



TO: ALL PLANHOLDERS OF RECORD
RE: 24T-DV-110 - Tyonek Terrace Rehabilitation Addendum No. 1
FROM: Rashaad Esters
PAGE(S): 8, including this cover sheet
DATE: April 4, 2024

Transmitted herewith is an Addendum to the solicitation listed above. If the Addendum is **not** received in full, please contact the Procurement Office at (907) 793-3000. If all pages of the Addendum are received, please sign this sheet and email it back to CIHA's Procurement Department at Procurement@cookinlethousing.org.

Company's Name

Company's Representative

Date

Invitation to Bid 24T-DV-110 - Tyonek Terrace Rehabilitation Addendum No. 1

This document forms a part of and modifies the solicitation as noted below. Respondents must acknowledge receipt of this addendum. Failure to acknowledge receipt of this addendum may subject Respondent to disqualification.

PROJECT: Tyonek Terrace Rehabilitation
FOR: Cook Inlet Housing Authority

The following corrections, clarifications, additions, and/or deletions to the ITB 24T-DV-110 are hereby made a part of said documents. All other terms and conditions remain the same.

This Addendum Shall:

1. Clarify that tenants who occupy units will be temporarily relocated during construction. Tenant relocation duties, including but not limited to, move-out and move-in, will be the responsibility of CIHA.
2. Remove in its entirety G0.01 (1 page) from Tyonek Terrace Renovation Permit Documents Part A and replace with Attachment A - G0.01
3. Shall include Attachment B - Tyonek Terrace Renovation Permit Documents Civil Drawings to ITB 24T-DV-110.

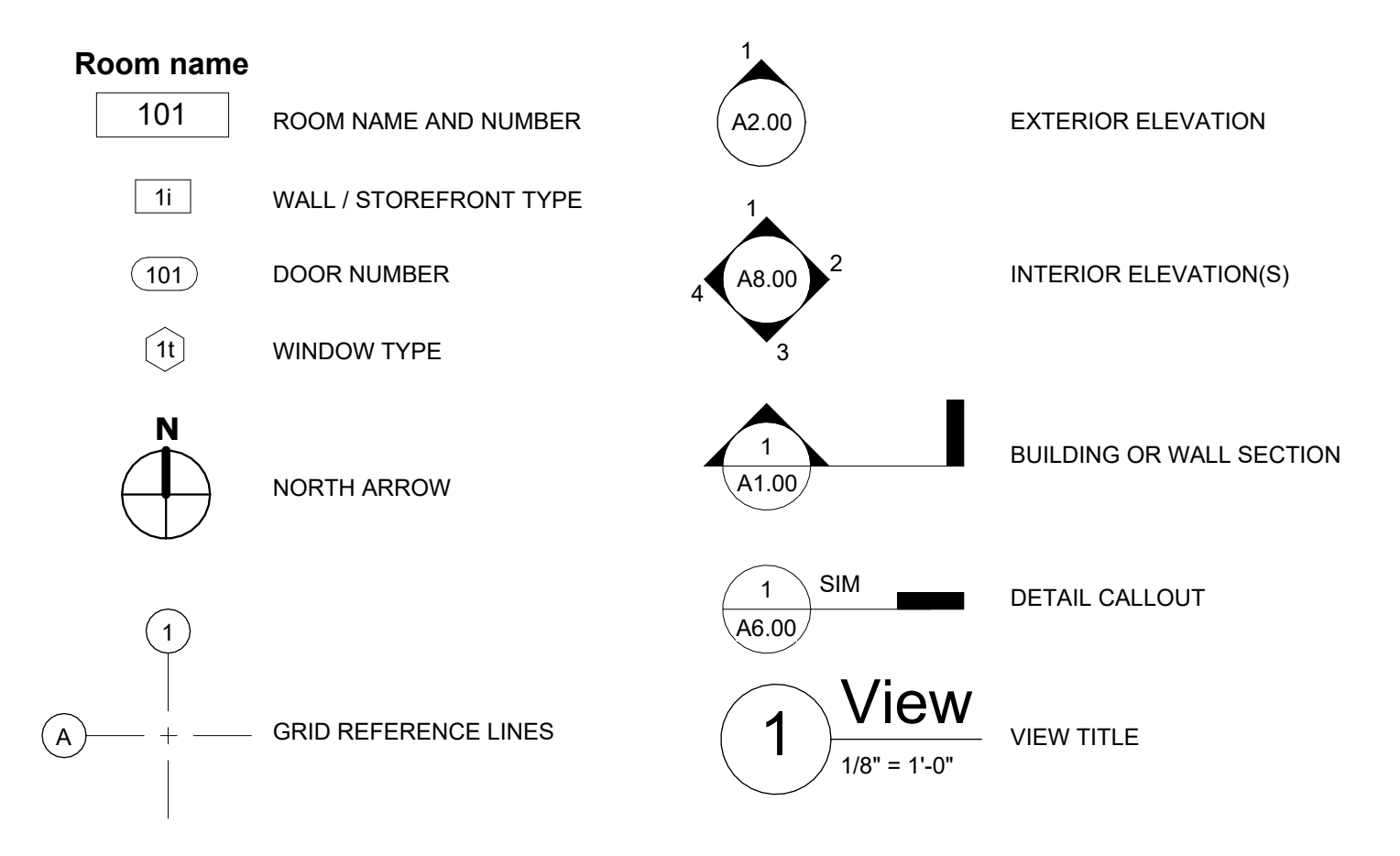
Attachments

- A. G0.01 (1 page)
- B. Tyonek Terrace Renovation Permit Documents Civil Drawings (5 pages)

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MOST RECENT ADOPTED EDITION OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), INTERNATIONAL BUILDING CODE (IBC), INTERNATIONAL MECHANICAL CODE (IMC), INTERNATIONAL PLUMBING CODE (IPC), NATIONAL ELECTRICAL CODE (NEC), INTERNATIONAL FIRE CODE (IFC), INTERNATIONAL ENERGY CONSERVATION CODE (IECC), AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES, REGULATIONS, ORDINANCES AND AMENDMENTS.
- NO WORK SHALL BEGIN AT UNTIL APPLICABLE APPROVALS AND REQUIRED PERMITS HAVE BEEN OBTAINED COVERING THE SCOPE OF WORK. THE CONTRACTOR SHALL ENSURE THAT SUBCONTRACTORS VERIFY AND ASSURE PROPER CODE COMPLIANCE FOR ALL ASPECTS OF CONSTRUCTION WITHIN THEIR RESPECTIVE TRADES. CONTRACTOR SHALL BE HELD TO HAVE EXAMINED THE SITE AND CONDITIONS UNDER WHICH THEY WILL BE OBLIGATED TO PERFORM THE WORK, PRIOR TO PROCEEDING WITH ANY WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
- DRAWINGS ARE SUPPLIED TO THE CONTRACTOR AND OTHERS FOR THEIR USE FOR THE SPECIFICALLY NAMED PROJECT. ALL COPIES OF THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF SPARK DESIGN, LLC AND SHALL NOT BE REUSED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SPARK DESIGN, LLC.
- THE ORGANIZATION OF DRAWINGS IS NOT INTENDED TO CONTROL THE DIVISION OF WORK. DIVISION OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL VERIFY DIMENSIONS, REQUIRED CLEARANCES, ELECTRICAL, AND PLUMBING REQUIREMENTS FOR ALL OWNER AND N.I.C. ITEMS.
- ALL MATERIALS SHALL BE ASSUMED TO BE NEW UNLESS SPECIFICALLY NOTED AS EXISTING.
- DO NOT SCALE THE DRAWINGS TO OBTAIN DIMENSIONAL CLARIFICATION. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK.
- ALL CEILING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH IBC CHAPTER 16 SEISMIC DESIGN REQUIREMENTS AND STANDARDS FOR THE APPROPRIATE ZONE.
- ALL WALL AND CEILING FINISHES SHALL MEET THE REQUIREMENTS OF CHAPTER 8 AND TABLE 803.5 OF THE INTERNATIONAL BUILDING CODE THAT IS ADOPTED WITHIN THE MUNICIPALITY OF ANCHORAGE.
- THE DRAWINGS AND SPECIFICATION, IF PROVIDED, ARE COMPLEMENTARY TO EACH OTHER. WHAT IS SHOWN OR INDICATED IN ONE IS AS BINDING AS IF CALLED FOR IN BOTH.

DRAWING SYMBOLS



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ABBREVIATIONS

A	ABOVE	DIFF	DIFFUSER	HT	HEIGHT	OFCI	OWNER FURNISHED-CONTRACTOR INSTALLED	SNR	SANITARY NAPKIN RECEPTACLE SPECIFICATION(S)
ABV	ABOVE	DIM	DIMENSION	HVAC	HEATING, VENTILATION and AIR CONDITIONING	OFF	OFFICE	SPEC	SPECIFICATION(S)
ACM	ASBESTOS CONTAINING MATERIAL or ALUMINUM COMPOSITE MATERIAL	DN	DOWN			OFOI	OWNER FURNISHED-OWNER INSTALLED	SQ	SQUARE
ACOUST	ACOUSTICAL	DS	DOWNSPOUT	I		OH	OPPOSITE HAND	SS	SOLID SURFACE
ACT	ACOUSTICAL CEILING TILE	DTL	DETAIL	IBC	INTERNATIONAL BUILDING CODE or INSTALLED BY CONTRACTOR	OH	OVERHEAD	SSG	STRUCTURAL SILICONE GLAZED
ADDN	ADDITION / ADDITIONAL	DWG	DRAWING	ICB	INTEGRAL COVE BASE	OH	OPENING	SST	STAINLESS STEEL
ADJ	ADJACENT or ADJUSTABLE			ID	INSIDE DIAMETER	OPG	OPENING	ST	STAIN
AFF	ABOVE FINISHED FLOOR	E		IGL	INSULATED GLAZING	OPP	OPPOSITE	STA	STATION
AG	AGGREGATE	(E)	EXISTING	IHM	INSULATED HOLLOW METAL	ORD	OVERFLOW ROOF DRAIN	STD	STANDARD
AHU	AIR HANDLING UNIT	E	EAST	IN	INCH	ORIG	ORIGINAL	STL	STEEL
ALT	ALTERNATE	EA	EACH	INFO	INFORMATION			STOR	STORAGE
ALUM	ALUMINUM	EIFS	EXTERIOR INSULATION FINISH SYSTEM	INS	INSULATION or INSULATED	P	PAINT	STRUC	STRUCTURE or STRUCTURAL
ANOD	ANODIZED	EJ	EXPANSION JOINT	INT	INTERIOR	PL	PREFABRICATED	SUBST	SUBSTRATE
APPROX	APPROXIMATE(LY)	EL	ELEVATION			PFB	PREFABRICATED	SYS	SYSTEM
APSH	ASPHALT	ELEC	ELECTRICAL	J		PL	PROPERTY LINE		
ARCH	ARCHITECT / ARCHITECTURAL	ELEV	ELEVATOR	JAN	JANITOR	PLAM	PLASTIC LAMINATE	T	
AUTO	AUTOMATIC	ENGR	ENGINEER	JST	JOIST	PLAS	PLASTER	T&G	TONGUE AND GROOVE
		EPDM	ETHYLENE PROPYLENE DIENE MONOMER	JT	JOINT	PLP	PHENOLIC LAMINATE PANEL	TB	TOWEL BAR
B		EQ	EQUAL			PLT	PLATE	TEL	THERMAL BREAK / TACK BOARD
BD	BOARD	EOP	EQUIPMENT	K		PLY	PLYWOOD	TEMP	TEMPERATURE
BEL	BELOW	ER	EMERGENCY	KD	KNOCKDOWN	PNL	PANEL	THK	THICK or THICKNESS
BET	BETWEEN	EXP	EXPANSION	KIT	KITCHEN	PRCST	PRECAST	THRU	THROUGH
BIT	BITUMINOUS	EXT	EXTERIOR	KO	KNOCKOUT	PREFIN	PREFINISHED	TO	TOP OF
BKT	BRACKET	EXTR	EXTRUDED	KPL	KICK PLATE	PROJ	PROJECT	TPD	TOILET PAPER DISPENSER
BLDG	BUILDING					PT	POST-TENSIONED or PORCELAIN TILE	TPO	THERMOPLASTIC POLYOLEFIN
BLK	BLOCK	F		L		PTD	PAPER TOWEL DISPENSER	TPTN	TOILET PARTITION
BLKG	BLOCKING	FA	FIRE ALARM	L	LEFT	PTDR	PAPER TOWEL DISPENSER AND RECEPTACLE	TS	TUBE STEEL
BM	BEAM	FAB	FABRICATE(D)	LAB	LABORATORY			TSTAT	THERMOSTAT
BO	BOTTOM OF	FACP	FIRE ALARM CONTROL PANEL	LAM	LAMINATE	PV	PAVEMENT	TYP	TYPICAL
BOD	BASIS OF DESIGN	FAS	FASTEN(ER)	LAV	LAVATORY	PVC	POLYVINYL CHLORIDE		
BOT	BOTTOM	FD	FLOOR DRAIN	LED	LIGHT EMITTING DIODE			U	UNIT HEATER
BSMT	BASEMENT	FDC	FIRE DEPARTMENT CONNECTION	LF	LINEAR FOOT / FEET	Q		UH	UNDERWRITER'S LABORATORY
		FDN	FOUNDATION	LK	LOCKER	Q.T.	QUARRY TILE	UNF	UNFINISHED
		FE	FIRE EXTINGUISHER	LKR	LOCKER			UNO	UNLESS NOTED OTHERWISE
		FEC	FIRE EXTINGUISHER CABINET	LT	LIGHT			UON	UNLESS OTHERWISE NOTED
		FF	FACTORY FINISHED	LVR	LOUVER	R		UOS	UNLESS OTHERWISE SPECIFIED
		FFL	FINISHED FLOOR LINE			R/A	RETURN AIR	V	VACUUM
		FG	FIBERGLASS	M		RAD	RADIUS	VAC	VACUUM
		FHC	FIRE HOSE CABINET	MA	MEDICAL AIR	RB	RUBBER / RUBBER BASE	VAR	VARIES
		FIG	FIGURE	MAN	MANUAL	RCP	REFLECTED CEILING PLAN	VCT	VINYL COMPOSITION TILE
		FIN	FINISH(ED)	MAS	MASONRY	RD	ROOF DRAIN	VERT	VERTICAL
		FIN FLR	FINISH FLOOR	MAT	MATERIAL	REF	REFER TO or REFERENCE	VEST	VESTIBULE
		FIN GR	FINISH GRADE	MAX	MAXIMUM	REFR	REFRIGERATOR or REFRIGERATED	VFY	VERIFY
		FIXT	FIXTURE	MDF	MEDIUM DENSITY FIBERBOARD	REQ	REQUIRED	VIF	VERIFY IN FIELD
		FLUR	FLUORESCENT	MDO	MEDIUM DENSITY OVERLAY	RES	RESILIENT	VIN	VINYL
		FO	FACE OF	MECH	MECHANICAL	REV	REVISE, REVISED or REVISION	VR	VAPOR RETARDER
		FPRF	FIRE PROOFING	MEP	MECHANICAL, ELECTRICAL and PLUMBING	RF	RESILIENT FLOORING	VWC	VINYL WALL COVERING
		FR	FIRE RESISTIVE			RFL	REFLECTED		
		FRP	FIBERGLASS REINFORCED PANEL(ING)	MEZZ	MEZZANINE	RHK	ROBE HOOK		
		FRT	FIRE RETARDANT TREATED	MFG	MANUFACTURER	RL	RAIN LEADER		
		FT	FOOT / FEET	MILWK	MILLWORK	RM	ROOM		
		FTG	FOOTING	MIN	MINIMUM	RND	ROUND		
		FURR	FURRING	MIR	MIRROR	RO	ROUGH OPENING		
				MISC	MISCELLANEOUS	ROD	ROOF OVERFLOW DRAIN		
				MIS	MASONRY OPENING	RTR	RUBBER TREAD AND RISER		
				MP	METAL PANEL	RTU	ROOF TOP UNIT		
				MTL	METAL				
						S			
						N	SOUTH		
						N/A	NOT APPLICABLE		
						N	NORTH		
						NFS	NON FROST SUSCEPTABLE		
						NI	NOT IN CONTRACT		
						NO	NUMBER		
						NOM	NOMINAL		
						NR	NON RATED		
						NTS	NOT TO SCALE		
						O			
						O/A	OUTSIDE AIR		
						OC	ON CENTER		
						OD	OUTSIDE DIAMETER		
						O			
						O/A	OUTSIDE AIR		
						OC	ON CENTER		
						OD	OUTSIDE DIAMETER		
						SHT	SHEET		
						SHTG	SHEATHING		
						SIM	SIMILAR		
						SLR	SEALER		
						SND	SANITARY NAPKIN DISPENSER		

PROJECT INFORMATION

REPLACEMENT OF INTERIOR FLOORING, CEILING FINISHES, WALL PAINT, AND LIGHT FIXTURES IN THE COMMON AREAS FOR EACH LEVEL. REPLACEMENT OF INTERIOR FLOORING, CASEWORK, WALL PAINT, AND LIGHT FIXTURES IN THE TENANT UNITS FOR EACH LEVEL. REPLACEMENT OF THE ROOFING MEMBRANE, EXTERIOR CEDAR SIDING, AND EXTERIOR LIGHT FIXTURES, REPLACEMENT OF BOILERS WITH 2 HIGH EFFICIENCY BOILERS, INSTALLATION OF A SECOND WATER METER FOR THE IRRIGATION SYSTEM ONLY. UPGRADE OF FIRE ALARM SYSTEM, SECURITY CAMERA SYSTEM, AND AIPHONE SYSTEM. REPLACEMENT OF PATIO PAVERS WITH CONCRETE SLAB ON GRADE.

ALTERNATES

- | | |
|---|---|
| 1. ADDITIVE ALTERNATE #1: REMOVE EXISTING WOOD WINDOWSILLS AND STAIRWELL WALL CAPS AND INSTALL SOLID SURFACE (SS2) WINDOWSILLS AND STAIRWELL WALL CAPS THROUGHOUT BUILDING. | 1. DEDUCTIVE ALTERNATE #1: DELETE PAINTING OF EXISTING WOOD WINDOWSILLS AND WOOD STAIRWELL WALL CAPS THROUGHOUT BUILDING. |
| 2. ADDITIVE ALTERNATE #2: INSTALL SOLID SURFACE (SS1) COUNTERTOPS AND BACKSPASHES THROUGHOUT BUILDING. | 2. DEDUCTIVE ALTERNATE #2: DELETE PLASTIC LAMINATE (PL1) COUNTERTOPS AND BACKSPASHES THROUGHOUT BUILDING. |
| 3. ADDITIVE ALTERNATE #3: REMOVE EXISTING ROOFING COVERBOARD AND INSTALL NEW ROOFING COVERBOARD WHERE NEW ROOFING MEMBRANE INSTALLATION IS INDICATED. | |
| 4. ADDITIVE ALTERNATE #4: INSTALL LIGHT FIXTURE "O-ALT" IN LIEU OF LIGHT FIXTURE "O" WHERE SHOWN AND AS SCHEDULED ON THE ELECTRICAL DRAWINGS. | |



CERTIFICATE OF AUTHORIZATION NO. SPARK DESIGN, LLC #AECL1394

spark design, llc
 architecture • interiors • design-build
 5401 cordova street, suite 301
 anchorage, alaska 99518
 p. 907.344.3424 f. 907.771.9776

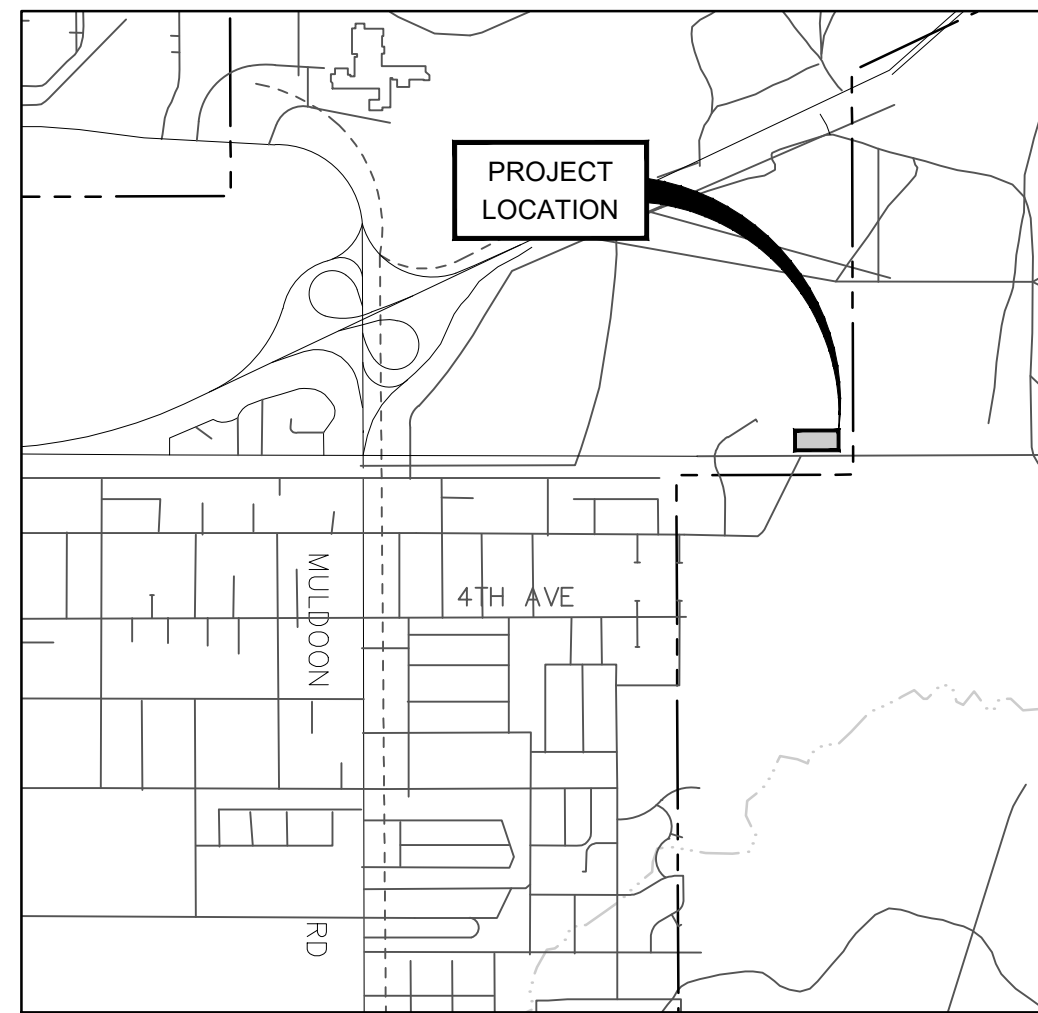
COOK INLET HOUSING AUTHORITY
 TYONEK TERRACE RENOVATION
 ANCHORAGE, ALASKA

#	DESCRIPTION	DATE
1	Addendum 1	04/03/2024

JOB NO.	21-031
DATE	03/29/2024
DRAWN	SMM
REVIEWED	DTW

SHEET NAME
GENERAL INFORMATION, ABBREVIATIONS AND SYMBOLS

SHEET NO.
G0.01



VICINITY MAP
SCALE: 1"=1500'

LEGEND

PROPOSED	EXISTING	DESCRIPTION
—	—	PROPERTY LINE
—	—	CENTERLINE
---	---	FRAG LOT LINE
---	---	EASEMENT LINE
—	—	CURB AND GUTTER
—	—	PORTLAND CEMENT CONCRETE
—	—	BUILDING
—	—	ASPHALT PAVEMENT
— x — x —		CHAIN LINK FENCE
— OE —		OVERHEAD ELECTRIC LINE
— E —		UNDERGROUND ELECTRIC LINE
—		TRAFFIC MARKING
— SD —		STORM DRAIN
— W —		WATER LINE
— S —		SANITARY SEWER
■ ⊙ ⊗ □		STORM DRAIN STRUCTURE
⊗		WATER VALVE
⊕		FIRE HYDRANT
■ ⊙		SANITARY SEWER STRUCTURE
□ ⊙ ⊕		LIGHT POLE
⊠		TRANSFORMER
— G —		GAS LINE
⊙		GAS METER
— FO —		FIBER OPTIC LINE
●		BOLLARD
⊕		SIGN
—		GRADE
— 240 —	— 240 —	MAJOR CONTOUR
— 239 —	— 239 —	MINOR CONTOUR
—	—	VEGETATION
— GB —		GRADE BREAK
—		SWALE
⊕		SURVEY MONUMENT
●		CONTROL POINT
●		REBAR PROPERTY CORNER
⊕		ALUMINUM CAP

ABBREVIATIONS

AC	ASPHALT CONCRETE PAVEMENT
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS BUILDING
CB	CATCH BASIN
CBMH	CATCH BASIN MANHOLE
CIP	CAST IRON PIPE
CL	CENTERLINE
CONC	CONCRETE
DIP	DUCTILE IRON PIPE
EA	EACH
EL	ELECTRIC
ESMT	EASEMENT
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
FL	FLOW LINE
FT	FEET
G	GAS
GB	GRADE BREAK
GV	GATE VALVE
H	HORIZONTAL
INV	INVERT
LC	LEVELING COURSE
LF	LINEAR FEET
MASS	MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS
MAX	MAXIMUM
ME	MATCH EXISTING
MH	MANHOLE
MIN	MINIMUM
NFS	NON FROST SUSCEPTIBLE
MOA	MUNICIPALITY OF ANCHORAGE
NO	NUMBER
NOI	NOTICE OF INTENT
NTS	NOT TO SCALE
NGS	NATIONAL GEODETIC SURVEY
OH	OVERHEAD
PCC	PORTLAND CEMENT CONCRETE
PL	PROPERTY LINE
R	RADIUS
ROW	RIGHT OF WAY
S	SEWER
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SF	SQUARE FOOT
SS	SANITARY SEWER
STD	STANDARD
SW	SIDEWALK
T	TELEPHONE
T&E	TELEPHONE AND ELECTRIC
TC	TOP OF CURB
TC	TOP BACK OF CURB
TYP	TYPICAL
UG	UNDERGROUND
V	VERTICAL
VB	VALVE BOX
W	WATER

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (MASS) AS CURRENTLY AMENDED, AND THE PROJECT SPECIAL PROVISIONS, UNLESS OTHERWISE NOTED.
- EXISTING GROUND CONTOURS BASED ON AN AUGUST, 2004 SITE DESIGN DRAWINGS. CONTRACTOR SHALL VERIFY SITE CONDITIONS.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY LOCATIONS BY OBTAINING UTILITY LOCATES PRIOR TO BEGINNING CONSTRUCTION.
- VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. RECORD LOCATIONS AND CHANGES TO UTILITIES IN SURVEY NOTES AND ON AS-BUILT DRAWINGS.
- THE CONTRACTOR SHALL FOLLOW ALL MUNICIPALITY OF ANCHORAGE REGULATIONS FOR NOISE, HOURS OF OPERATIONS, AND DUST CONTROL.
- RESTORE ALL DISTURBED PROPERTY OUTSIDE OF WORK LIMITS TO ORIGINAL CONDITIONS.
- THE CONTRACTOR SHALL PROVIDE CONTROLS TO LIMIT SEDIMENT DISCHARGE FROM THE SITE DURING CONSTRUCTION DUE TO SOIL EROSION. THESE CONTROLS SHALL INCLUDE REGULAR SWEEPING OF STREETS ADJACENT TO THE SITE THAT ACCUMULATE SITE SOILS. ADDITIONAL CONTROLS MAY BE REQUIRED IF THESE MEASURES PROVE INADEQUATE.
- ALL CUTS OF EXISTING PAVEMENT OR CONCRETE SHALL BE SAW CUT UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT TO A LINE ONE (1) FOOT BEYOND THE PROPOSED IMPROVEMENTS DURING THE INITIAL EXCAVATION OPERATIONS. IN PREPARATION AND IMMEDIATELY PRIOR TO PAVING, CONTRACTOR SHALL SAW CUT AND REMOVE ADDITIONAL PAVEMENT ONE (1) FOOT BEYOND THE INITIAL CUT ONTO UNDISTURBED SUBBASE AS DIRECTED BY THE ENGINEER.
- KEEP SITE FREE OF LITTER.

SHEET LIST

- C1.0 - LEGEND, NOTES AND ABBREVIATIONS
- C2.0 - EXISTING CONDITIONS & DEMOLITION PLAN
- C3.0 - SITE LAYOUT PLAN
- C3.1 - CONCRETE JOINT PLAN
- C4.0 - GRADING DETAILS

REV	DATE	DESCRIPTION



DOWL
www.dowl.com
5015 Business Park Blvd, Suite 4000
Anchorage, Alaska 99503
907-562-2000

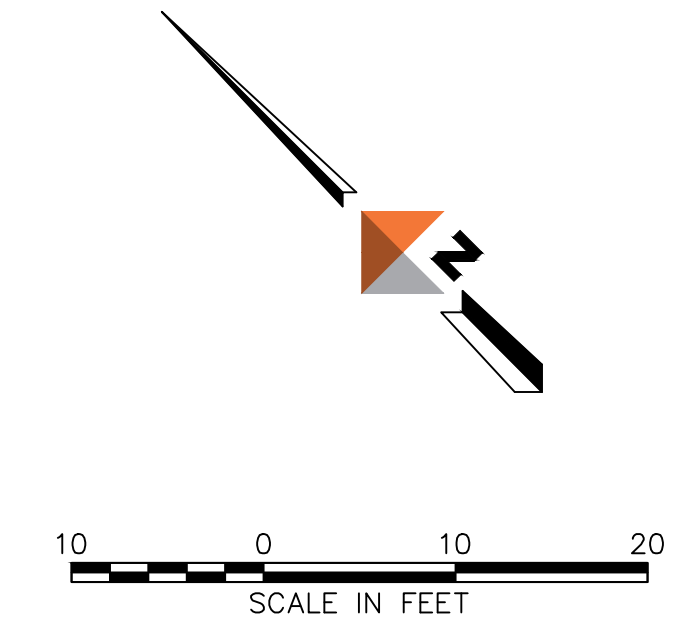
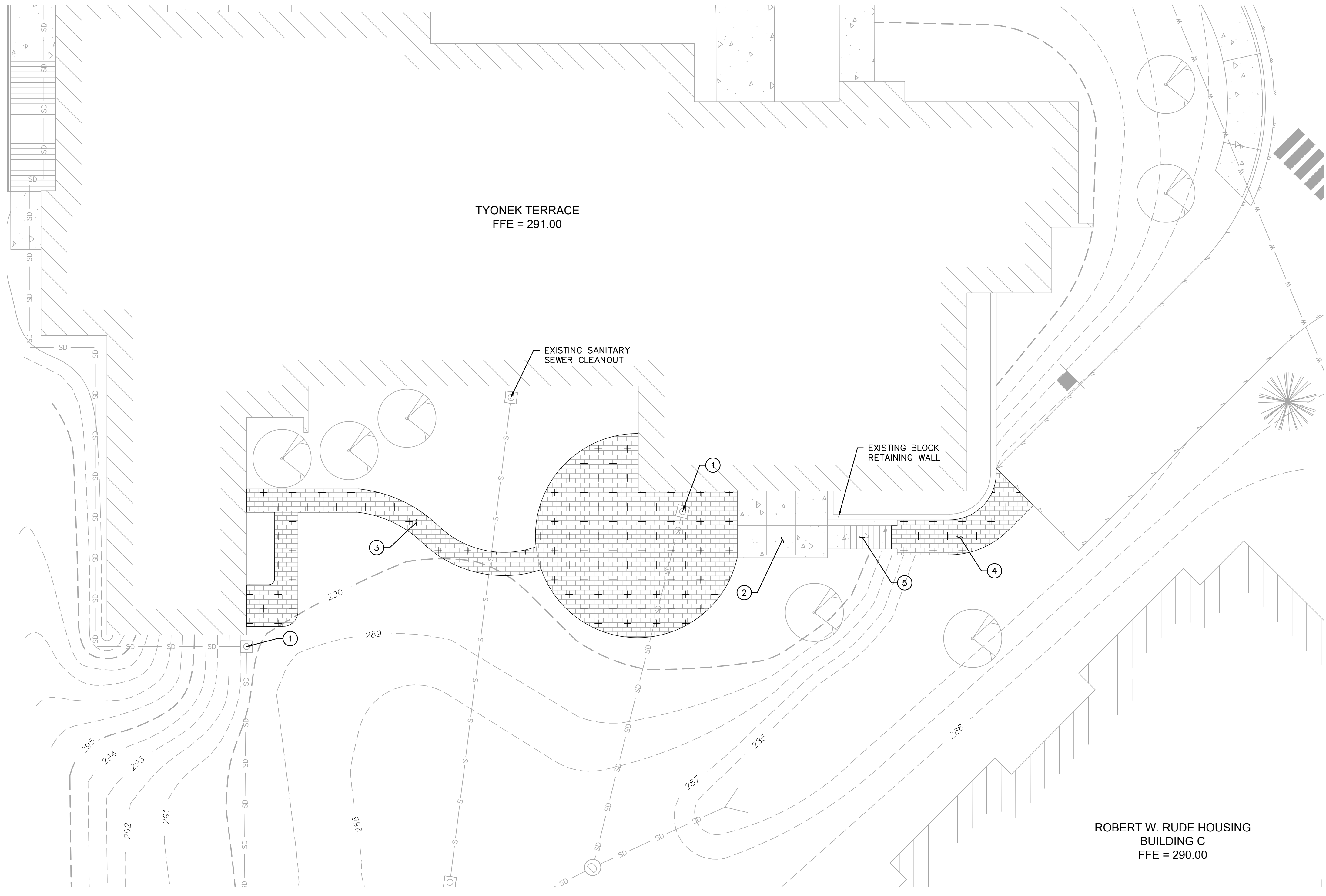
COOK INLET HOUSING AUTHORITY
TYONEK TERRACES PATIO REPLACEMENT
LEGEND, NOTES AND ABBREVIATIONS
GLENN HEIGHTS TRACT B-2B
9141 PECK AVENUE, ANCHORAGE ALASKA 99504

PROJECT 1180.63939.01
DATE 4/2/2024

© DOWL 2024
SHEET

C1.0

J:\80\63939-01\65CAD\G\1\SC20-CS-SI-63939.dwg PLOT DATE 2024-4-2 15:43 SAVED DATE 2024-04-02 11:49 USER: mchiarliello



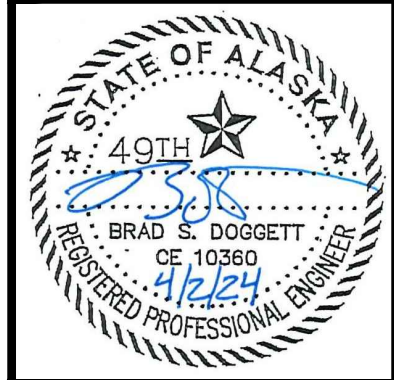
DEMOLITION LEGEND



DEMOLITION KEY NOTES

- ① PROTECT IN PLACE EXISTING SD CLEANOUT
- ② PROTECT IN PLACE EXISTING PCC PATIO
- ③ REMOVE APPROX. 1182 SF PATIO PAVERS
- ④ REMOVE APPROX. 154 SF PATIO PAVERS
- ⑤ PROTECT IN PLACE EXISTING PCC STAIRS

REV	DATE	DESCRIPTION	BY



DOWL
AECL848
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Anchorage, Alaska 99503
907-562-2000

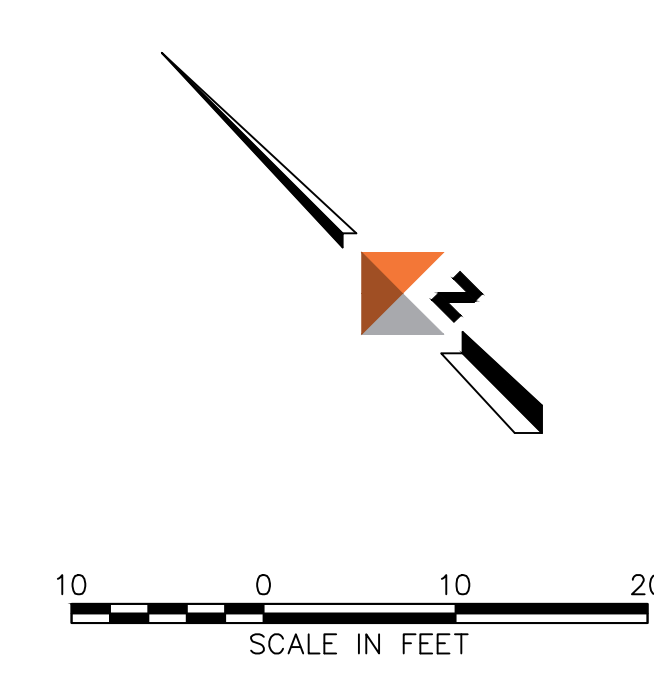
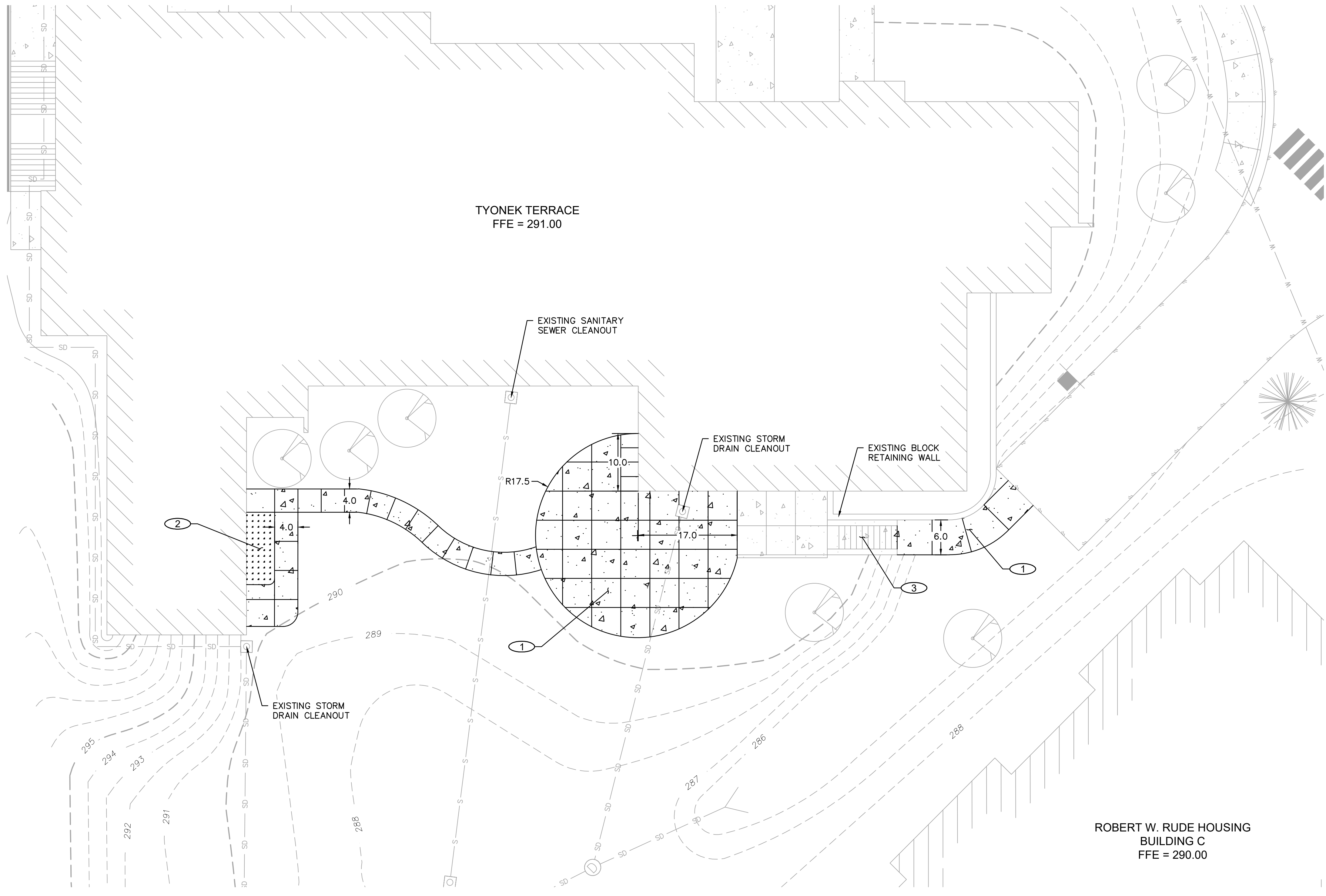
COOK INLET HOUSING AUTHORITY
TYONEK TERRACES PATIO REPLACEMENT
EXISTING CONDITIONS AND
DEMOLITION PLAN
GLENN HEIGHTS TRACT B-2B
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PROJECT 1180.63939.01
DATE 4/2/2024

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SHEET

C2.0

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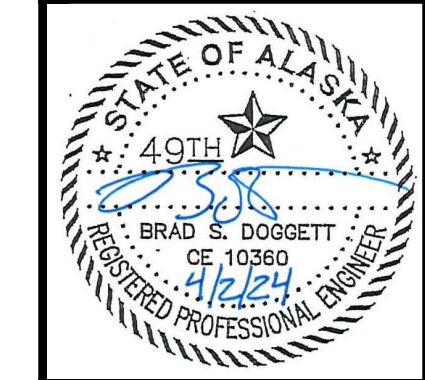
SITE PLAN KEY NOTES

- ① CONSTRUCT PCC PATIO PAD
SEE DETAIL 4, SHEET C4.0
- ② TOPSOIL AND SEED DISTURBED LANDSCAPING
- ③ PATCH AND REPAIR FINISH ON EXISTING CONCRETE STAIRS

SITE PLAN NOTES

- 1. PROVIDE 6" REINFORCED CONCRETE WITH #4 BARS, 12" O.C. BOTH DIRECTIONS.
- 2. FOR CONCRETE JOINT SPACING LAYOUT, SEE SHEET C3.1.
- 3. CONCRETE SHALL HAVE A MEDIUM BROOM FINISH.

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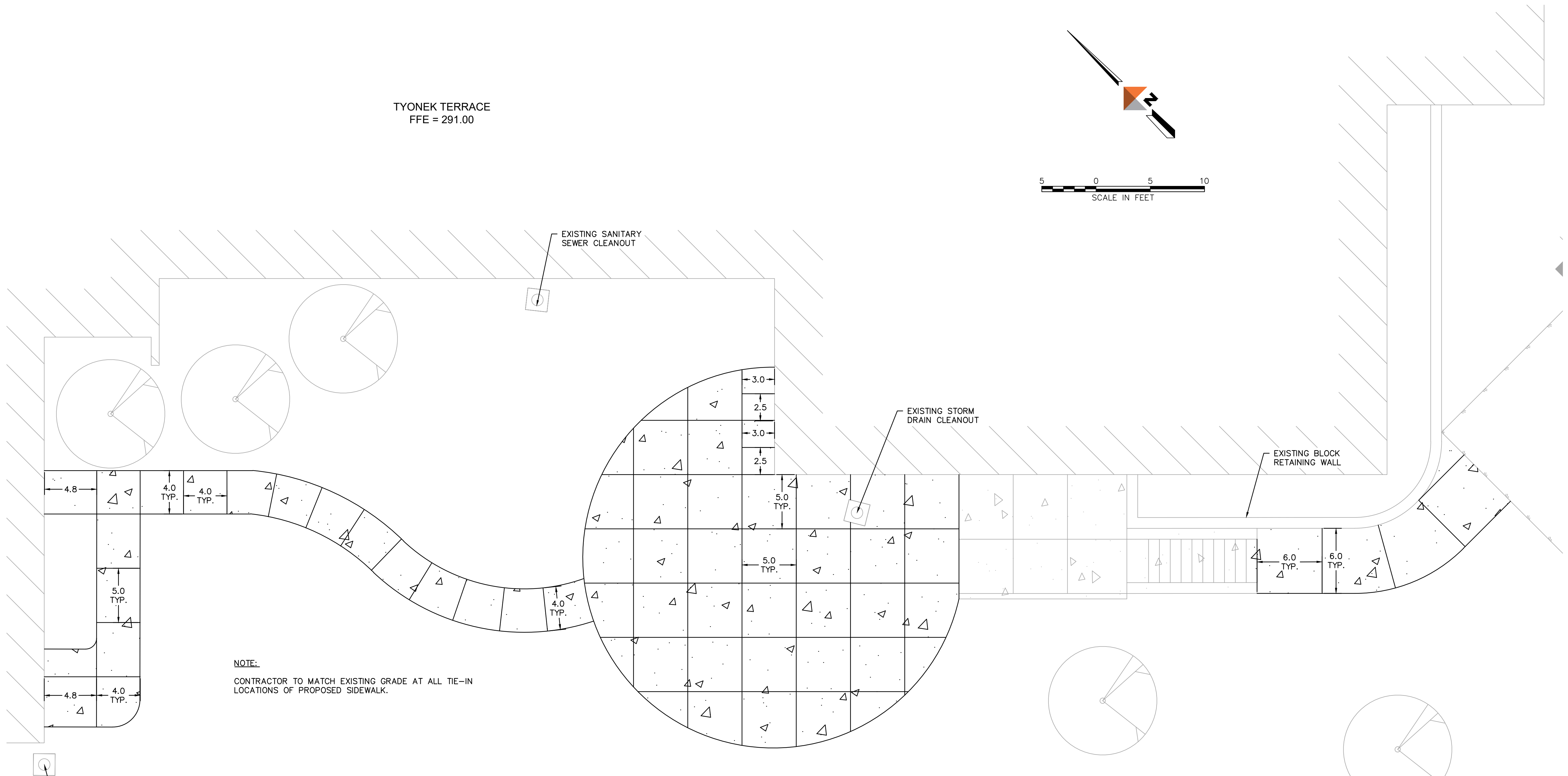
COOK INLET HOUSING AUTHORITY
TYONEK TERRACES PATIO REPLACEMENT
SITE LAYOUT PLAN
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C3.0

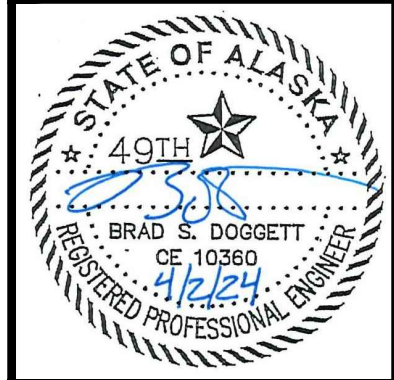
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TYONEK TERRACE
FFE = 291.00

NOTE:
CONTRACTOR TO MATCH EXISTING GRADE AT ALL TIE-IN
LOCATIONS OF PROPOSED SIDEWALK.

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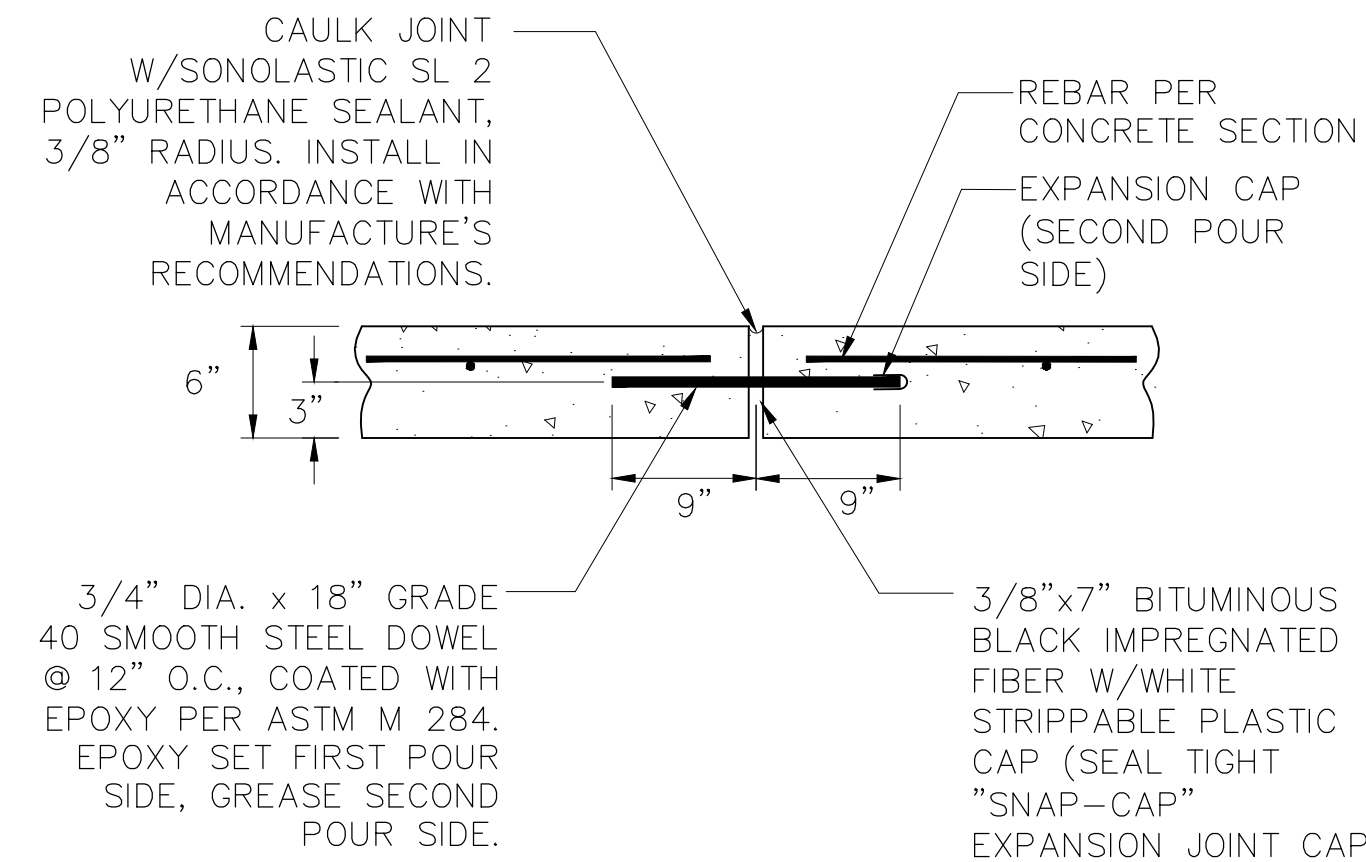
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CONCRETE JOINT PLAN
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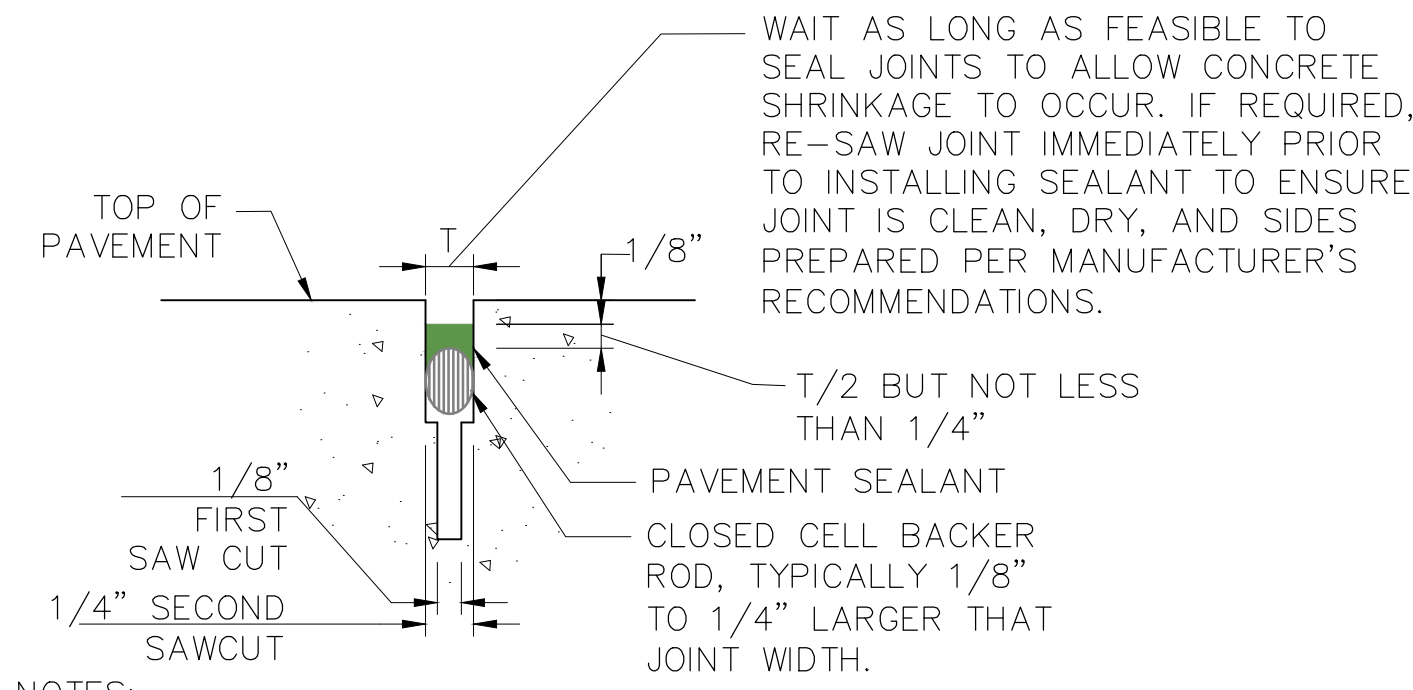
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C3.1



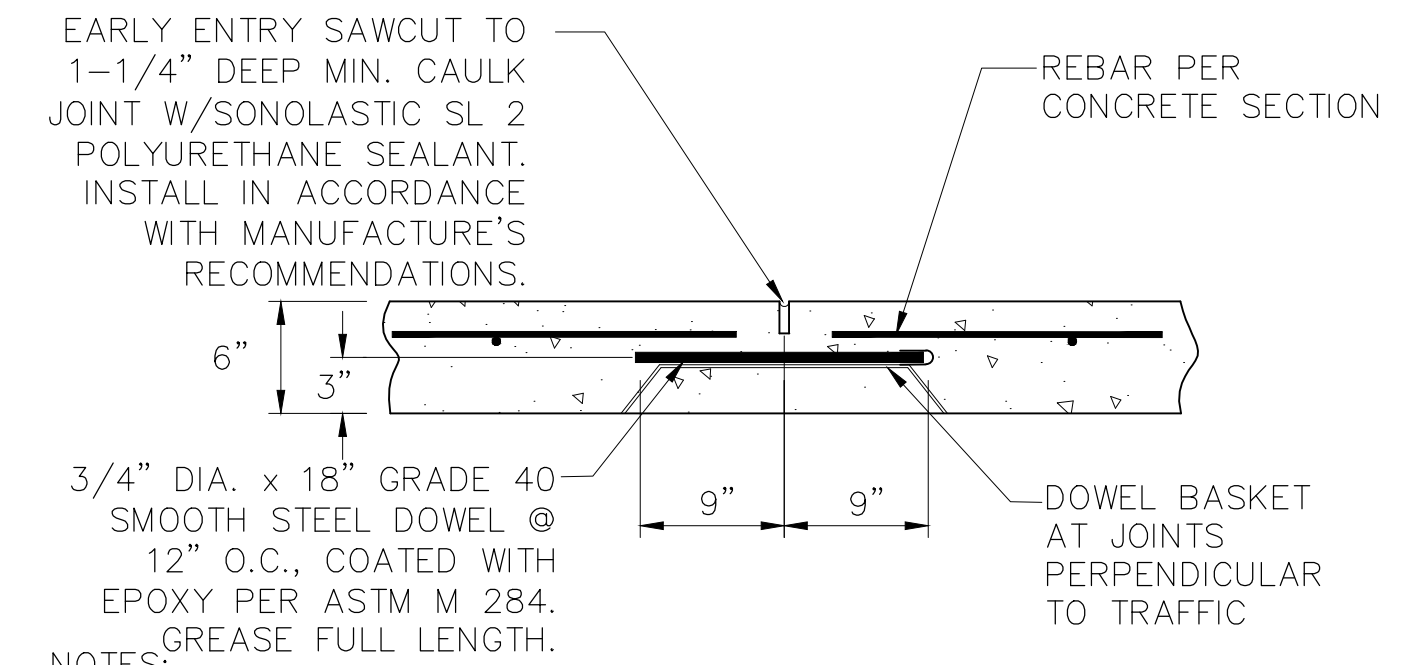
- NOTES:
- "A" PER CONCRETE SECTION AND GEOTECHNICAL REPORT.
 - REBAR SHALL NOT PASS THROUGH ANY JOINT.
 - 3/4" SQUARE DOWELS W/DOWEL CLIPS BY PNA, MAY BE SUBSTITUTED. CONTRACTOR TO SUBMIT REQUEST TO ENGINEER FOR APPROVAL.

1 ISOLATION JOINT DETAIL
C4.0 NTS



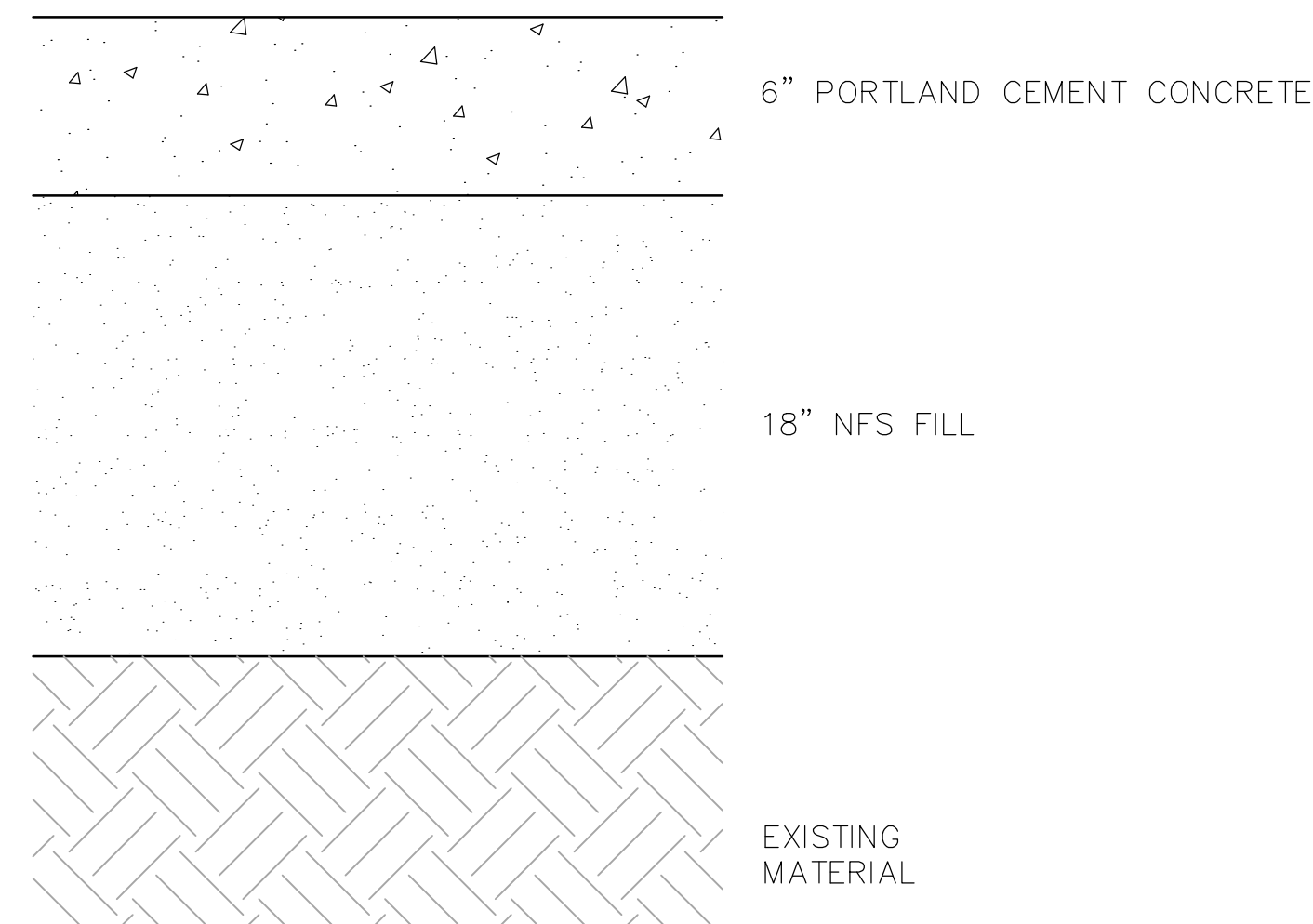
- NOTES:
- ENSURE JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE JOINT SEALANT.
 - INSTALL CLOSED CELL BACKER ROD AFTER JOINTS HAVE BEEN CLEANED AND DRIED IN ACCORDANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.
 - INSTALL BACKER ROD AT CONSISTENT AND UNIFORM DEPTH.
 - JOINT SEALANT APPLICATION SHALL BE IN STRICT COMPLIANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.

2 CONCRETE JOINT DETAIL
C4.0 NTS



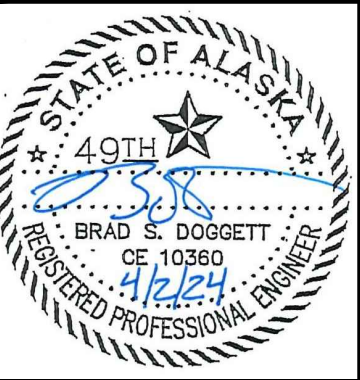
- NOTES:
- "A" PER CONCRETE SECTION AND GEOTECHNICAL REPORT.
 - REBAR SHALL NOT PASS THROUGH ANY JOINT.
 - 3/4" SQUARE DOWELS W/DOWEL CLIPS BY PNA, MAY BE SUBSTITUTED. CONTRACTOR TO SUBMIT REQUEST TO ENGINEER FOR APPROVAL.

3 CONTRACTION JOINT WITH DOWEL DETAIL
C4.0 NTS



4 PCC PATIO SECTION
C4.0 NTS

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