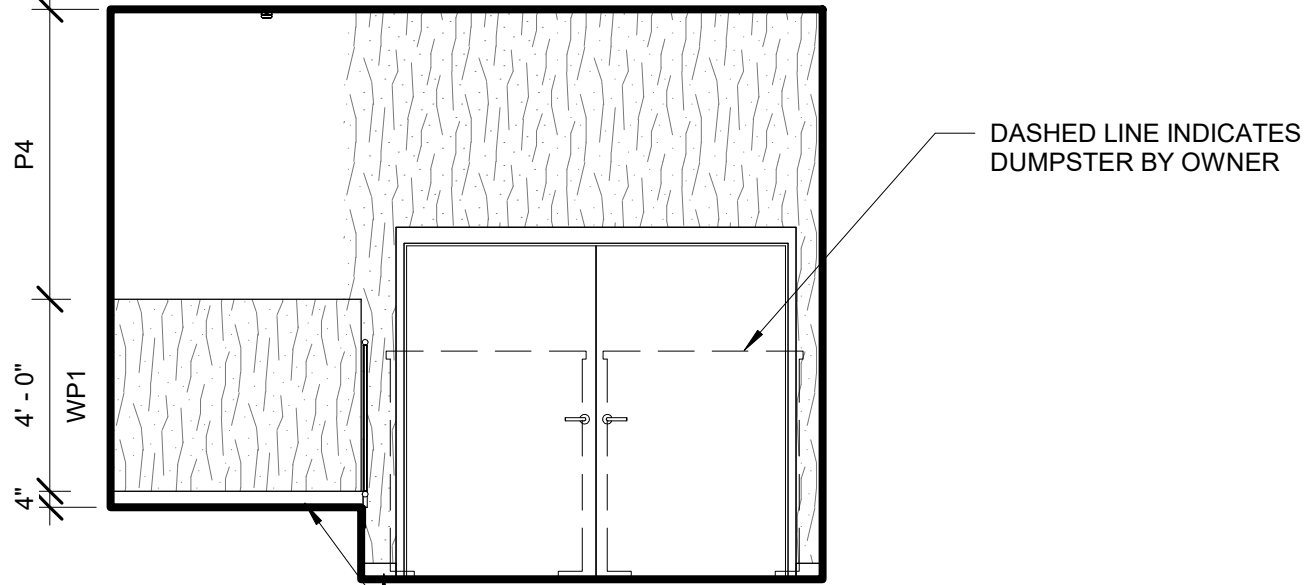
HALF SCALE WHEN PRINTED AT 11x17



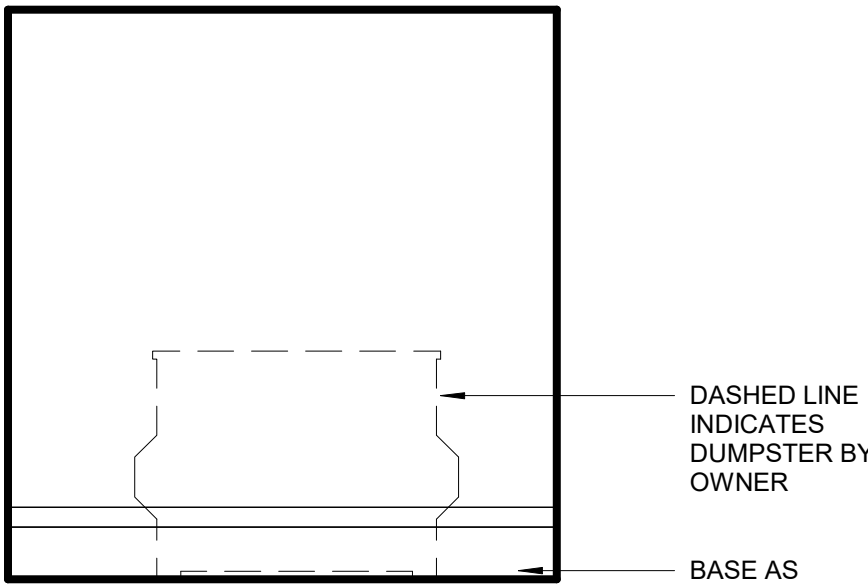
6 100R REFUSE COLLECTION - EAST
1/4" = 1'-0"



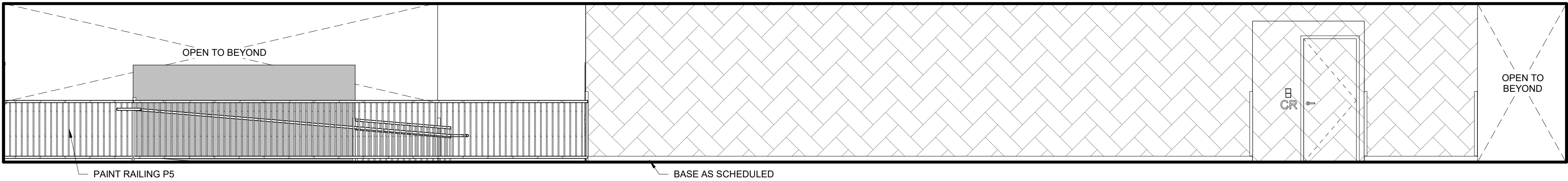
5 100R REFUSE COLLECTION - SOUTH
1/4" = 1'-0"



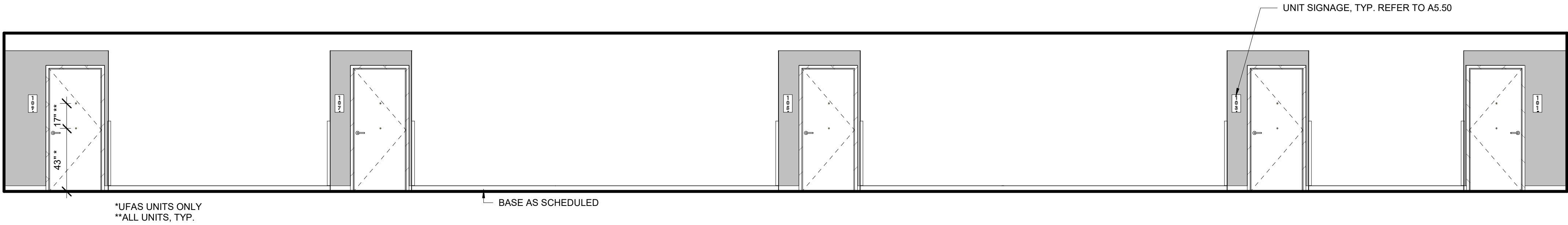
4 100R REFUSE COLLECTION - WEST
1/4" = 1'-0"



3 100R REFUSE COLLECTION - NORTH
1/4" = 1'-0"

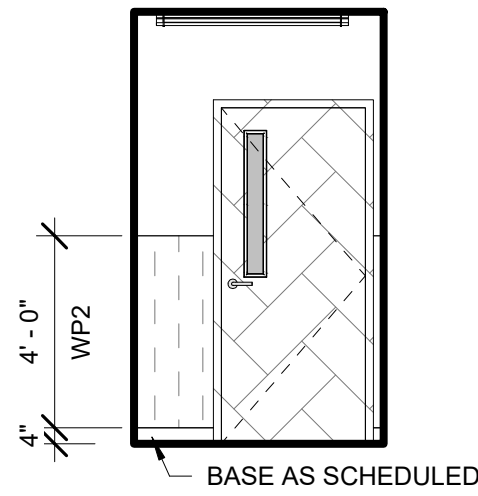


2 100C CIRCULATION - SOUTH
1/4" = 1'-0"

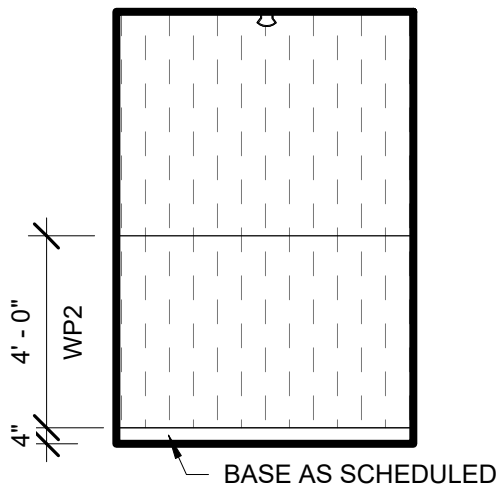


1 100C CIRCULATION - NORTH
1/4" = 1'-0"

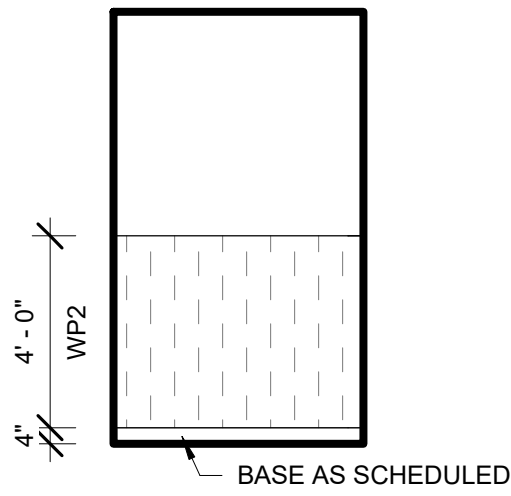
REFER TO A8.00 FOR INTERIOR ELEVATION GENERAL NOTES AND LEGEND



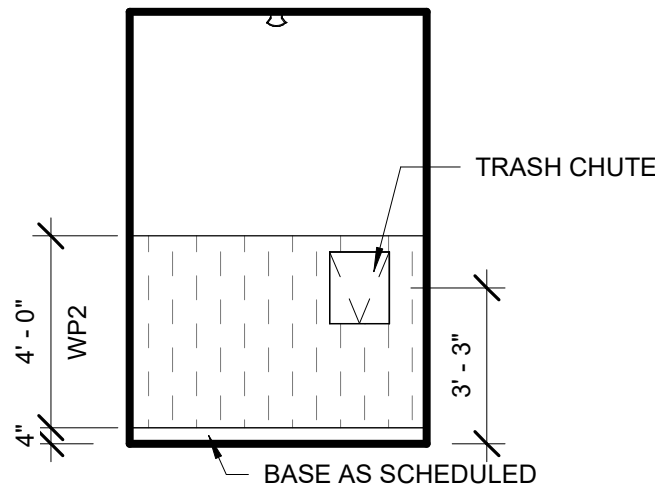
10 200R REFUSE - EAST (LEVEL 3 SIM)
1/4" = 1'-0"



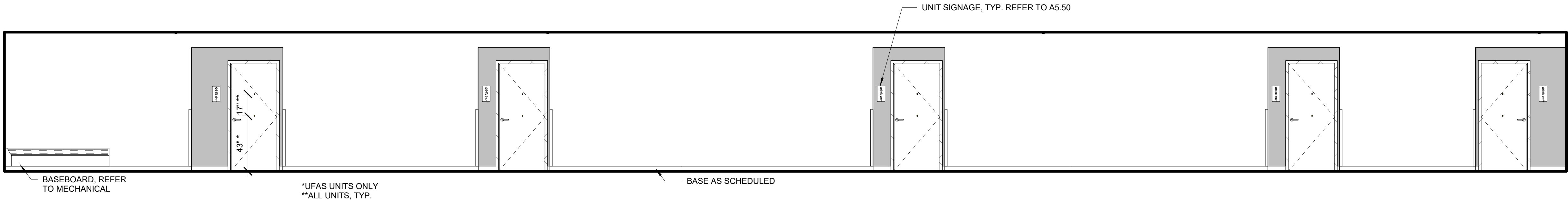
9 200R REFUSE - SOUTH (LEVEL 3 SIM)
1/4" = 1'-0"



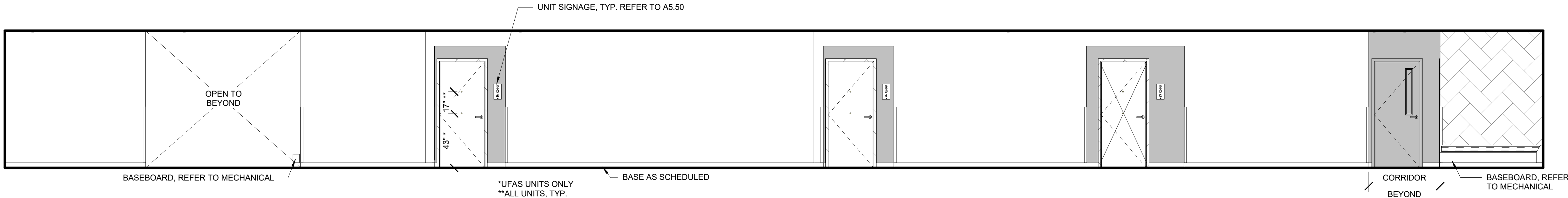
8 200R REFUSE - WEST (LEVEL 3 SIM)
1/4" = 1'-0"



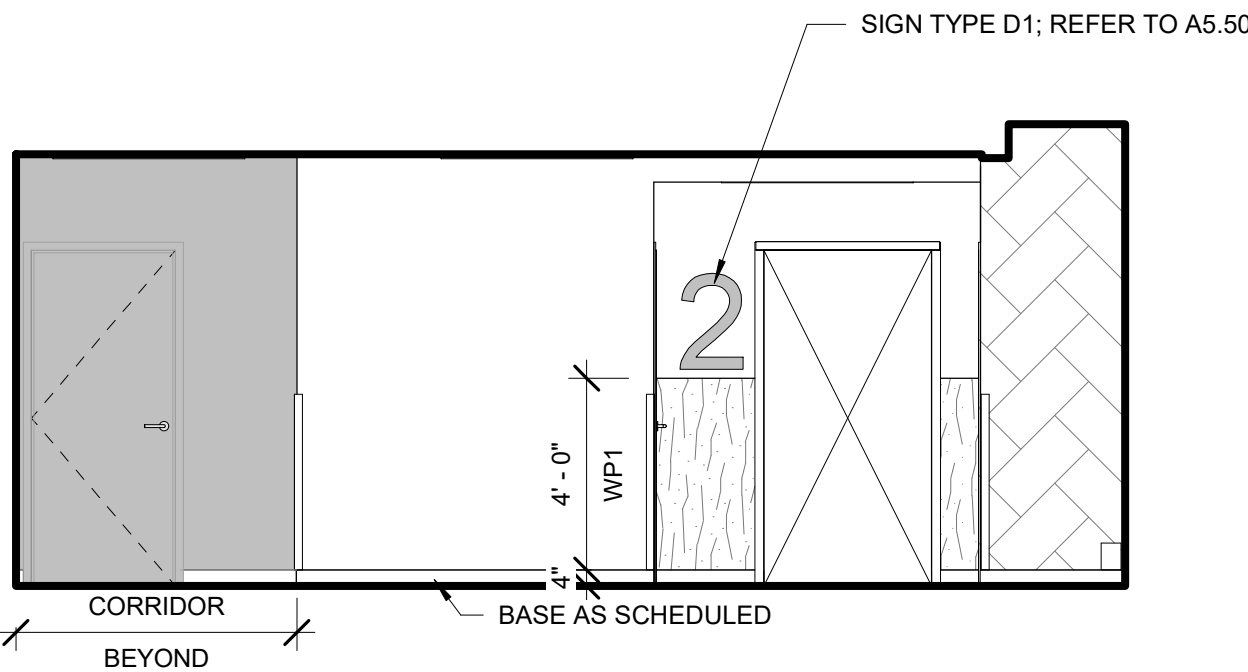
7 200R REFUSE - NORTH (LEVEL 3 SIM)
1/4" = 1'-0"



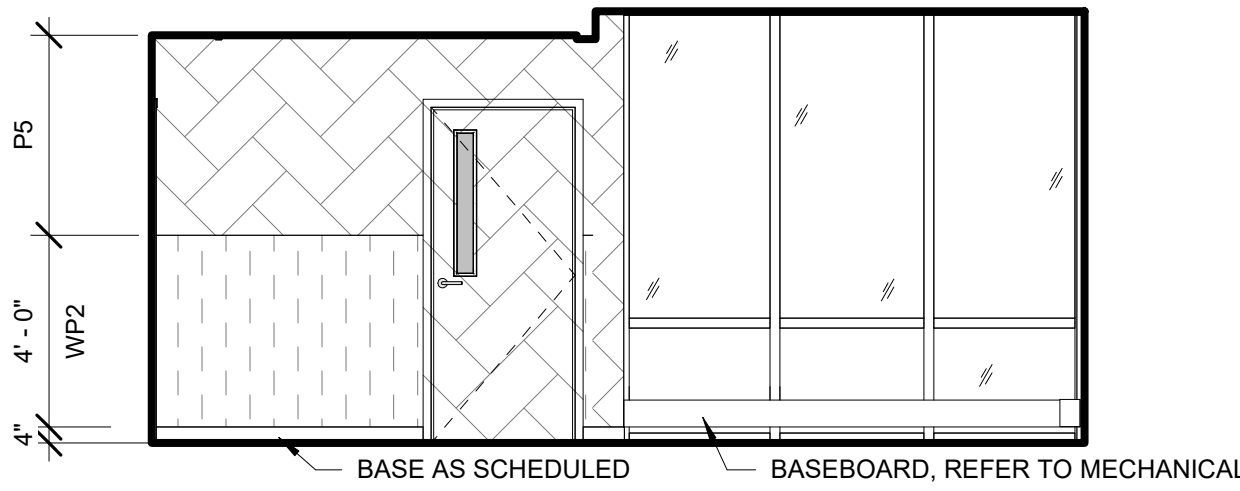
6 200C CIRCULATION - NORTH (300C SIM)
1/4" = 1'-0"



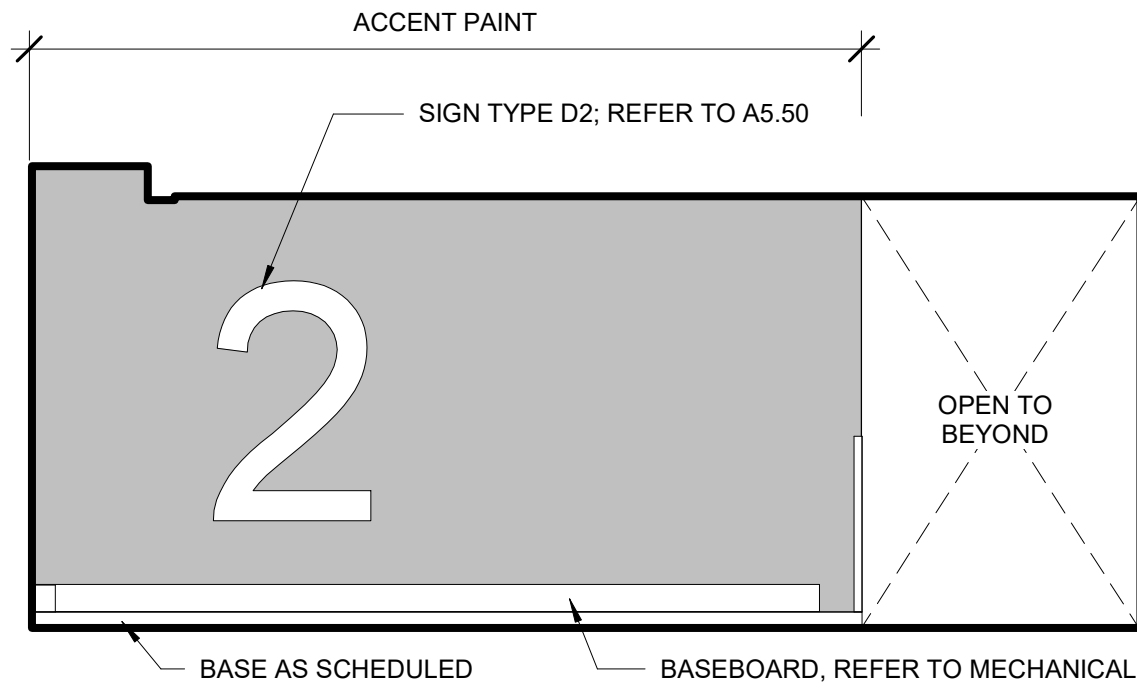
5 200C CIRCULATION - SOUTH (300C SIM)
1/4" = 1'-0"



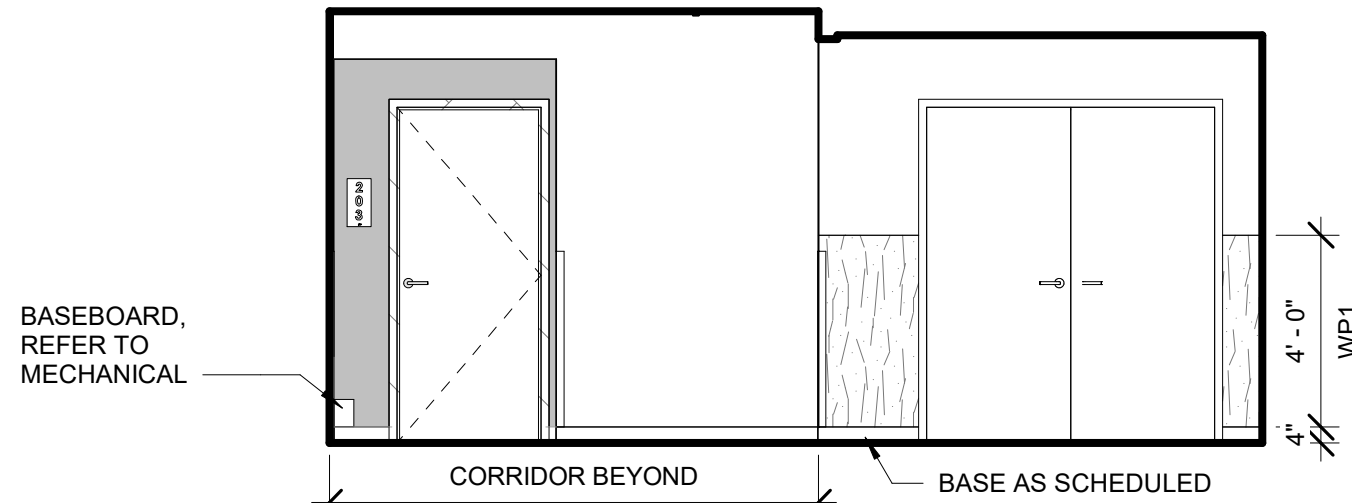
4 200L LOBBY - EAST (LEVEL 3 SIM)
1/4" = 1'-0"



3 200L LOBBY - SOUTH (LEVEL 3 SIM)
1/4" = 1'-0"



2 200L LOBBY - WEST (LEVEL 3 SIM)
1/4" = 1'-0"



1 200L LOBBY - NORTH (LEVEL 3 SIM)
1/4" = 1'-0"



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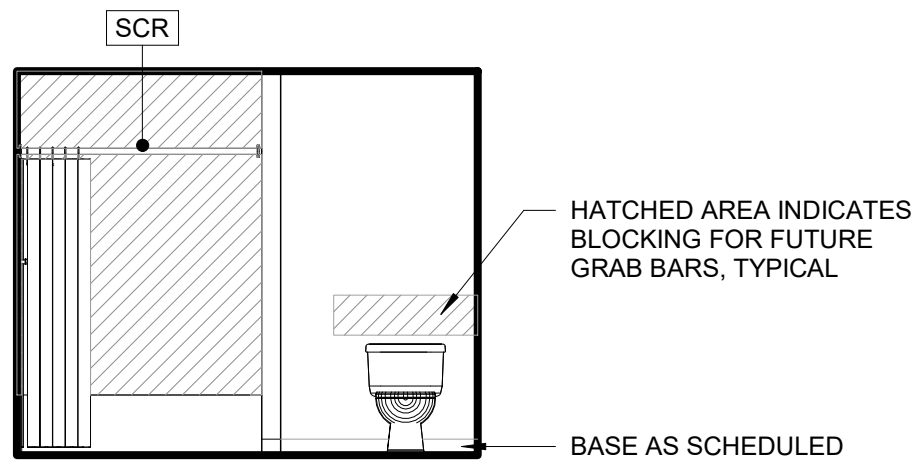
REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
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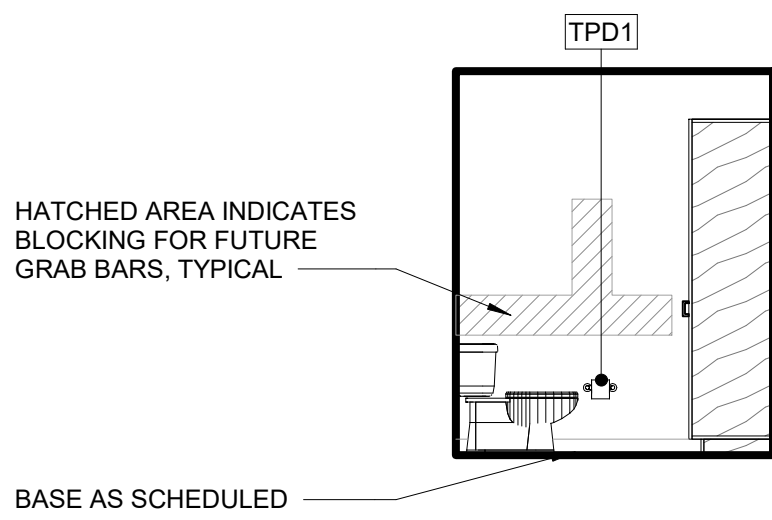
SHEET NAME
INTERIOR ELEVATIONS

SHEET NO.
A8.03

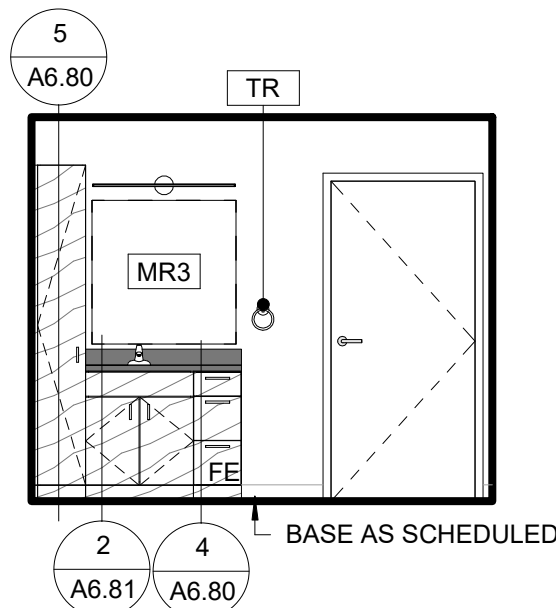
REFER TO A8.00 FOR INTERIOR ELEVATION GENERAL NOTES AND LEGEND



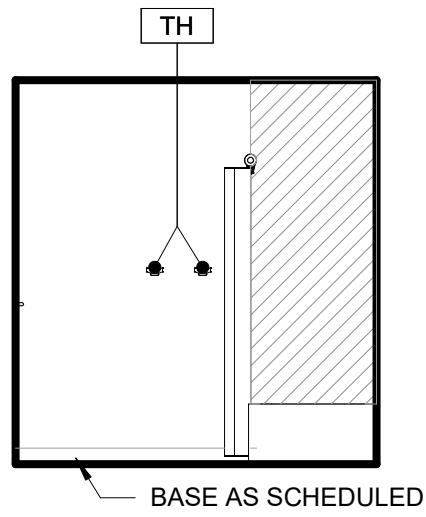
16 UNIT B - BATHROOM - EAST
1/4" = 1'-0"



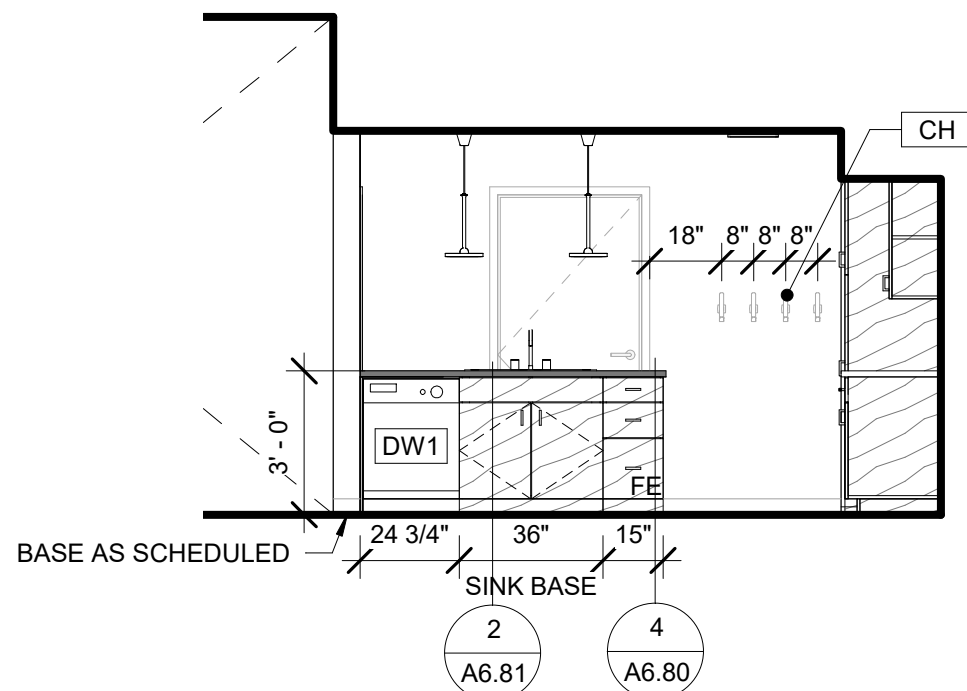
15 UNIT B - BATHROOM - SOUTH
1/4" = 1'-0"



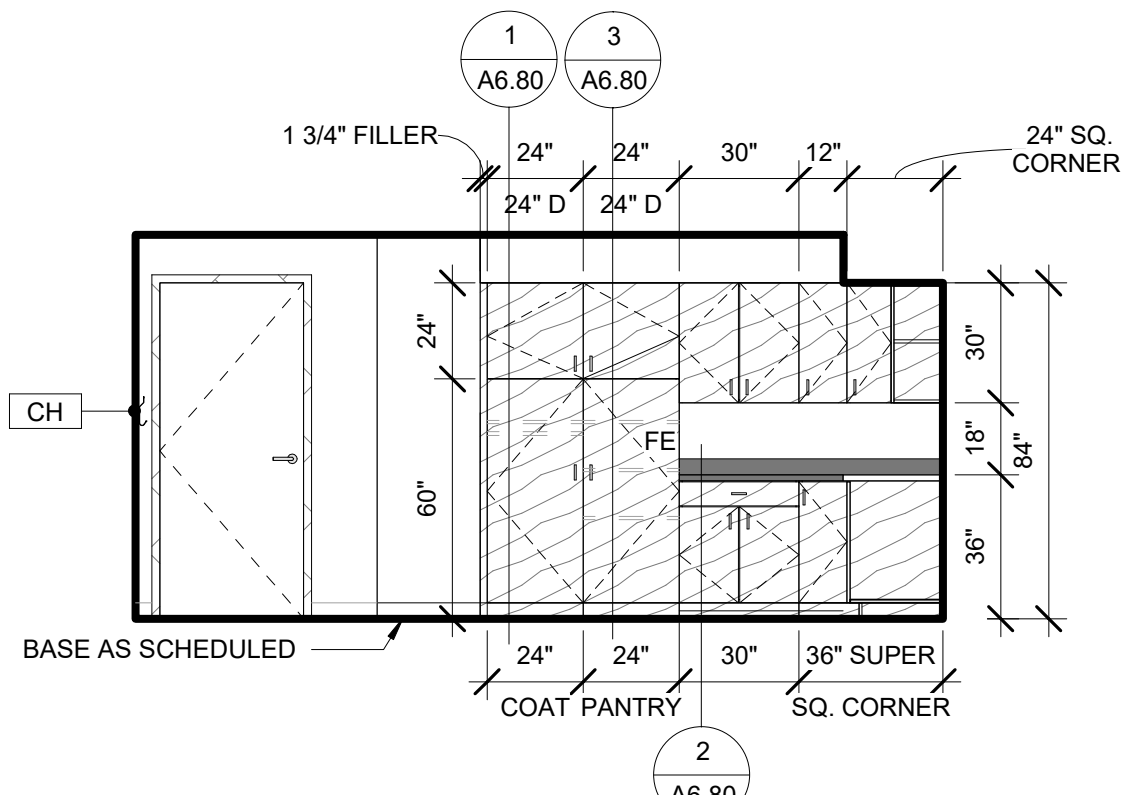
14 UNIT B - BATHROOM - WEST
1/4" = 1'-0"



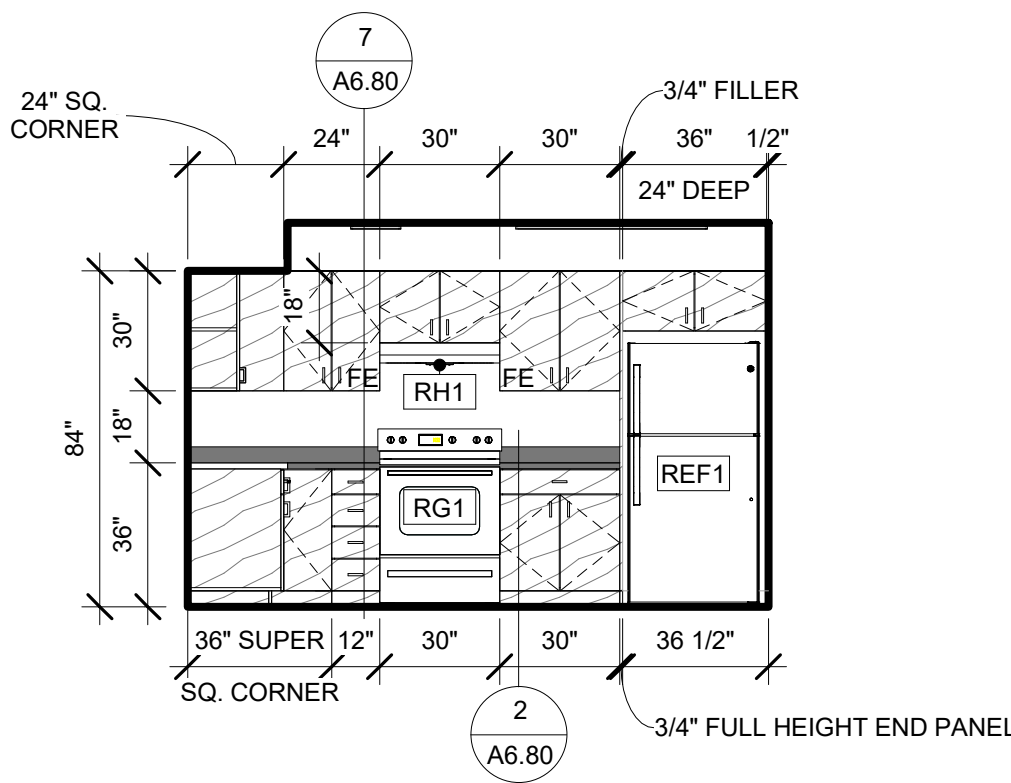
13 UNIT B - BATHROOM - NORTH
1/4" = 1'-0"



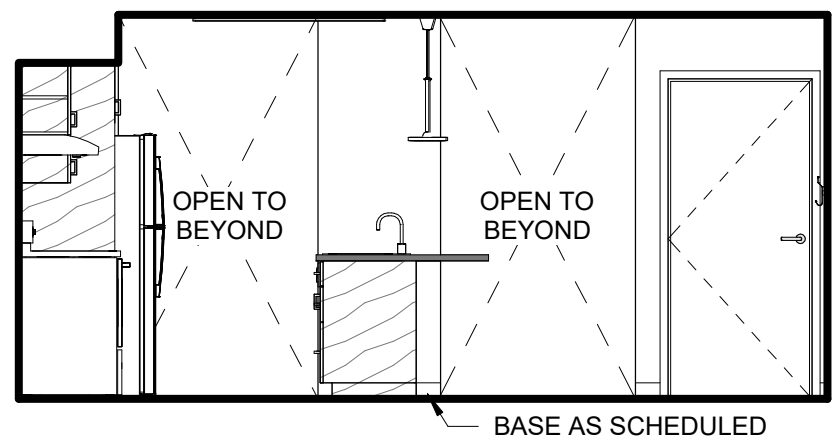
12 UNIT B - KITCHEN - EAST
1/4" = 1'-0"



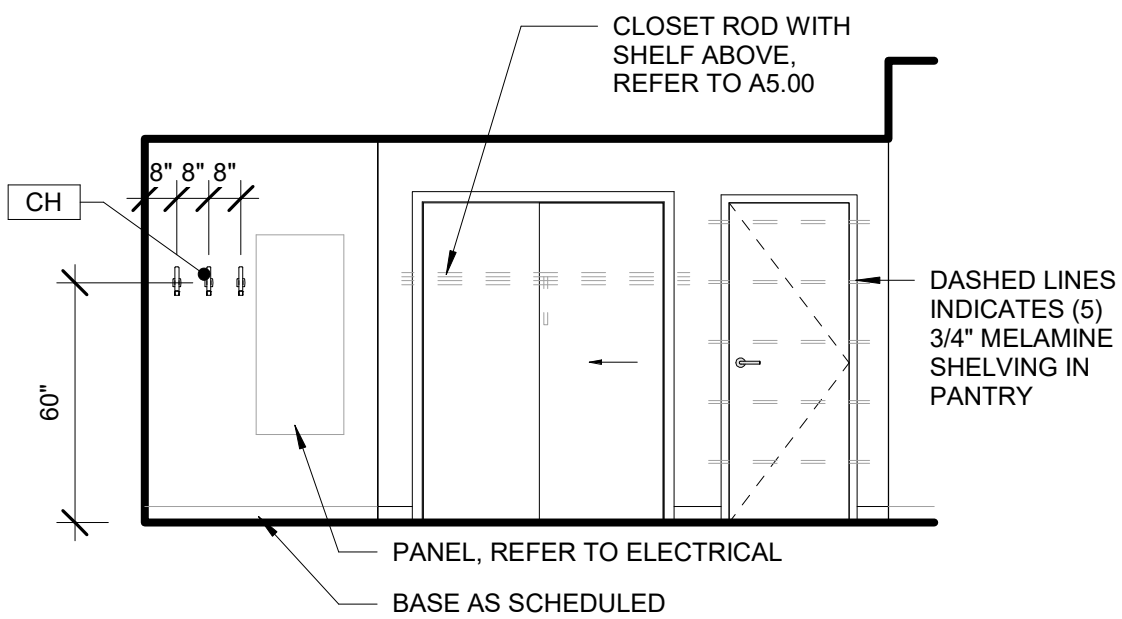
11 UNIT B - KITCHEN - SOUTH
1/4" = 1'-0"



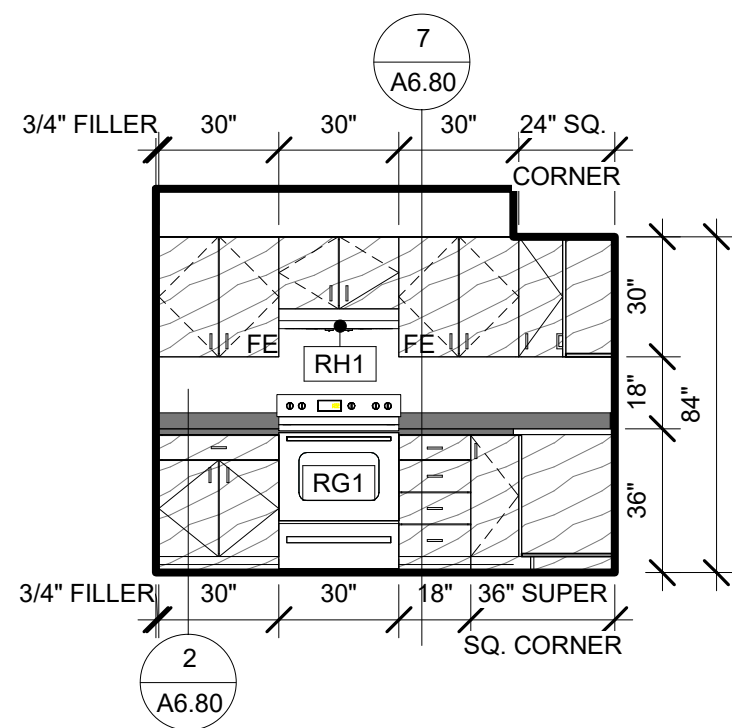
10 UNIT B - KITCHEN - WEST
1/4" = 1'-0"



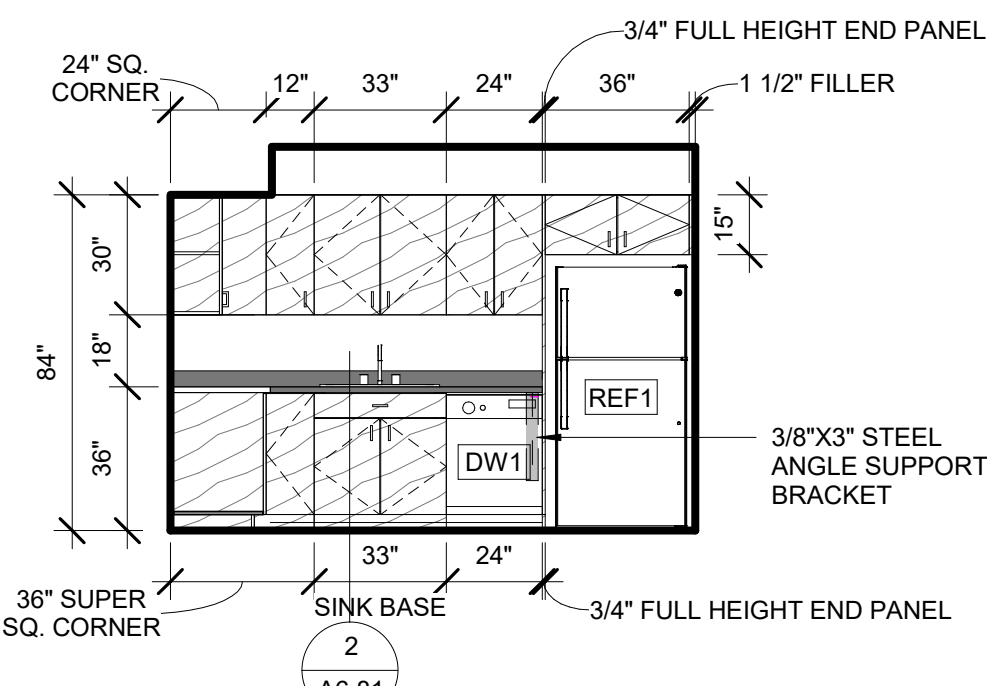
9 UNIT B - KITCHEN - NORTH
1/4" = 1'-0"



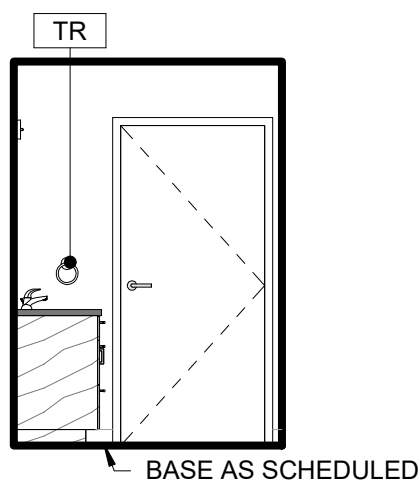
7 STUDIO A - KITCHEN - EAST
1/4" = 1'-0"



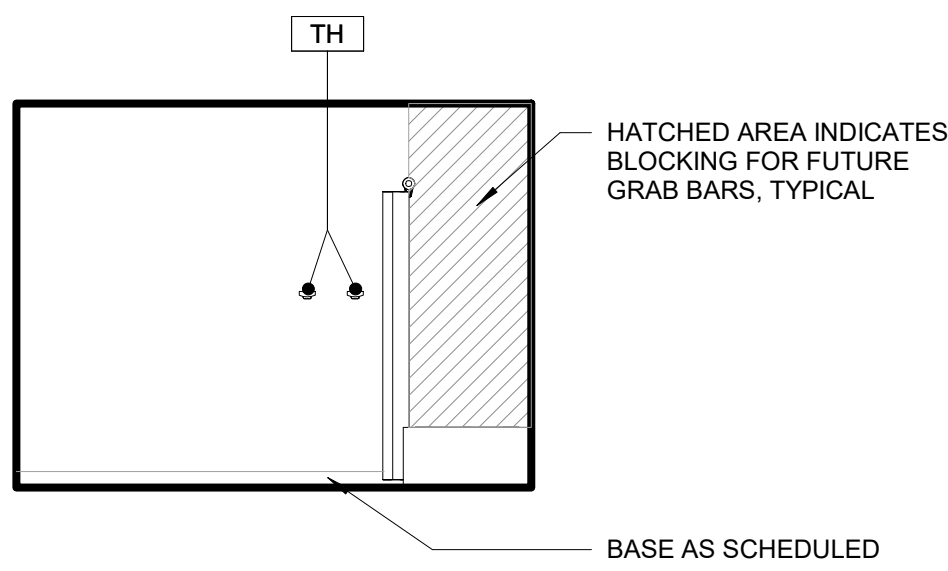
6 STUDIO A - KITCHEN - WEST
1/4" = 1'-0"



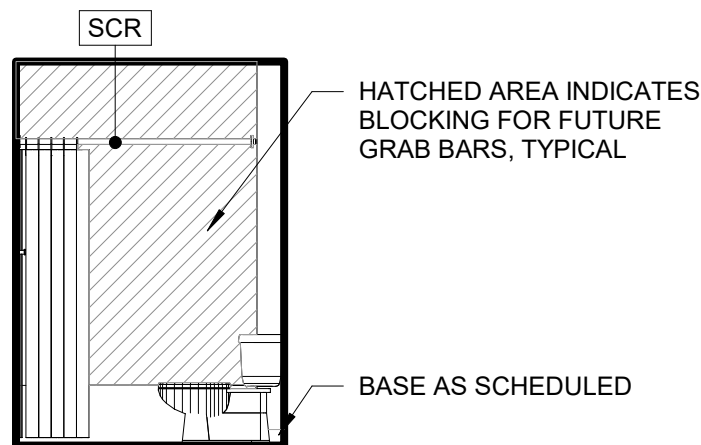
5 STUDIO A - KITCHEN - NORTH
1/4" = 1'-0"



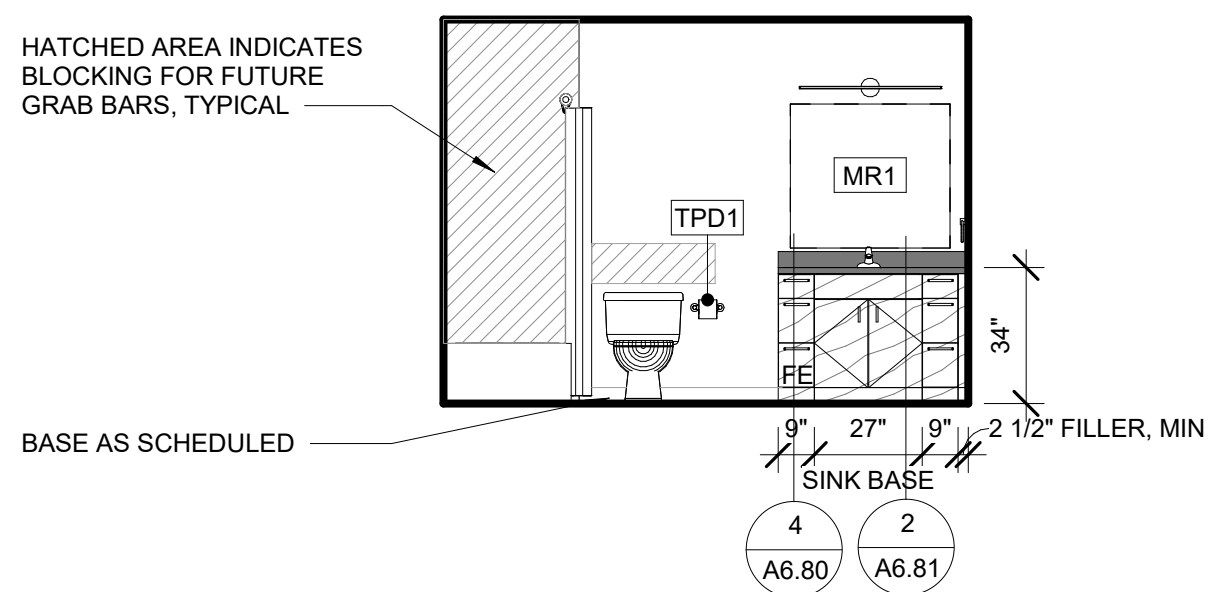
4 STUDIO A - BATHROOM - EAST
1/4" = 1'-0"



3 STUDIO A - BATHROOM - SOUTH
1/4" = 1'-0"



2 STUDIO A - BATHROOM - WEST
1/4" = 1'-0"



1 STUDIO A - BATHROOM - NORTH
1/4" = 1'-0"



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BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 22-018
DATE 2023.03.08
DRAWN CFJ
REVIEWED DTW

SHEET NAME
INTERIOR ELEVATIONS

SHEET NO.
A8.04



EXTERIOR - SOUTHEAST



EXTERIOR - NORTHWEST



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REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	22-018
DATE	2023.03.08
DRAWN	CJF
REVIEWED	DTW

SHEET NAME
RENDERINGS

SHEET NO.
A8.10



ENTRY - MAIL



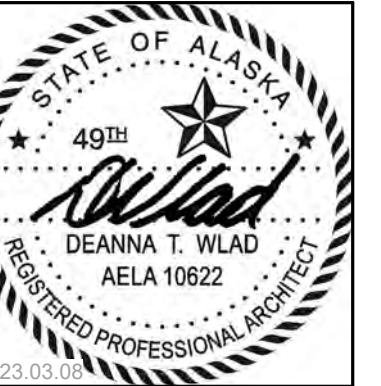
ENTRY - ELEVATOR LOBBY



HALLWAY



ELEVATOR LOBBY



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JOB NO. 22-018
DATE 2023.03.08
DRAWN CJF
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SHEET NAME
RENDERINGS

SHEET NO.
A8.11



UNIT B - KITCHEN



UNIT B - GREAT ROOM



UNIT A



UNIT C



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DRAWN CJF
REVIEWED DTW

SHEET NAME
RENDERINGS

SHEET NO.
A8.12

ABBREVIATIONS	
(E)	EXISTING
(N)	NEW
AB	ANCHOR BOLT
ACI	AMERICAN CONCRETE INSTITUTE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
AISI	AMERICAN IRON AND STEEL INSTITUTE
ALT	ALTERNATE
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS
ASD	ALLOWABLE STRESS DESIGN
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWPA	AMERICAN WOOD PROTECTION ASSOCIATION
AWS	AMERICAN WELDING SOCIETY
BM	BEAM
BOB	BOTTOM OF BEAM
BOD	BOTTOM OF DECK
BOF	BOTTOM OF FOUNDATION
BOS	BOTTOM OF STEEL
BOT	BOTTOM
C&C	COMPONENTS AND CLADDING
CFS	COLD-FORMED STEEL
CIP	CAST-IN-PLACE
CJ	CONTROL JOINT
CJP	COMPLETE JOINT PENETRATION
CL	CENTERLINE
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COMP	COMPRESSIVE
CONC	CONCRETE
CONN	CONNECTION
CONT	CONTINUOUS
CRSI	CONCRETE REINFORCING STEEL INSTITUTE
DET	DETAIL
DF	DOUGLAS-FIR
DIA	DIAMETER
DIM(S)	DIMENSION(S)
DL	DEAD LOAD
DN	DOWN
DWG(S)	DRAWING(S)
EA	EACH
EJ	EXPANSION JOINT
EQ	EQUAL
EQUIP	EQUIPMENT
ESR	EVALUATION SERVICE REPORT
EW	EACH WAY
FFE	FINISHED FLOOR ELEVATION
FPSF	FROST PROTECTED SHALLOW FOUNDATION
FS	FROST SUSCEPTIBLE
FT	FOOT OR FEET
FTG	FOOTING
GA	GAUGE
GALV	GALVANIZED
GB	GRADE BEAM
GLB	GLUE-LAMINATED BEAM
GP	GUSSET PLATE
GR	GRADE
GSN	GENERAL STRUCTURAL NOTES
HF	HEM-FIR
HOR	HORIZONTAL
HS	HIGH STRENGTH
HSS	HOLLOW STRUCTURAL SECTION
IBC	INTERNATIONAL BUILDING CODE
ICC	INTERNATIONAL CODE COUNCIL
ICF	INSULATED CONCRETE FORM
IEBC	INTERNATIONAL EXISTING BUILDING CODE
IN	INCH
JT	JOINT
K	KIP (1000 POUNDS)
KSI	KIPS PER SQUARE INCH
LBS	POUNDS
LL	LIVE LOAD
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LONG	LONGITUDINAL
LRFD	LOAD AND RESISTANCE FACTOR DESIGN
LSL	LAMINATED STRAND LUMBER

ABBREVIATIONS	
LVL	LAMINATED VENEER LUMBER
LWC	LIGHT WEIGHT CONCRETE
MAX	MAXIMUM
MCJ	MASONRY CONTROL JOINT
MECH	MECHANICAL
MIN	MINIMUM
MRF	MANUFACTURER
MT	MAGNETIC PARTICLE TESTING
N/A	NOT APPLICABLE
NDS	NATIONAL DESIGN SPECIFICATION
NFS	NON-FROST SUSCEPTIBLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NWC	NORMAL WEIGHT CONCRETE
OC	ON CENTER
OPP	OPPOSITE (MIRRORED)
PAF	POWDER ACTUATED FASTENER
PC	PILE CAP
PCC	PRECAST CONCRETE
PEMB	PRE-ENGINEERED METAL BUILDING
PJP	PARTIAL JOINT PENETRATION
PL	PLATE
PLF	POUNDS PER LINEAR FOOT
PREFAB	PREFABRICATED
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	POINT
QA	QUALITY ASSURANCE
QC	QUALITY CONTROL
R	RADIUS
REINF	REINFORCED/REINFORCING
RT	RADIOGRAPHIC TESTING
SC	SLIP CRITICAL
SCH	SCHEDULE
SDI	STEEL DECK INSTITUTE
SEC	SECOND
SECT	SECTION
SF	SQUARE FOOT
SHT	SHEET
SIM	SIMILAR
SIP	STRUCTURAL INSULATED PANEL
SLH	SHORT LEG HORIZONTAL
SLRS	SEISMIC LOAD RESISTING SYSTEM
SLV	SHORT LEG VERTICAL
SOG	SLAB ON GRADE
SP	SPACE
SPF	SPRUCE-PINE-FIR
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STIFF	STIFFENER
STL	STEEL
STR	STRUCTURAL
SUP	SUPPORT
SYM	SYMMETRICAL
T&B	TOP AND BOTTOM
TG	TRUSS GIRDER
THK	THICK OR THICKNESS
THRD	THREADED
TL	TOTAL LOAD
TOB	TOP OF BEAM
TOC	TOP OF CONCRETE
TOD	TOP OF DECK
TOF	TOP OF FOUNDATION
TOM	TOP OF MASONRY
TOP	TOP OF PLATE
TOS	TOP OF STEEL
TOW	TOP OF WALL
TRANS	TRANSVERSE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UT	ULTRASONIC TESTING
VERT	VERTICAL
VSC2	VERCO SIDELAP CONNECTION
W/	WITH
W/C	WATER-TO-CEMENT
W/O	WITHOUT
WP	WORKING POINT
WPS(S)	WELDING PROCEDURE SPECIFICATION(S)
WSP	WOOD STRUCTURAL PANEL
WWF	WELDED WIRE FABRIC

SYMBOLS	
	DETAIL CUT/CALLOUT
	SECTION CUT
	ELEVATION
	IMAGE REFERENCE
	KEYNOTE
	8" MASONRY WALL, UNO
	12" MASONRY WALL, UNO
	8" CONCRETE WALL, UNO
	STEEL STUD WALL, UNO
	WOOD STUD WALL, UNO
	COLD-FORMED STEEL SHEAR WALL SYMBOL
	WOOD SHEAR WALL SYMBOL
	SHEAR WALL CALLOUT WITH INDICATED LENGTH
	BEARING WALL LINE
	WALL CONTROL JOINT
	HOLDOWN (LOADING IN KIPS)
	DIRECTION OF SLOPE
	CHANGE IN ELEVATION OR SLAB DEPRESSION
	RIGID (MOMENT) CONNECTION
	BEAM SPLICE
	CIRCULAR OPENING IN BEAM
	RECTANGULAR OPENING IN BEAM WEB
	BRACED FRAME MEMBER
	NUMBER OF HEADED STUDS ON COMPOSITE STEEL BEAM
	TOP OF STEEL ELEVATION RELATIVE TO BOTTOM OF DECK ELEVATION
	DROPPED BEAM
	FLUSH BEAM
	INDICATES NUMBER OF ROWS OF BOLTS AT CONNECTION IF MORE THAN ONE ROW OF BOLTS OCCURS
	BEAM CAMBER SIZE
	SPOT ELEVATION
	CENTER LINE
	DIAMETER
	OPENING
	MECHANICAL EQUIPMENT
	SPAN DIRECTION
	REVISION SYMBOL

DESIGN CRITERIA			
DESIGN CODES AND STANDARDS			
IBC-18: INTERNATIONAL BUILDING CODE, WITH LOCAL AMENDMENTS			
ASCE/SEI 7-16: MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES			
ACI 318-14: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE			
NDS-2018: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION			
SDPWS-2015: SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC			
RISK CATEGORY			
DESIGN DEAD LOADS			
LOCATION	UNIFORM	CONCENTRATED	REMARKS
	PSF	LBS	
ROOFS, UNO	15	---	---
FLOORS, UNO	30	---	INCLUDES PARTITIONS
EXTERIOR WALLS, UNO	15	---	---
DESIGN LIVE LOADS			
LOCATION	UNIFORM	CONCENTRATED	REMARKS
	PSF	LBS	
ROOFS, UNO	20**	---	---
FLOORS, UNO	40*	2,000	---
LOBBIES & FIRST FLOOR COORIDORS	100*	2,000	---
STAIRS	100	300	---
LIGHT STORAGE	125	---	---
*REDUCIBLE			
**SNOW LOADS GOVERN			
DESIGN SNOW LOADS			
GROUND SNOW LOAD, Pg	50 PSF		
SNOW IMPORTANCE FACTOR, Is	1.0		
SNOW EXPOSURE FACTOR, Ce	1.0		
SNOW THERMAL FACTOR, Ct (WARM)	1.0		
SNOW THERMAL FACTOR, Ct (COLD)	1.2		
FLAT-ROOF SNOW LOAD, Pf (WARM)	40 PSF		
FLAT-ROOF SNOW LOAD, Pf (COLD)	42 PSF		
SNOW DRIFT LOAD	PER PLANS		
SNOW DRIFT WIDTH	PER PLANS		
DESIGN WIND LOADS			
ULTIMATE WIND SPEED, Vult	130 MPH		
NOMINAL WIND SPEED, Vasd	101 MPH		
WIND EXPOSURE	B		
INTERNAL PRESSURE COEFFICIENT	±0.18		
C&C EDGE AND CORNER DISTANCE, "a"	6.5 FT		
C&C PRESSURES (ULTIMATE):			
LOCATION	REGION	ZONE	10 SQFT***
ROOF	INTERIOR	1	-49.7 / 12.7
	EDGE	2	-65.6 / 12.7
	CORNER	3	-89.4 / 12.7
WALL	INTERIOR	4	-31.0 / 28.6
	CORNER	5	-38.1 / 28.6
100 SQFT***			
500 SQFT***			
-31.2 / 10.1			
-41.8 / 10.1			
-41.8 / 10.1			
-23.8 / 21.4			
-29.7 / 24.4			
-23.8 / 21.4			
***VALUES MAY BE LINEARLY INTERPOLATED			
DESIGN SEISMIC LOADS			
SEISMIC IMPORTANCE FACTOR, Ie	1.00		
SITE CLASS	D		
MAPPED SPECTRAL RESPONSE, Ss / S1	1.50g / 0.68g		
DESIGN SPECTRAL RESPONSE, SDS / SD1	1.00g / 0.68g		
SEISMIC DESIGN CATEGORY	D		
SEISMIC FORCE RESISTING SYSTEM	WOOD STRUCTURAL PANEL SHEAR WALLS		
ANALYSIS PROCEDURE	EQUIVALENT LATERAL FORCE		
RESPONSE MODIFICATION COEFFICIENT, R	6.5		
SEISMIC RESPONSE COEFFICIENT, Cs	0.154		
DESIGN BASE SHEAR (NOMINAL)	158 K		
EARTHWORK			
ALLOWABLE BEARING PRESSURE	4,000 PSF		
1/3 INCREASE FOR SHORT-TERM LOADS	YES		
ACTIVE EARTH PRESSURE	35 PSF/FT		
AT REST EARTH PRESSURE	55 PSF/FT		
PASSIVE EARTH PRESSURE	440 PSF/FT		
COEFFICIENT OF FRICTION, µ	0.4		
MIN FOOTING DEPTH BELOW FINISHED GRADE:			
HEATED	42 IN		
UNHEATED ON NFS SOILS	60 IN		
UNHEATED ON FS SOILS	120 IN		

MATERIALS & STRENGTH				
CONCRETE				
ITEMS	MIN COMP STRENGTH	MAX W/C RATIO	AIR ENTRAINMENT	SLUMP
EXTERIOR CONCRETE	4,000 PSI	0.45	6%, ±1%	1 - 3 IN
FOUNDATIONS	3,000 PSI	0.50	5%, ±1%	1 - 3 IN
SLAB ON GRADE	4,000 PSI	0.45	---	1 - 4 IN
STRUCTURAL STEEL				
ITEMS	ASTM	GRADE	MIN YIELD STRESS, Fy	REMARKS
WIDE-FLANGE	A992	---	50 KSI	---
SQUARE HSS	A500	C	50 KSI	---
PLATES, UNO	A36	---	36 KSI	---
BASE PLATES	A572	---	50 KSI	---
THREADED RODS	A36	---	36 KSI	---
COMMON BOLTS	A307	A	---	---
HIGH STRENGTH BOLTS	A325	---	---	---
WASHERS	F436	---	---	---
NUTS	A563	---	---	---
ANCHOR RODS	F1554	55	---	---
NON-SHRINK GROUT				
ITEMS	MIN COMP STRENGTH	PRODUCT		SLUMP
DRYPACK	5,000 PSI	FIVE STAR, SIKA 212 OR EQUIVALENT		---
REINFORCING STEEL				
ITEMS	ASTM	GRADE	MIN YIELD STRESS, Fy	REMARKS
REBAR, #3	A615	40	40 KSI	---
REBAR, #4 - #9	A615	60	60 KSI	---
WOOD				
ITEMS	SIZE	SPECIES	GRADE	SPACING
STUDS	2x4	HF	STUD	PER PLANS
	2x6 OR LARGER	HF	#2	PER PLANS
JOISTS	2x4	HF	STUD	---
	2x6 OR LARGER	HF	#2	---
POSTS	2x4	HF	#2	---
	6x6 OR LARGER	DF	#1	---
BEAMS	---	DF	#2	---
LINTELS	---	DF	#2	---
LEDGERS	---	DF	#2	---
PLATES	---	DF	#2	---
BLOCKING	---	HF	#2	---
ENGINEERED LUMBER				
ITEMS	TYPE		MANUFACTURER	REMARKS
LAMINATED VENEER LUMBER (BEAMS)	VERSA-LAM 2.1E 3100 WEST		BOISE CASCADE OR APPROVED EQUIVALENT	ICC ESR-1040
LAMINATED VENEER LUMBER (STUDS)	VERSA-STUD 1.7 2400		BOISE CASCADE OR APPROVED EQUIVALENT	ICC ESR-1040
RIMBOARD/FLOOR BLOCKING	1-5/16" VERSA-LAM 1.5 1800		BOISE CASCADE OR APPROVED EQUIVALENT	ICC ESR-1040
I-SERIES JOISTS	PER PLANS		BOISE CASCADE OR APPROVED EQUIVALENT	---
GLUED-LAMINATED BEAM	24F-V4 (SINGLE SPAN) 24F-V8 (CANTILEVER)		BOISE CASCADE OR APPROVED EQUIVALENT	---
PLYWOOD SHEATHING				
ITEMS	THICKNESS	SPAN/INDEX RATIO	EDGE ATTACHMENT	FIELD ATTACHMENT
ROOF	5/8"	32/16	10d AT 6" OC	10d AT 12" OC
FLOOR*	3/4" T&G	48/24	10d AT 6" OC	10d AT 10" OC
WALL**	7/16"	24/0	8d AT 6" OC	8d AT 12" OC
*USE RING SHANK NAILS AND GLUE SHEATHING TO FRAMING WITH AN APA AFG-01 QUALIFIED GLUE.				
**AT SHEAR WALL SEE SHEAR WALL SCHEDULE FOR SHEATHING THICKNESS AND ATTACHMENT.				
POST INSTALLED ANCHORS				
ITEMS	BASE MATERIAL	CONNECTOR	PRODUCT	REMARKS
EPOXY ANCHOR	CONCRETE	THREADED ROD	HIT-HY 200-R ADHESIVE (HILTI)	ICC ESR-3187
			HIT-RE 500 V3 ADHESIVE (HILTI)	ICC ESR-3814
			AC200+ ADHESIVE (DEWALT)	ICC ESR-4027
			PURE110+ ADHESIVE (DEWALT)	ICC ESR-3298
			EPCON G5 ADHESIVE (ITW RED HEAD)	ICC ESR-1137
			SET-XP ADHESIVE (SIMPSON)	ICC ESR-2508
EXPANSION ANCHOR	CONCRETE	---	KWIK BOLT TZ (HILTI)	ICC ESR-1917
		---	POWER-STUD+ SD2 (DEWALT)	ICC ESR-2502
		---	TRUBOLT+ (ITW RED HEAD)	ICC ESR-2427
		---	STRONG-BOLT 2 (SIMPSON)	ICC ESR-3037
SCREW ANCHOR	CONCRETE	---	KWIK HUS-EZ (HILTI)	ICC ESR-3027
		---	SCREW-BOLT+ (DEWALT)	ICC ESR-3889
			TITEN HD (SIMPSON)	ICC ESR-2713

GENERAL STRUCTURAL NOTES
(APPLY UNLESS NOTED OTHERWISE)

GENERAL

THE STRUCTURAL ENGINEER AND/OR ARCHITECT HAVE NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATED TO THE CONTRACTOR'S SAFETY PRECAUTIONS OR TO MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR THE CONTRACTOR TO PERFORM HIS WORK. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ENGINEER SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION NOR MAKE THEM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS OR THEIR EMPLOYEES, OR FOR ACCESS, VISITS, USE, WORK, TRAVEL OR OCCUPANCY BY ANY PERSON.

DRAWINGS INDICATE STRUCTURE IN FINAL FORM CAPABLE OF SUPPORTING DESIGN LOADS. PROVIDE TEMPORARY SUPPORT DURING CONSTRUCTION AS REQUIRED, UNTIL STRUCTURAL ELEMENTS ARE PERMANENTLY INSTALLED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES AND SEQUENCES OF PROCEDURES REQUIRED TO PERFORM THE WORK.

THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE STRUCTURAL ENGINEER IN WRITING OF ANY CONDITION WHICH IN THEIR OPINION MAY ENDANGER THE STABILITY OF THE STRUCTURE OR DISTRESS THE STRUCTURE.

CONSTRUCTION MATERIALS SHALL BE DISTRIBUTED APPROPRIATELY IF PLACED ON FRAMED CONSTRUCTION. LOADS SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.

DO NOT SCALE DRAWINGS.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IN WRITING OF ANY DISCREPANCIES.

COORDINATE DIMENSIONS, OPENINGS, EMBEDDED ITEMS AND CONDITIONS WITH ARCHITECTURAL, CIVIL, MECHANICAL AND ELECTRICAL CONTRACT DOCUMENTS AND TRADES PRIOR TO CONSTRUCTION. NOT ALL ITEMS ARE INDICATED ON STRUCTURAL CONTRACT DOCUMENTS. NOTIFY STRUCTURAL ENGINEER IN WRITING OF ANY AND ALL DISCREPANCIES.

ALL DETAILS ARE TYPICAL. INCORPORATE INTO PROJECT AT APPROPRIATE LOCATIONS WHETHER SPECIFICALLY INDICATED OR NOT.

SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE THE NOTES, DRAWINGS, AND/OR SPECIFICATIONS DIFFER, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.

REFER TO ARCHITECTURAL AND CIVIL DRAWINGS FOR EXTERIOR SLABS AND WALLS.

NOTIFY STRUCTURAL ENGINEER OF ALL FIELD CHANGES PRIOR TO INSTALLATION.

THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF RED-LINE DRAWINGS ON SITE REFLECTING ALL DESIGN CHANGES TO THE ORIGINAL CONTRACT DOCUMENTS.

FOUNDATIONS AND EARTHWORK

REFERENCE GEOTECHNICAL REPORT NO. 6509-22, BY NORTHERN GEOTECHNICAL ENGINEERING, INC. DATED NOVEMBER 2022 FOR FOUNDATION AND EXCAVATION INFORMATION.

REMOVE TOPSOIL, ORGANIC MATERIAL AND DEBRIS FROM BUILDING FOOTPRINT.

FOOTINGS AND SLABS ON GRADE SHALL BEAR ON ENGINEERED SOIL PER CIVIL DRAWINGS.

SCARIFY SUBGRADE AND RECOMPACT TOP 6" OF SOIL BENEATH ENGINEERED SOIL.

SOIL COMPACTION REQUIREMENTS:	
BELOW FOOTINGS	95%
BELOW SLABS AND PAVEMENT	95%
UNPAVED AREAS	90%
MAXIMUM LIFT	8" LOOSE DEPTH

DO NOT EXCEED 1'-0" DIFFERENTIAL IN FILL LEVEL ON OPPOSITE SIDES OF FOUNDATION WALLS.

PROVIDE WATERPROOFING ON ALL EXTERIOR SURFACES AS SPECIFIED IN THE ARCHITECTURAL CONTRACT DOCUMENTS.

PROVIDE POSITIVE DRAINAGE SLOPES, BOTH DURING AND AFTER CONSTRUCTION, FOR SURFACE AND ROOF RUNOFF, MINIMUM 10'-0" FROM BUILDING FOUNDATIONS.

ALL CONTINUOUS FOOTINGS SHALL BE CENTERED ON THE WALL UNO. ALL SPREAD FOOTINGS ARE CENTERED ON COLUMNS OR GRIDS UNO.

FROST PROTECTED SHALLOW FOUNDATIONS (FPSF) RIGID INSULATION SHALL BE EXTRUDED POLYSTYRENE WITH A MINIMUM COMPRESSIVE STRENGTH OF 40 PSI AT NO MORE THAN 5% STRAIN AND A MAXIMUM MATER ABSORPTION OF 0.3 PERCENT BY VOLUME. HORIZONTAL INSULATION SHALL BE AT LEAST TWO LAYERS WITH EDGES FIRMLY BUTTED AND JOINTS STAGGERED BETWEEN LAYERS.

THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR ANY GEOTECHNICAL ASPECTS OF THIS PROJECT. THE OWNER SHALL EMPLOY A REGISTERED GEOTECHNICAL ENGINEER TO PERFORM NECESSARY EARTHWORK INSPECTIONS, TESTING AND QUALITY CONTROL, AS REQUIRED.

REINFORCED CAST IN PLACE CONCRETE

DETAILING PER APPLICABLE ACI DETAILING MANUAL, UNO.

SIZE, SPACING AND MINIMUM LAP SPLICES OF REINFORCING STEEL SHALL BE PROVIDED AS SHOWN IN CONTRACT DOCUMENTS.

REINFORCEMENT SPACINGS INDICATED ON THE DRAWINGS AND DETAILS ARE GIVEN AS A MAXIMUM ON CENTER.

CONTRACTOR SHALL ACCURATELY PLACE, LOCATE, SECURE AND/OR SUPPORT ALL REINFORCING BARS, ANCHOR BOLTS/RODS, AND EMBEDDED ITEMS PRIOR TO PLACING CONCRETE. CONTRACTOR SHALL USE GALVANIZED METAL CHAIRS, SPACERS, DOBIES OR HANGERS FOR THE CLEAR CONCRETE COVERAGES.

MINIMUM CONCRETE COVER, UNO:
CONCRETE CAST AGAINST AND EXPOSED TO EARTH: 3"

CONCRETE EXPOSED TO EARTH OR WEATHER: 1-1/2" (#5 AND SMALLER)
2" (#6 AND LARGER)

SLABS AND WALLS: 3/4" (#11 AND SMALLER)

TACK WELDING OF REINFORCING BARS SHALL NOT BE ALLOWED WITHOUT PRIOR REVIEW OF THE PROCEDURE WITH THE STRUCTURAL ENGINEER.

SPLICE HORIZONTAL REINFORCING AT CORNERS AND INTERSECTIONS. PROVIDE (1) VERTICAL BAR (MATCH VERTICAL WALL REINFORCING SIZE) AT ALL WALL CORNERS, INTERSECTIONS AND ENDS, UNO.

FABRICATE SLEEVES FOR UTILITY LINES THROUGH BEAMS AND ELEVATED SLABS WITH STANDARD WEIGHT STEEL PIPE, UNO. NO LONGITUDINAL SLEEVES PERMITTED THROUGH BEAMS OR COLUMNS.

PLACE ELECTRICAL CONDUIT NEAR THE CENTER OF SLAB AND WALLS.

REINFORCING HOOPS SHALL BE PROVIDED WITH CLASS B BAR LAPS REQUIRED FOR THE SPECIFIC BAR SIZE.

CHAMFER EXPOSED CORNERS ¾" UNO.

WATERSTOPS TO BE INSTALLED AT JOINTS BELOW GRADE AT EXTERIOR BASEMENT WALLS.

DO NOT DROP CONCRETE MORE THAN FIVE FEET WITHOUT THE USE OF TREMIES.

MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED.

ALL CONCRETE SLABS ON GRADE SHALL BE BOUND BY CONTROL JOINTS (KEYED OR SAW CUT), SUCH THAT THE JOINT SPACING DOES NOT EXCEED 36 TIMES THE SLAB THICKNESS AND THE ASPECT RATIO OF THE ENCLOSED AREA DOES NOT EXCEED 1.5 TO 1.0. SAW CUTS SHALL BE 1/8" WIDE AND ¼ TIMES THE SLAB THICKNESS IN DEPTH.

STRUCTURAL STEEL

ALL STRUCTURAL STEEL CONSTRUCTION SHALL CONFORM WITH APPLICABLE AISC HANDBOOK.

BEAMS, COLUMNS AND BRACES SHALL NOT BE SPLICED WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ERECTION AIDS INCLUDING ERECTION ANGLES AND LIFT HOLES.

ALL BEAMS SHALL BE ERECTED WITH NATURAL OR INDUCED CAMBER UPWARDS. CAMBER INDICATED ON CONTRACT DOCUMENT SHALL BE DELIVERED TO THE JOB SITE. CONTRACTOR SHALL CONSIDER CAMBER LOSS DUE TO SHIPPING AND HANDLING.

ALL STEEL TO STEEL BOLTED CONNECTIONS SHALL BE WITH HIGH STRENGTH BOLTS, UNO. MIN OF (2) BOLTS PER CONNECTION.

ALL STRUCTURAL STEEL SHALL BE SURFACE PREPARED AND SHOP PAINTED AS NOTED. SURFACE PREPARATION SHALL CONFORM TO SSPC SP-3 POWER TOOL CLEANING TO REMOVE ALL SCALE AND RUST. SHOP PAINT SHALL BE SSPC PAINT 25, ALKYD PRIMER, GRAY COLOR, APPLIED TO A MINIMUM DRY THICKNESS OF 2 MILS. NO PAINT ON SURFACES EMBEDDED IN CONCRETE. SURFACES TO RECEIVE SPRAYED ON FIRE PROOFINGS, FAYING AREAS OF SLIP-CRITICAL HIGH STRENGTH BOLTED CONNECTIONS OR WITHIN 2 INCHES OF FIELD WELDING. STRUCTURAL STEEL EXPOSED TO WEATHER IN FINISHED WORK SHALL BE HOT-DIP GALVANIZED.

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION. SHOP DRAWINGS SHALL INCLUDE PIECE MARKS, ERECTION PLANS SHOWING BEAM SIZES AND DETAILS WITH CORRESPONDING CONTRACTOR DOCUMENT INDICATORS. SHOP DRAWINGS SHALL MAKE A DISTINCTION BETWEEN SHOP WELDS AND FIELD WELDS.

STRUCTURAL STEEL WELDING

ALL STRUCTURAL WELDING SHALL BE PRE-QUALIFIED AND CONFORM TO AISC AND AWS SPECIFICATIONS.

ALL WELDING SHALL BE IN ACCORDANCE WITH THE APPLICABLE AWS CODE. USE E70 SERIES LOW HYDROGEN ELECTRODES STORED AND MAINTAINED IN DRY CONDITION.

ALL WELDING SHALL BE PERFORMED BY AWS CERTIFIED WELDERS HAVING CURRENT CERTIFICATES AND EXPERIENCE IN THE TYPE OF WELD BEING PERFORMED. WELDING CERTIFICATES SHALL BE THOSE ISSUED BY AN ACCEPTED TEST AGENCY.

STRUCTURAL CONSTRUCTION DRAWINGS DO NOT DISTINGUISH BETWEEN SHOP WELDS AND FIELD WELDS. THE CONTRACTOR SHALL COORDINATE WELDING DESIGNATIONS BETWEEN FABRICATOR AND ERECTOR. ALL STEEL SHOP DRAWINGS SHALL MAKE DISTINCTION BETWEEN SHOP WELDS AND FIELD WELDS.

NON-SHRINK GROUT

DRY-PACK NON-SHRINK GROUT SHALL BE INSTALLED UNDER BEARING PLATES BEFORE FRAMING MEMBERS ARE INSTALLED. AT COLUMNS, CONTRACTOR SHALL INSTALL DRY-PACK UNDER BASE PLATES AFTER COLUMN HAS BEEN PLUMBED BUT PRIOR TO FLOOR OR ROOF INSTALLATION.

ROUGH CARPENTRY AND PLYWOOD

ALL FRAMING SHALL BE PROVIDED IN ACCORDANCE WITH IBC CHAPTER 23. FRAMING LUMBER SHALL COMPLY WITH THE APPLICABLE NDS CODE.

MAXIMUM MOISTURE CONTENT OF LUMBER SHALL NOT EXCEED 19 PERCENT.

ALL SAWN LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY.

ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVATIVE-TREATED WOOD STAMPED BY AN APPROVED AGENCY.

ALL PLYWOOD SHALL CONFORM TO PS-1 OR APA PRP-108, SHALL HAVE AN EXTERIOR OR EXPOSURE 1 CLASSIFICATION AND SHALL BEAR THE STAMP OF AN APPROVED TESTING AGENCY.

PLYWOOD SHALL BE INSTALLED WITH FACE GRAIN ORIENTED PERPENDICULAR TO SUPPORTS, STAGGER JOINTS. PLYWOOD NAILING SHALL BE PROVIDED ON ALL BOUNDARIES, EDGES AND INTERMEDIATE SUPPORTS.

ON ROOFS WHERE PLYWOOD IS LAID UP WITH FACE GRAIN PARALLEL TO SUPPORTS, USE A MINIMUM OF 5-PLY PLYWOOD.

METAL FRAMING CONNECTORS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INCORPORATED, OR OTHER APPROVED EQUIVALENT MANUFACTURER. ALL NAIL/SCREW HOLES IN CONNECTORS SHALL BE FILLED WITH NAILS/SCREWS OF THE LARGEST SIZE INDICATED IN THE MANUFACTURER'S CATALOG UNO.

METAL FRAMING CONNECTORS AND FASTENERS IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE GALVANIZED OR STAINLESS STEEL.

NAILING SHALL CONFORM TO TABLE 2304.9.1 OF THE IBC. ALL NAILS SHALL BE COMMON SIZE IN ACCORDANCE WITH ASTM F1667.

SILL PLATES SHALL HAVE 5/8" DIA ANCHOR PLACED AT ALL JAMBS, CORNERS, INTERSECTIONS AND DISCONTINUOUS WALL ENDS, AND AT 48" OC MAX UNO (MINIMUM TWO ANCHORS PER PLATE SECTION).

ENGINEERED LUMBER PRODUCTS

I-SERIES FLOOR AND ROOF JOISTS SHALL BE BCI JOISTS MANUFACTURED BY BOISE CASCADE, OR APPROVED EQUIVALENT BY ANOTHER MANUFACTURER, AND SHALL CARRY ICC APPROVAL FOR THE COMPOSITE SECTION. BRIDGING, BLOCKING AND WEB STIFFENERS SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. NAILING NOT OTHERWISE SPECIFIED SHALL BE PER THE MANUFACTURER'S INSTRUCTIONS.

GLUED-LAMINATED BEAMS

PROVIDE AITC STAMP ON TIMBER AND SUBMIT CERTIFICATE TO CONTRACTING OFFICER. MATERIALS MUST BE OBTAINED FROM AN AITC APPROVED FABRICATOR.

ALL GLUED-LAMINATED BEAMS SHALL FIT SNUG AND TIGHT IN THEIR CONNECTIONS AND DEVELOP FULL BEARING AS INDICATED.

GLUED-LAMINATED BEAM ADHESIVE TO BE "WET-USE" TYPE.

CAMBER AS SHOWN. IF NO CAMBER IS SPECIFIED, PROVIDE STANDARD CAMBER USING A RADIUS OF 3,500 FEET.

POST-INSTALLED ANCHORS

POST-INSTALLED ANCHOR EMBEDMENT SHALL BE PROVIDED AS SHOWN ON THE DRAWINGS. ALL POST-INSTALLED ANCHORS AND DOWELS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN RECOMMENDATIONS INCLUDING DRILL BIT SIZE, HOLE DEPTH AND CLEANING, MINIMUM EMBEDMENT, EDGE DISTANCES, MATERIAL PLACEMENT, TEMPERATURE AND MOISTURE CONTROL AND FINAL TORQUING REQUIREMENTS.

CONTRACTOR MAY NOT USE SUBSTITUTES FOR POST-INSTALLED ANCHORS WITHOUT PRIOR WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.

NO REINFORCING BARS SHALL BE CUT TO INSTALL ANCHORS. ALL DEFECTIVE ANCHOR HOLES SHALL BE GROUTED WITH EPOXY ADHESIVE AND A NEW HOLE DRILLED A MINIMUM OF (3) BOLT DIAMETERS AWAY.

POST-INSTALLED CONCRETE ANCHORS ARE NOT PERMITTED IN POST-TENSIONED CONCRETE SLABS UNO.

SPECIAL INSPECTION OF POST-INSTALLED ANCHORS IS REQUIRED.

WOOD STAIRS

WOOD STAIRS SHALL BE ASSEMBLED AND FABRICATED BY QUALIFIED CARPENTERS. ALL FRAMING PER IBC CHAPTER 23. MAXIMUM MOISTURE CONTENT SHALL NOT EXCEED 19%.

WOOD STAIR STRINGERS SHALL BE THE FOLLOWING MINIMUM SIZE AND SPECIES:
SOLID SAWN WOOD STRINGERS: 2X12 HF #2
ENGINEERED WOOD STRINGERS: 1-3/4"X11-1/4" WITH MINIMUM F_b = 2,800 PSI AND MINIMUM E = 2,000,000 PSI

ENGINEERED WOOD STRINGER MAXIMUM DIMENSIONS: MAXIMUM SPAN (AS MEASURED PARALLEL TO THE STRINGER PLANE) SHALL NOT EXCEED 9'-0". MAXIMUM NOTCH (AS MEASURED PERPENDICULAR TO THE STRINGER PLANE) SHALL NOT EXCEED 5-3/4". MAXIMUM SPACING SHALL NOT EXCEED 1'-0" ON CENTER (OR 2'-0" ON CENTER WITH DOUBLE INTERIOR STRINGERS).

IF THE PROJECT CONDITIONS EXCEED THOSE ABOVE, AN ENGINEERED DESIGN COMPLYING WITH THE IBC SHALL BE SEALED BY A REGISTERED ALASKA ENGINEER AND SUBMITTED FOR REVIEW PRIOR TO ASSEMBLY.

FOR STAIR DIMENSIONS (INCLUDING RISE AND RUN) AND TREAD SURFACES SEE ARCHITECT CONTRACT DOCUMENTS.

STRUCTURAL SHOP DRAWINGS AND PRODUCT DATA SUBMITTALS

SUBMIT SHOP DRAWINGS AND/OR PRODUCT DATA FOR THE FOLLOWING ITEMS, PRIOR TO FABRICATION:

CONCRETE MATERIALS
CONCRETE REINFORCING STEEL
STRUCTURAL STEEL FRAMING
WOOD I-JOISTS

CONTRACTOR SHALL REVIEW AND STAMP SUBMITTALS PRIOR TO SUBMISSION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS PLACED PRIOR TO RECEIPT OF REVIEWED SHOP DRAWINGS. CONTRACTOR SHALL ALLOW A MINIMUM OF (10) WORKING DAYS FOR REVIEW.

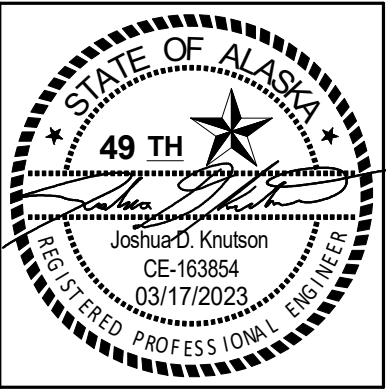
CONTRACT DOCUMENTS SHALL NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS. THE MANUFACTURER OR FABRICATOR SHALL CLOUD ANY CHANGES, SUBSTITUTIONS AND/OR DEVIATIONS FROM THE CONTRACT DOCUMENTS. ANY CHANGES, SUBSTITUTIONS AND/OR DEVIATIONS THAT ARE NOT CLOUDED OR FLAGGED SHALL NOT BE CONSIDERED ALLOWED AFTER THE ENGINEER'S REVIEW UNO.

THE ENGINEER'S REVIEW IS INTENDED ONLY AS AN AID TO THE CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS. RESPONSIBILITY FOR CORRECTNESS AND COMPLETENESS SHALL REST WITH THE CONTRACTOR. SHOP DRAWINGS WILL BE RETURNED FOR RESUBMITTAL IF SIGNIFICANT ERRORS ARE FOUND DURING REVIEW.

THE SHOP DRAWINGS DO NOT REPLACE THE CONTRACT DOCUMENTS. SHOP DRAWINGS PROCESSED BY THE ENGINEER SHALL NOT BE CONSIDERED CHANGE ORDERS. ITEMS THAT ARE OMITTED OR SHOWN INCORRECTLY AND THAT ARE NOT FLAGGED BY THE ENGINEER ARE NOT TO BE CONSIDERED CHANGES TO CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT ITEMS ACCORDING TO THE CONTRACT DOCUMENTS. SHOULD A DISCREPANCY EXIST BETWEEN THE PROCESSED SHOP DRAWINGS AND THE CONTRACT DOCUMENTS, THE CONTRACT DOCUMENTS SHALL GOVERN.

THE ENGINEER RESERVES THE RIGHT TO MAKE CHANGES TO THE CONTRACT DOCUMENTS, AT ANY TIME BEFORE OR AFTER SHOP DRAWING REVIEW.

FOR HARD COPY SUBMITTALS, PROVIDE NO MORE THAN FOUR SETS FOR REVIEW (ONE COPY TO BE RETAINED BY THE ENGINEER OF RECORD). FOR ELECTRONIC SUBMITTALS, PROVIDE PDF FILES ONLY. ALL SUBMITTALS WITH A REQUESTED REVIEW TIME OF LESS THAN (10) WORKING DAYS MAY BE RETURNED WITHOUT REVIEW AT THE ENGINEER'S DISCRETION.



CERTIFICATE OF AUTHORIZATION NO. SPARK DESIGN, LLC #AECL1394



COOK INLET HOUSING AUTHORITY
BREWSTERS MULTI-FAMILY HOUSING
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	77006.00
DATE	2023.03.08
DRAWN	MEH
REVIEWED	JDK

SHEET NAME
GENERAL STRUCTURAL NOTES

SHEET NO.
S0.02